



**GENERAL NOTES :**

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0

LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194  
PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

APPLICANT :  
RETAIL ASHLAND LLC  
858 WASHINGTON STREET  
DEDHAM, MA. 02026

OWNER :  
RETAIL ASHLAND LLC  
858 WASHINGTON STREET  
DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

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Assessors Map: 20 Block: 9 Lot: 0  
399 Union Street, Ashland, Massachusetts

PREPARED FOR

**RETAIL ASHLAND, LLC**

TITLE

**EXISTING CONDITIONS PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595 Fax - (508)-588-7518  
Email : sfaria@jkholmgren.com



SCALE: 1" = 20'

NO.	BY	DATE	REMARKS
8	SSR	11.29.22	TRAFFIC REVIEW ENG. COMMENTS
7	SSR	10.27.22	TRAFFIC REVIEW ENG. COMMENTS
6	SSR	10.13.22	DESIGN REVIEW COMM. COMMENTS
5	JEG	10.07.22	CCC REVIEW COMMENTS
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3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY
1	JEG	03.23.22	SIDEWALK AND CURB ADDITION

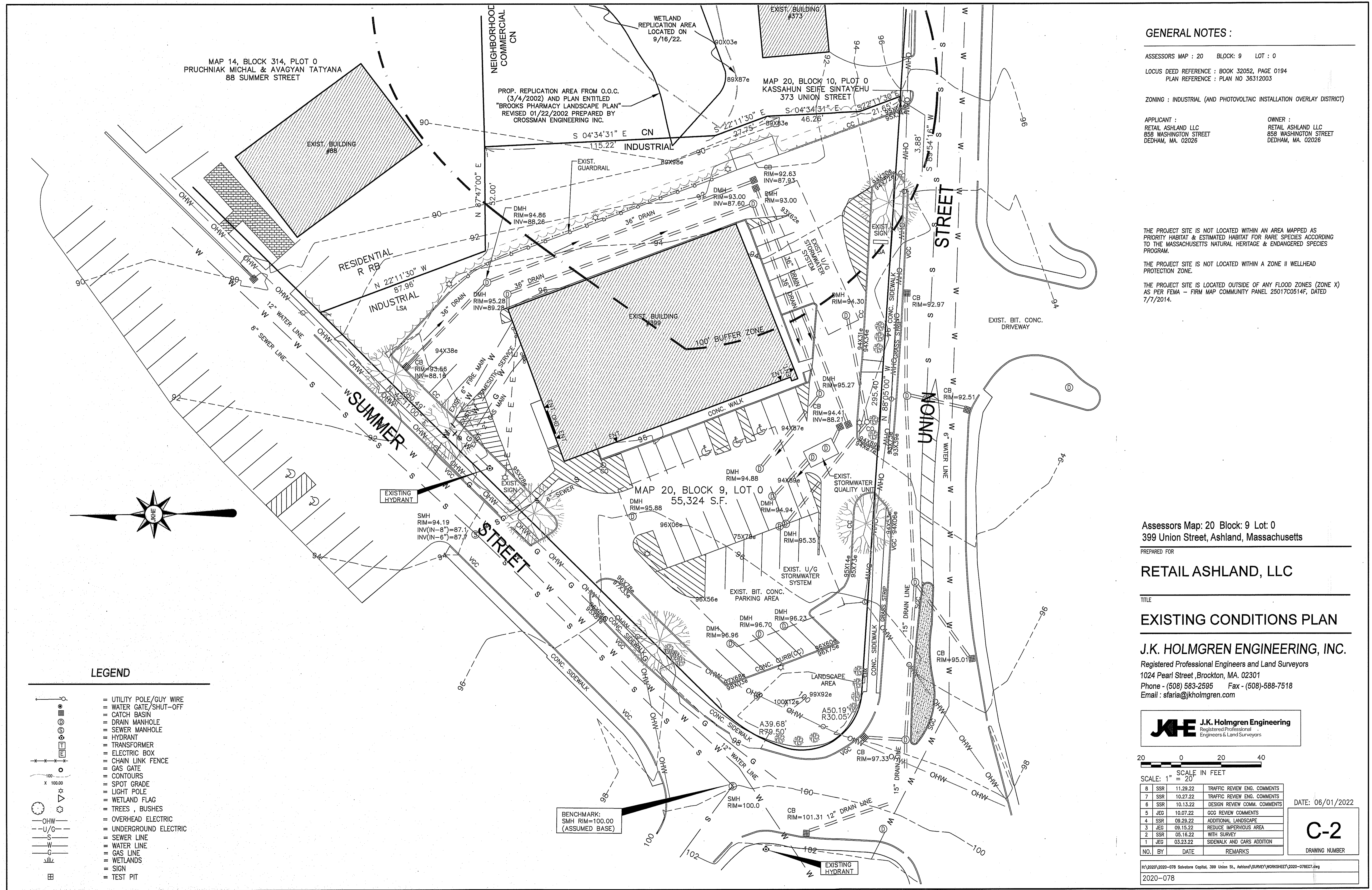
DATE: 06/01/2022

**C-2**

DRAWING NUMBER

H:\2022\2022-078 Salvatore Capital, 399 Union St., Ashland\SURVEY\WORKSHEET\2020-078EC7.dwg

2020-078



MAP 14, BLOCK 314, PLOT 0  
PRUCHNIAK MICHAL & AVAGYAN TATYANA  
88 SUMMER STREET

PROP. REPLICATION AREA FROM O.O.C.  
(3/4/2002) AND PLAN ENTITLED  
"BROOKS PHARMACY LANDSCAPE PLAN"  
REVISED 01/22/2002 PREPARED BY  
CROSSMAN ENGINEERING INC.

MAP 20, BLOCK 10, PLOT 0  
KASSAHUN SEIFE SINTAYEHU  
373 UNION STREET

MAP 20, BLOCK 9, LOT 0  
55,324 S.F.

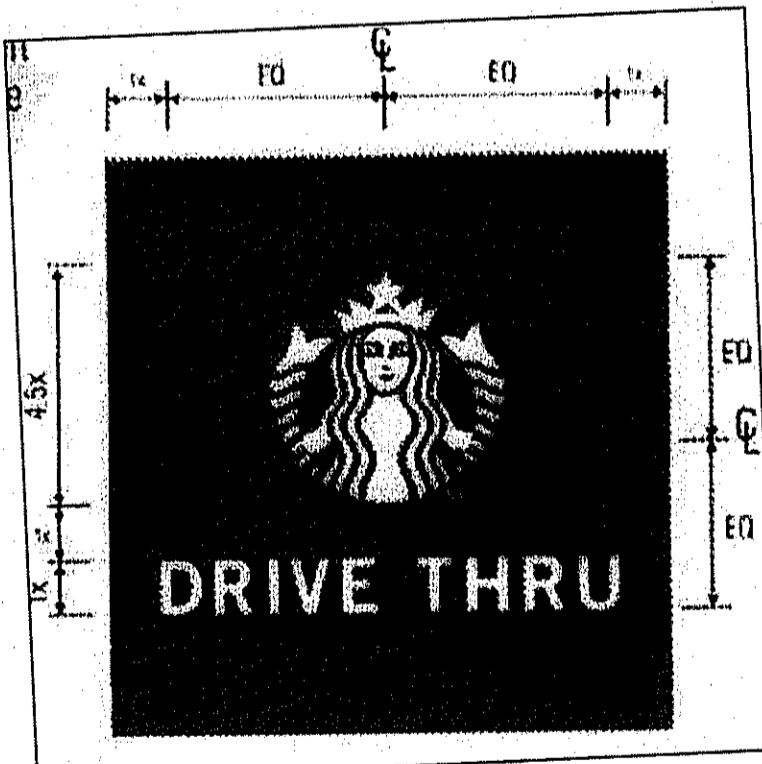
BENCHMARK:  
SMH RIM=100.00  
(ASSUMED BASE)

**LEGEND**

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

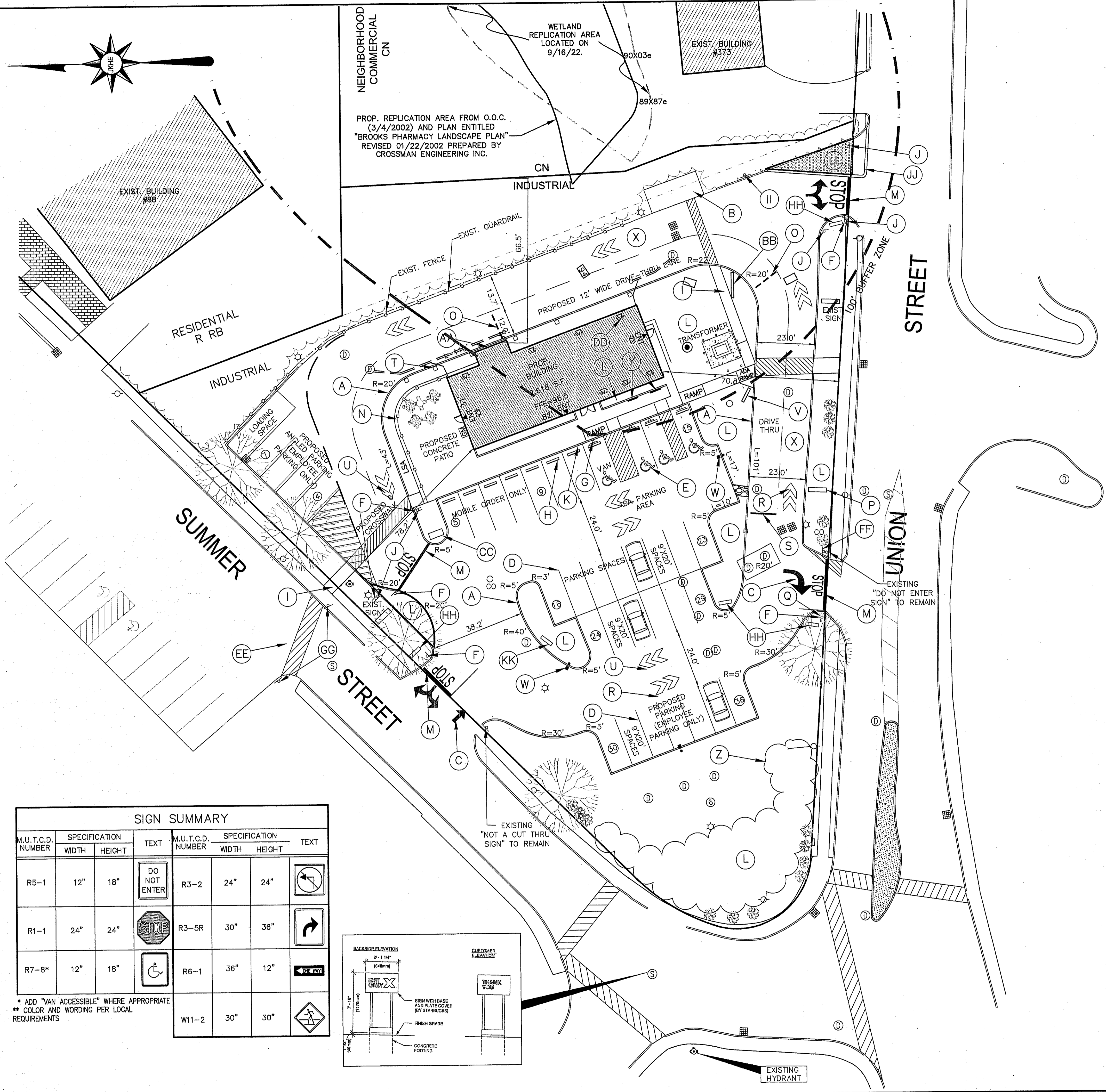
**SITE LEGEND**

- (A) PRECAST CONCRETE CURB
- (B) TRASH ENCLOSURE AREA (EXISTING)
- (C) TRAFFIC FLOW ARROWS (SEE DETAILS)
- (D) 6" WIDE LINE STRIPE
- (E) ACCESSIBLE PARKING SYMBOL
- (F) STOP SIGN (RS-B)
- (G) ACCESSIBLE PARKING SIGN
- (H) CONC. WHEEL STOPS (SEE DETAIL)
- (I) 5' WIDE CONCRETE WALK
- (J) DO NOT ENTER SIGN
- (K) MONOLITHIC CONCRETE SIDEWALK & CURB
- (L) LANDSCAPED ISLAND
- (M) 12" STOP BAR
- (N) DECORATIVE FENCE
- (O) VEHICLE DETECTOR LOOP
- (P) IDENTIFICATION SIGN (SIGN PLAN BY OTHERS)
- (Q) RIGHT TURN ONLY SIGN
- (R) ENTRY PAVEMENT ARROW (GREEN)
- (S) CLEARANCE BAR
- (T) NON-ILLUMINATED BOLLARD
- (U) EXIT PAVEMENT ARROW (WHITE)
- (V) DRIVE THRU PRE-MENU BOARD
- (W) SITE LIGHT POLES
- (X) BYPASS LANE (12' WIDE MINIMUM)
- (Y) BIKE RACKS
- (Z) SNOW STORAGE AREA
- (AA) PICK UP WINDOW W/ CANOPY
- (AB) DT 5' PANEL MENU BOARD
- (AC) FREE STANDING
- (AD) SIGN- DT THANK YOU/ EXIT ONLY
- (AE) BUILDING SCENCE (SEE ARCH PLANS)
- (AF) PROPOSED 6' WIDE CROSSWALK (SEE TRAFFIC PLANS)
- (AG) NO LEFT TURN SIGN
- (AH) PEDESTRIAN CROSSING SIGN
- (AI) THANK YOU SIGN
- (AJ) ONE WAY SIGN
- (AK) SLOPED GRANITE CURB
- (AL) STARBUCKS DRIVE-THRU "RIGHT" SIGN
- (AM) GRASS PAVERS (ARSENAL ECO PAVERS)



**LEGEND**

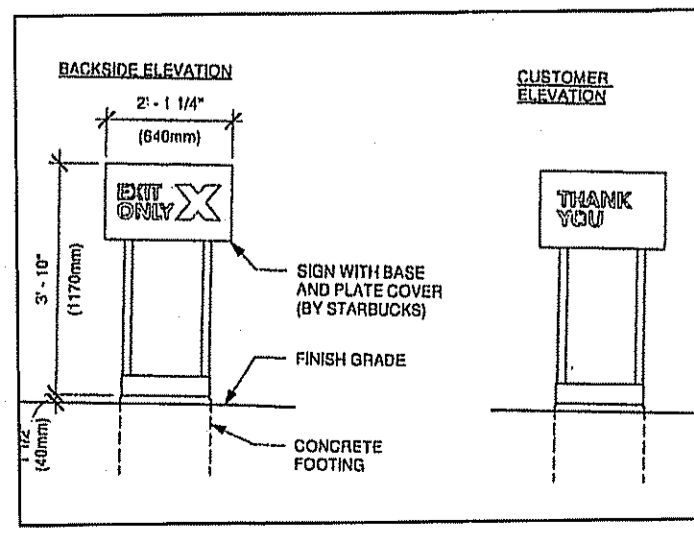
- (U) = UTILITY POLE/GUY WIRE
- (W) = WATER GATE/SHUT-OFF
- (C) = CATCH BASIN
- (D) = DRAIN MANHOLE
- (S) = SEWER MANHOLE
- (H) = HYDRANT
- (T) = TRANSFORMER
- (E) = ELECTRIC BOX
- (L) = CHAIN LINK FENCE
- (G) = GAS GATE
- (O) = CONTOURS
- (S) = SPOT GRADE
- (L) = LIGHT POLE
- (F) = WETLAND FLAG
- (T) = TREES, BUSHES
- (E) = OVERHEAD ELECTRIC
- (U/G) = UNDERGROUND ELECTRIC
- (S) = SEWER LINE
- (W) = WATER LINE
- (G) = GAS LINE
- (W) = WETLANDS
- (S) = SIGN
- (T) = TEST PIT



**SIGN SUMMARY**

M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	TEXT	M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	TEXT
R5-1	12"	18"	DO NOT ENTER	R3-2	24"	24"	[Right Turn Arrow]
R1-1	24"	24"	STOP	R3-5R	30"	36"	[Right Turn Arrow]
R7-8*	12"	18"	[Accessible Symbol]	R6-1	36"	12"	ONE WAY
				W11-2	30"	30"	[Warning Symbol]

\* ADD "VAN ACCESSIBLE" WHERE APPROPRIATE  
 \*\* COLOR AND WORDING PER LOCAL REQUIREMENTS



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 858 WASHINGTON STREET  
 DEDHAM, MA. 02026  
 OWNER : RETAIL ASHLAND LLC  
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**ZONING TABLE**

ZONE: I (INDUSTRIAL)		
PROPOSED USE: RESTAURANT / DRIVE-THRU		
	REQUIRED	PROVIDED
MIN. LOT AREA	30,000	55,324 S.F.
FRONTAGE	150'	>150'
FRONT SETBACK	40'	70.8'
SIDE SETBACK	30'	78.2'
REAR SETBACK	30'	64.9'
MAX. BLDG. HEIGHT (STORIES)	2 STORIES	1 STORY
MAX. % BLDG. LOT COVERAGE	N/A	39%
MIN. OPEN SPACE (GREEN SPACE)	N/A	22.9%
PARKING SCHEDULE:		
REST. : 1 SPACE PER 4 SEATS	46/4= 12 SPACES	
PATIO : 1 SPACE PER 4 SEATS	28/4= 7 SPACES	
TOTAL PARKING	19 SPACES	36 SPACES

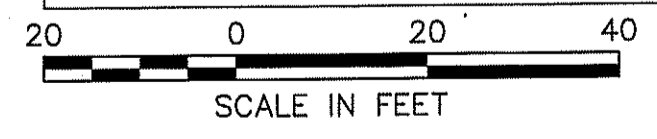
Assessors Map: 20 Block: 9 Lot: 0  
 399 Union Street, Ashland, Massachusetts

**RETAIL ASHLAND, LLC**

**LAYOUT & MATERIALS PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
 1024 Pearl Street, Brockton, MA. 02301  
 Phone - (508) 583-2595 Fax - (508)-588-7518  
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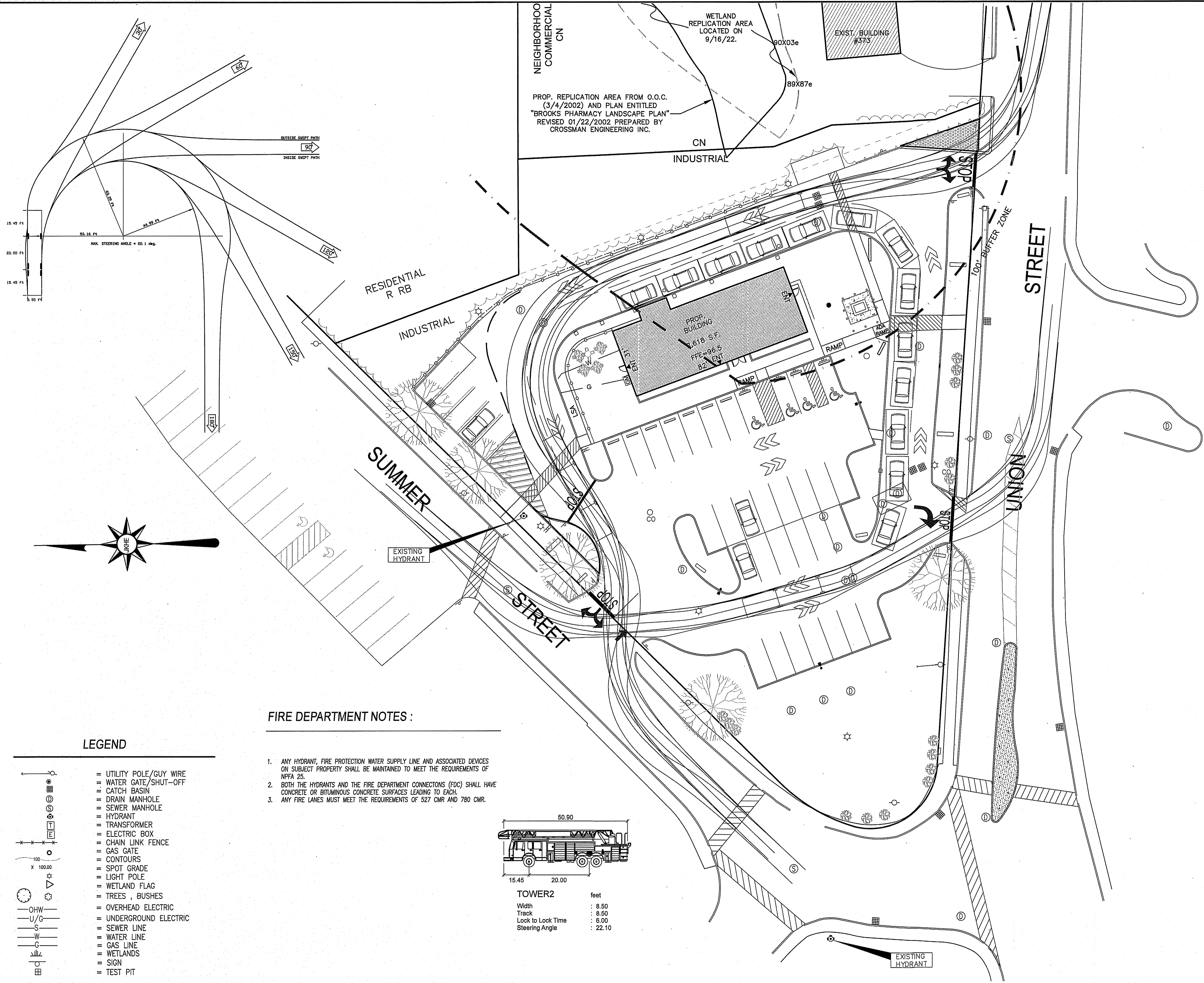
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DATE: 06/01/2022

**C-3**

DRAWING NUMBER



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 859 WASHINGTON STREET  
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Assessors Map: 20 Block: 9 Lot: 0  
 399 Union Street, Ashland, Massachusetts

PREPARED FOR

**RETAIL ASHLAND, LLC**

TITLE

**FIRE TRUCK TURN PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
 1024 Pearl Street, Brockton, MA. 02301  
 Phone - (508) 583-2595 Fax - (508)-588-7518  
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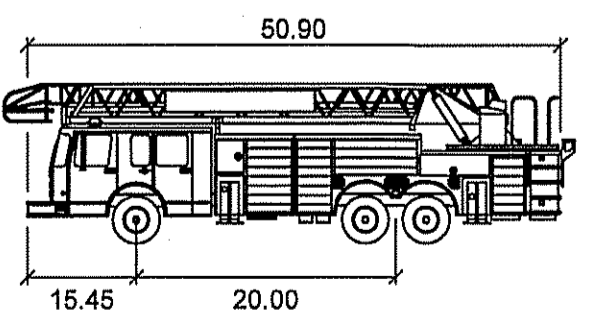
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**C-3A**  
DRAWING NUMBER

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 2020-078

**FIRE DEPARTMENT NOTES :**

1. ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO MEET THE REQUIREMENTS OF NFPA 25.
2. BOTH THE HYDRANTS AND THE FIRE DEPARTMENT CONNECTIONS (FDC) SHALL HAVE CONCRETE OR BITUMINOUS CONCRETE SURFACES LEADING TO EACH.
3. ANY FIRE LANES MUST MEET THE REQUIREMENTS OF 527 CMR AND 780 CMR.



**TOWER2** feet  
 Width : 8.50  
 Track : 8.50  
 Lock to Lock Time : 6.00  
 Steering Angle : 22.10

**LEGEND**

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MAP 14, BLOCK 314, PLOT 0  
PRUCHNIAK MICHAL & AVAGYAN TATYANA  
88 SUMMER STREET



NEIGHBORHOOD  
COMMERCIAL  
CN

PROP. REPLICATION AREA FROM O.O.C.  
(3/4/2002) AND PLAN ENTITLED  
"BROOKS PHARMACY LANDSCAPE PLAN"  
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CROSSMAN ENGINEERING INC.

INDUSTRIAL

INDUSTRIAL

STREET

UNION  
STREET

SUMMER  
STREET

RESIDENTIAL  
R RB

**GRADING AND DRAINAGE NOTES:**

1. THE PROJECT ELEVATIONS ARE BASED ON THE NGVD OF 1929 BASE VERTICAL DATUM.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.
6. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED AND INSTALLED FOR H-20 LOADING.
7. CPP - HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR WALL TO MEET ADS N-12 PIPE SPECIFICATION OR EQUAL. CPP PIPE USE SHALL BE ALLOWED AS NOTED, WITH A DIAMETER UP TO AND INCLUDING 24". BACKFILLING CPP MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS AND SPECIAL CARE MUST BE EXERCISED (SEE ADS PRODUCT NOTE 3.115).
8. ROOF DOWNSPOUTS SHALL BE TIED INTO ROOF DRAINS AS SHOWN ON PLAN. ROOF DRAINS TO BE AT LEAST 4" CPP AT 1.00% SLOPE MINIMUM, UNLESS OTHERWISE NOTED. MINIMUM TYPICAL COVER SHALL BE 2 FEET, U.O.N.
11. ALL RCP PIPE TO MEET CLASS IV SPECIFICATIONS.
12. ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.
13. INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION, THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.
14. ACCUMULATED DEBRIS IN CATCH BASINS, TRENCH GRATES, BASINS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

**LEGEND**

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
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BENCHMARK:  
SMH RIM=100.0  
(ASHLAND TOWN BASE)

**GENERAL NOTES :**

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**STORMWATER MANAGEMENT SYSTEM COMPONENT**

- CB - EXISTING CATCH BASIN
- DMH - EXISTING DRAIN MANHOLE
- EXISTING STORMWATER QUALITY UNIT ( VORTECHS UNIT)
- EXISTING U/G STORMWATER SYSTEM (36" PERFORATED HDPE PIPE WITH STONE)

\* OPERATION & MAINTENANCE PLAN FOR ADDITIONAL INFORMATION

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PREPARED FOR

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TITLE

GRADING & DRAINAGE PLAN

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20 0 20 40  
SCALE IN FEET

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**C-4**

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**UTILITY NOTES:**

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUIDISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.
3. SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SDR 35 PVC, U.O.N., AT A SLOPE OF 1% MINIMUM FROM MAINLINE TO BUILDING UNIT WITH A CLEAN OUT SET AT A DISTANCE OF 10' (U.O.N.) OFF EACH UNIT FOUNDATION.
4. TYPICAL COVER OVER WATER LINE SHALL BE 5', IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING.
5. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET U.O.N. OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
6. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
7. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

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- = TEST PIT

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF EASTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.

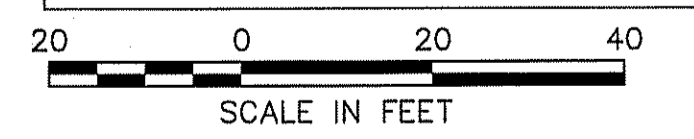
Assessors Map: 20 Block: 9 Lot: 0  
399 Union Street, Ashland, Massachusetts

PREPARED FOR  
**RETAIL ASHLAND, LLC**

**UTILITY PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595 Fax - (508)-588-7518  
Email : sfaria@jkholmgren.com



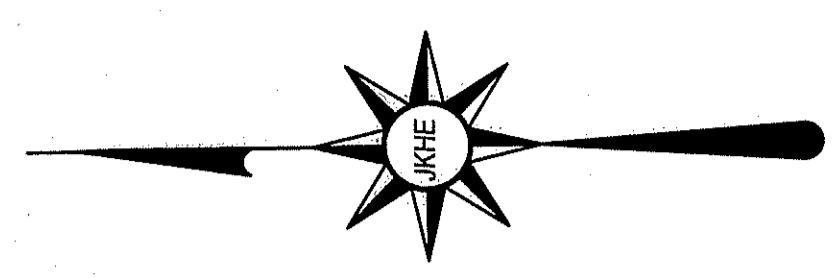
SCALE: 1" = 20'

NO.	BY	DATE	REMARKS
8	SSR	11.29.22	TRAFFIC REVIEW ENG. COMMENTS
7	SSR	10.27.22	TRAFFIC REVIEW ENG. COMMENTS
6	SSR	10.13.22	DESIGN REVIEW COMM. COMMENTS
5	JEG	10.07.22	GCC REVIEW COMMENTS
4	SSR	09.29.22	ADDITIONAL LANDSCAPE
3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY
1	JEG	03.23.22	SIDEWALK AND CURB ADDITION

DATE: 06/01/2022

**C-5**  
DRAWING NUMBER

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2020-078



WETLAND REPLICATION AREA LOCATED ON 9/16/22.  
 90X03e  
 89X87e  
 EXIST. BUILDING #373  
 NEIGHBORHOOD COMMERCIAL CN  
 INDUSTRIAL

PROP. REPLICATION AREA FROM O.O.C. (3/4/2002) AND PLAN ENTITLED "BROOKS PHARMACY LANDSCAPE PLAN" REVISED 01/22/2002 PREPARED BY CROSSMAN ENGINEERING INC.

LANDSCAPE SCHEDULE					
SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
ARAF	8	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2-2 1/2" CAL.	B & B
HBA	16	HOSTA 'BOLD RIBBONS'	BOLD RIBBONS HOSTA	-	CONTAINER
IGC	12	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	15-18" HT.	CONTAINER
MC	10	MOLINIA CAERULEA 'VARIEGATA'	VAR. PURPLE MOOR GRASS	-	#2 POT
PA	10	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	-	#2 POT
SBG	18	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLD FLAME SPIREA	12-15" HT.	CONTAINER
TH	28	TAXUS MEDIA 'HICKSI'	HICKS YEW	30-36" HT.	CONTAINER
AC	3	AMELANCHIER CANADENSIS	SHADBLOW	8-10" HT.	B & B
PF	15	PIERIS FLORIBUNDA	MOUNTAIN PIERIS	18-24" HT.	CONTAINER
HQ	26	HYDRANGEA QUERCUS	OAKLEAF HYDRANGEA	18-24" HT.	CONTAINER
LF	19	LEUCOTHOE FONTAINESIANA	DROOPING LEUCOTHOE	12-15" HT.	CONTAINER
IG	19	ILEX GLABRA	INKBERRY	15-18" HT.	CONTAINER
JH	7	JUNIPERUS HORIZONTALIS	JUNIPERUS HORIZONTALIS	12-15" SPR	CONTAINER

- LANDSCAPE NOTES:**
- CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.
  - ALL SEEDED AND / OR SOD AREAS SHALL RECEIVE 6" OF LOAM OR TOPSOIL.
  - ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
  - PLANTING SOIL MIX SHALL CONSIST OF 1/3 SPHAGNUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
  - ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF THREE FEET OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
  - ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
  - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.
  - REFERENCE IS MADE TO THE "MULCH LAW", THE REVISED REGULATION, 827 CMR 1 - 10.14.10.4, PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18 INCHES AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR VINYL, BUT NOT BRICK OR CONCRETE. AN 18" STRIP OF 1 1/2- 2 1/2" STONE SHALL BE PLACED AT A DEPTH OF 6" AROUND EXISTING WOOD AND VINYL BUILDINGS.

**SEEDING SPECIFICATIONS:**

SEED MIXTURE:	APPLICATION RATE:
TEMPORARY SEEDING: RYEGRASS	1 LB/1000 SF
PERMANENT SEEDING IN LANDSCAPED AREAS: SEED MIXTURE: PERENNIAL RYEGRASS CREEPING RED FESCUE REDTOP	APPLICATION RATE: 85 LBS/1000 SF 52 LBS/1000 SF 7 LBS/1000 SF
PERMANENT SEEDING IN SLOPED AREAS: SEED MIXTURE: PERENNIAL RYEGRASS CREEPING RED FESCUE REDTOP ALISE CLOVER BIRDFOOT TREFLOID	APPLICATION RATE: 30 LBS/1000 SF 35 LBS/1000 SF 5 LBS/1000 SF 5 LBS/1000 SF 5 LBS/1000 SF

"MEADOW MIX" BY ERNST SEED COMPANY (ERNMX-125) FOR "POLLINATOR HABITAT"

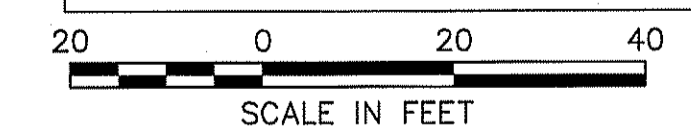
Assessors Map: 20 Block: 9 Lot: 0  
 399 Union Street, Ashland, Massachusetts

PREPARED FOR  
**RETAIL ASHLAND, LLC**

TITLE  
**LANDSCAPE DEVELOPMENT PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
 1024 Pearl Street, Brockton, MA. 02301  
 Phone - (508) 583-2595 Fax - (508)-588-7518  
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DATE: 06/01/2022

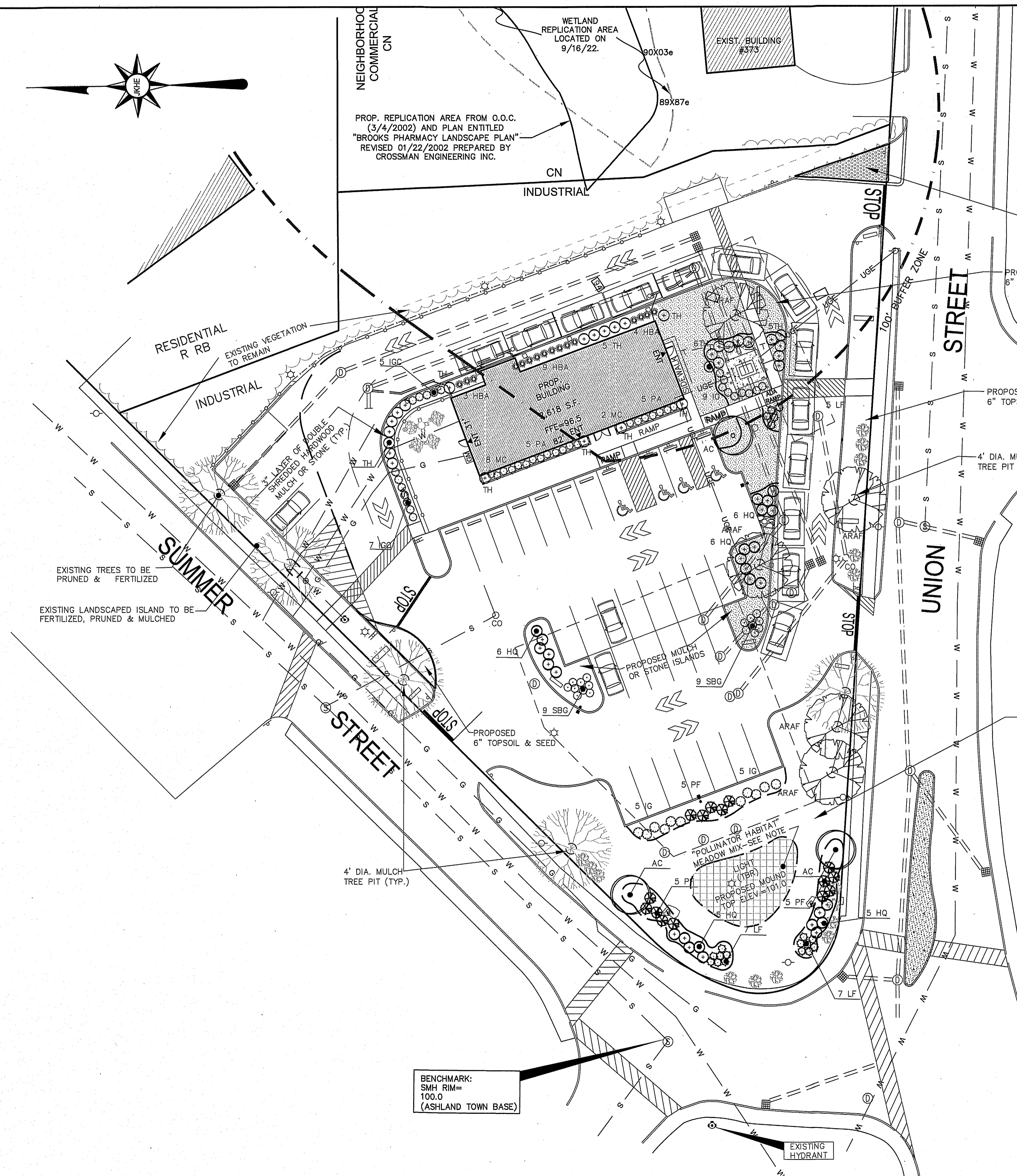
**C-6**  
 DRAWING NUMBER

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 2020-078

**LEGEND**

- == UTILITY POLE/GUY WIRE
- == WATER GATE/SHUT-OFF
- == CATCH BASIN
- == DRAIN MANHOLE
- == SEWER MANHOLE
- == HYDRANT
- == TRANSFORMER
- == ELECTRIC BOX
- == CHAIN LINK FENCE
- == GAS GATE
- == CONTOURS
- == SPOT GRADE
- == LIGHT POLE
- == WETLAND FLAG
- == TREES, BUSHES
- == OVERHEAD ELECTRIC
- == UNDERGROUND ELECTRIC
- == SEWER LINE
- == WATER LINE
- == GAS LINE
- == WETLANDS
- == SIGN
- == TEST PIT

BENCHMARK:  
 SMH RIM=  
 100.0  
 (ASHLAND TOWN BASE)



**CONSTRUCTION SEQUENCE**

1. INSTALL SILT SOCKS AND SILT FENCING TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.
2. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE AREA AS SHOWN ON DETAIL #609.
3. DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRETREATMENT VIA SETTLING BASINS.
4. INSTALL HAY BALE CHECK DAMS ALONG CENTER OF SWALES AT 100' O.C., AS NECESSARY.
5. CLEAR AND GRUB SITE WITHIN THE LIMIT OF WORK.
6. CONSTRUCT SWM BASIN TO BE USED AS SEDIMENT TRAP. INSTALL LOW FLOW PERFORATED PIPE WITH FILTER FABRIC AND STONE. DO NOT INSTALL LOW FLOW ORIFICE CAP UNTIL SITE IS FULLY STABILIZED.
7. ESTABLISH ROUGH SUB GRADES FOR PARKING LOT AND BUILDING PLATFORM.
8. PERFORM BUILDING AND SITE CONSTRUCTION
9. INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.
10. REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.
11. AS DRAINAGE STRUCTURES ARE INSTALLED, INSTALL FILTER FABRIC AND HAY BALES AROUND NEW STRUCTURES IN ACCORDANCE WITH DETAIL #607 AND MAINTAIN THEM UNTIL PAVEMENT IS IN PLACE AND VEGETATION IS ESTABLISHED. ALL OUTFALLS SHALL BE IMMEDIATELY STABILIZED WITH STONE PROTECTION AS REQUIRED.
12. ALL CUT AND FILL SLOPES SHALL BE TEMPORARILY STABILIZED WITH TOP SOIL, SEED AND MULCH OR CURLEX AS REQUIRED IF CONSTRUCTION ACTIVITY CEASES ON SAID SLOPES FOR A PERIOD OF SEVEN DAYS OR GREATER. ALL SLOPES SHALL BE PERMANENTLY STABILIZED AS REQUIRED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
13. COMPLETE FINISH GRADING AND STABILIZATION OF SITE. PLACE FINAL PAVING COURSE.
14. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES, DRAIN MANHOLES, PIPES AFTER COMPLETION OF CONSTRUCTION. REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS, ETC. STABILIZE DISTURBED AREAS.
15. CLEAN OUT ALL SEDIMENT FROM SWM BASIN AND OUTLET STRUCTURES. REGRADE TO CONTOURS PER DESIGN. STABILIZE ALL SLOPES AS REQUIRED. REPLACE FILTER FABRIC AND CLEAN STONE AROUND LOW FLOW OUTLET PIPE. INSTALL LOW FLOW ORIFICE CAP PER DETAIL.
16. REMOVE SILT SOCKS & SILT FENCE UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE SILT SOCKS WERE REMOVED.

**OPERATION/MAINTENANCE PLAN**

THIS OPERATION AND MAINTENANCE PLAN SHALL BE PERFORMED BY THE GENERAL CONTRACTOR DURING CONSTRUCTION OPERATIONS AND BY THE OWNER ONCE THE FACILITIES ARE COMPLETE AND IN FULL OPERATION.

PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE INFORMED THAT THE MAINTENANCE OF SILTATION CONTROLS TAKES PRECEDENCE OVER NORMAL CONSTRUCTION ACTIVITIES. ADJACENT PROPERTIES AND STREETS SHALL BE PROTECTED FROM EROSION OR SILTATION CONDITIONS.

INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THEREAFTER, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YEAR) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.

ACCUMULATED DEBRIS IN CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/ HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

A VISUAL INSPECTION SHALL BE MADE AT ALL ACCESS MANHOLES, CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS, LEACHING BASINS, PIPES AND DRAINAGE CHANNELS FOR THE ENTIRE STORM DRAINAGE SYSTEM. THE GENERAL CONDITION OF THESE STRUCTURES SHOULD BE REVIEWED AND ACCUMULATED DEBRIS SHALL BE REMOVED. THE CONDITION OF ALL OUTLETS SHALL BE NOTED AND A DESCRIPTION OF THE DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE REPORT. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THESE STRUCTURES AND THE DRAINAGE CHANNELS IN ORDER FOR THE SYSTEM TO FUNCTION PROPERLY.

ALL OUTLETS, DRAINING CHANNELS, AND SLOPES SHALL BE KEPT STABILIZED. ANY EROSION SHALL BE REPAIRED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SWM BASIN BEFORE IT EXCEEDS 1' IN DEPTH, OR AT LEAST ONCE EVERY 5 YEARS. THE LOW FLOW OUTLET SHALL BE CLEANED AND INSPECTED FOR PROPER FUNCTIONING. ALL DEBRIS OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM OUTLET STRUCTURE AND OUT FALL PLUNGE POOL. BASIN SLOPES SHALL BE MAINTAINED WITH A GRASS STAND OF AT LEAST 3". GRASS SHALL BE MOVED AT LEAST TWICE A YEAR AND CLIPPINGS SHALL NOT BE LEFT IN BASIN. ANY TREES OR OTHER WOODY VEGETATION GROWING IN EMBANKMENTS OR NEAR CONTROL STRUCTURE SHALL BE REMOVED.

THE FOLLOWING MINIMUM INFORMATION SHALL BE RECORDED:

- DATE OF INSPECTION
- GENERAL CONDITION OF THE ENTIRE SYSTEM
- CORRECTIVE MAINTENANCE ACTIONS TAKEN TO ENSURE ADEQUATE FUNCTION AND WHEN PERFORMED.

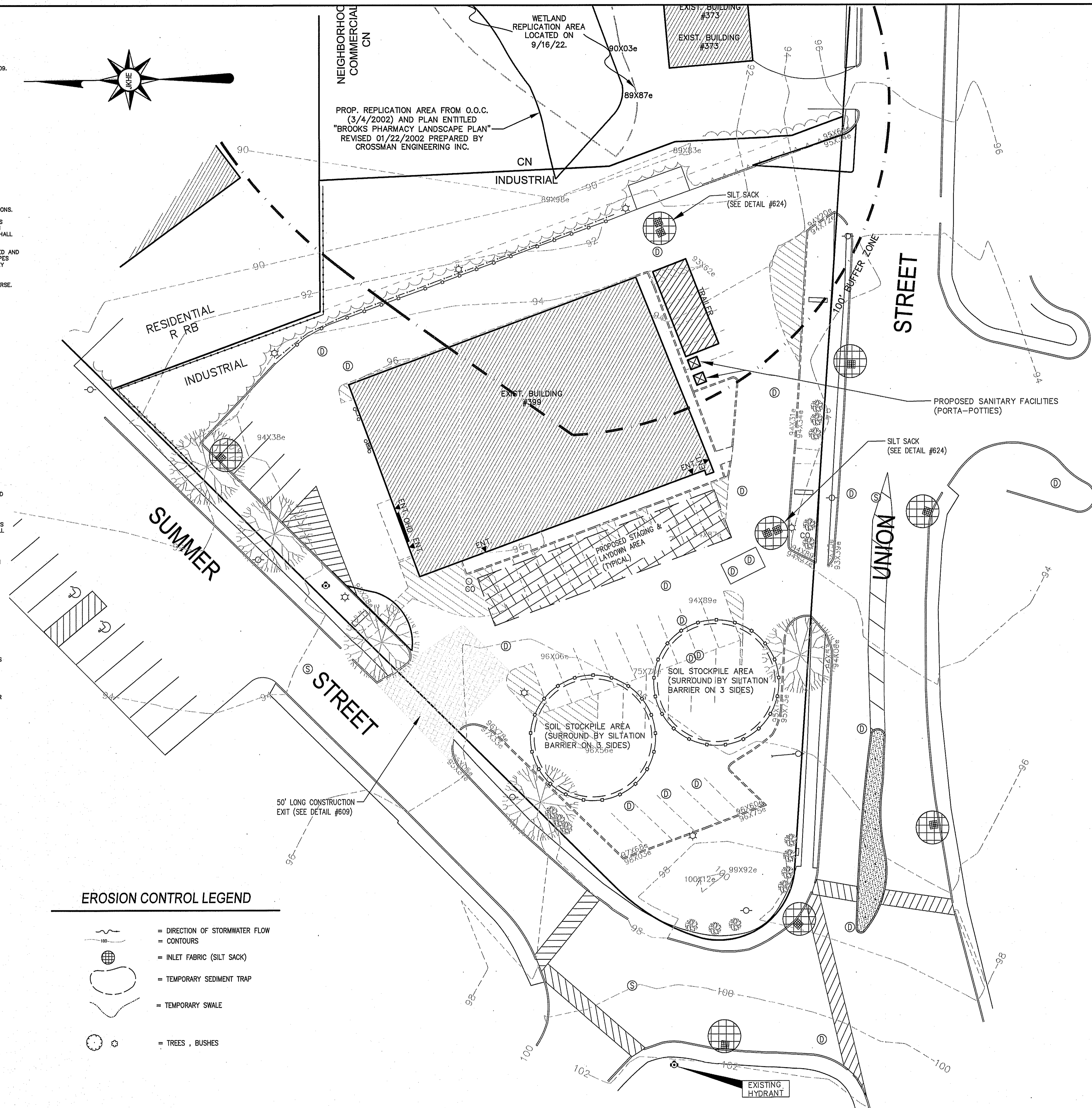
\* A COPY OF THESE INSPECTION REPORTS SHALL BE FURNISHED TO THE APPROPRIATE AGENCY UPON REQUEST.

**LEGEND**

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

**EROSION CONTROL LEGEND**

- = DIRECTION OF STORMWATER FLOW
- = CONTOURS
- = INLET FABRIC (SILT SACK)
- = TEMPORARY SEDIMENT TRAP
- = TEMPORARY SWALE
- = TREES, BUSHES



**GENERAL NOTES :**

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0  
 LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194  
 PLAN REFERENCE : PLAN NO 36312003  
 ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

APPLICANT : RETAIL ASHLAND LLC  
 858 WASHINGTON STREET  
 DEDHAM, MA. 02026  
 OWNER : RETAIL ASHLAND LLC  
 858 WASHINGTON STREET  
 DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25017C0514F, DATED 7/7/2014.

**NOTES**

1. MAINTAIN A STOCKPILE OF SILT SOCKS, 100FEET OF SILT FENCE AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
2. STUMPS FROM THE CLEARING OPERATION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.

Assessors Map: 20 Block: 9 Lot: 0  
 399 Union Street, Ashland, Massachusetts

**RETAIL ASHLAND, LLC**

**TITLE  
 SEDIMENT & EROSION  
 CONTROL PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

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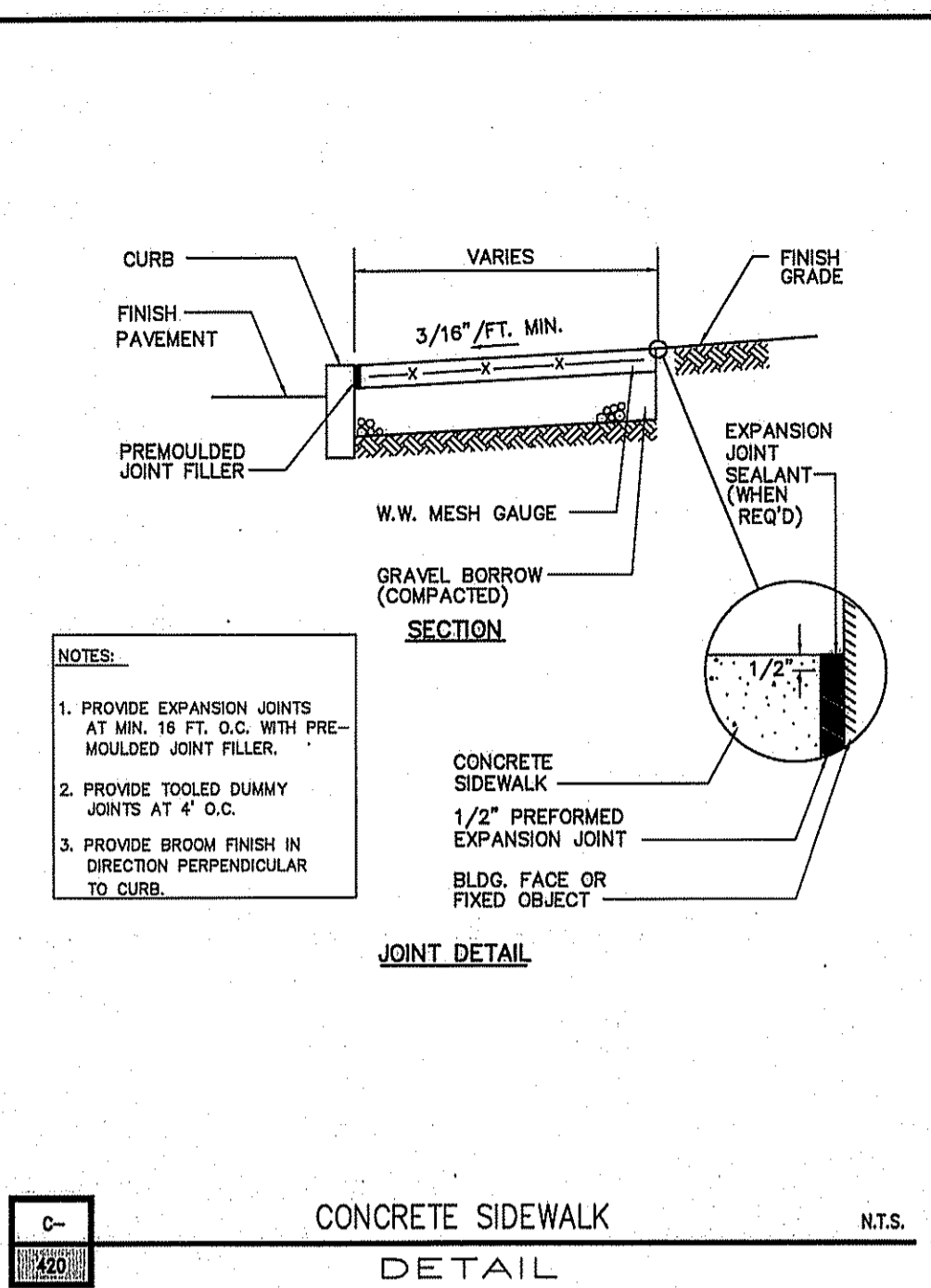


SCALE: 1" = 20'

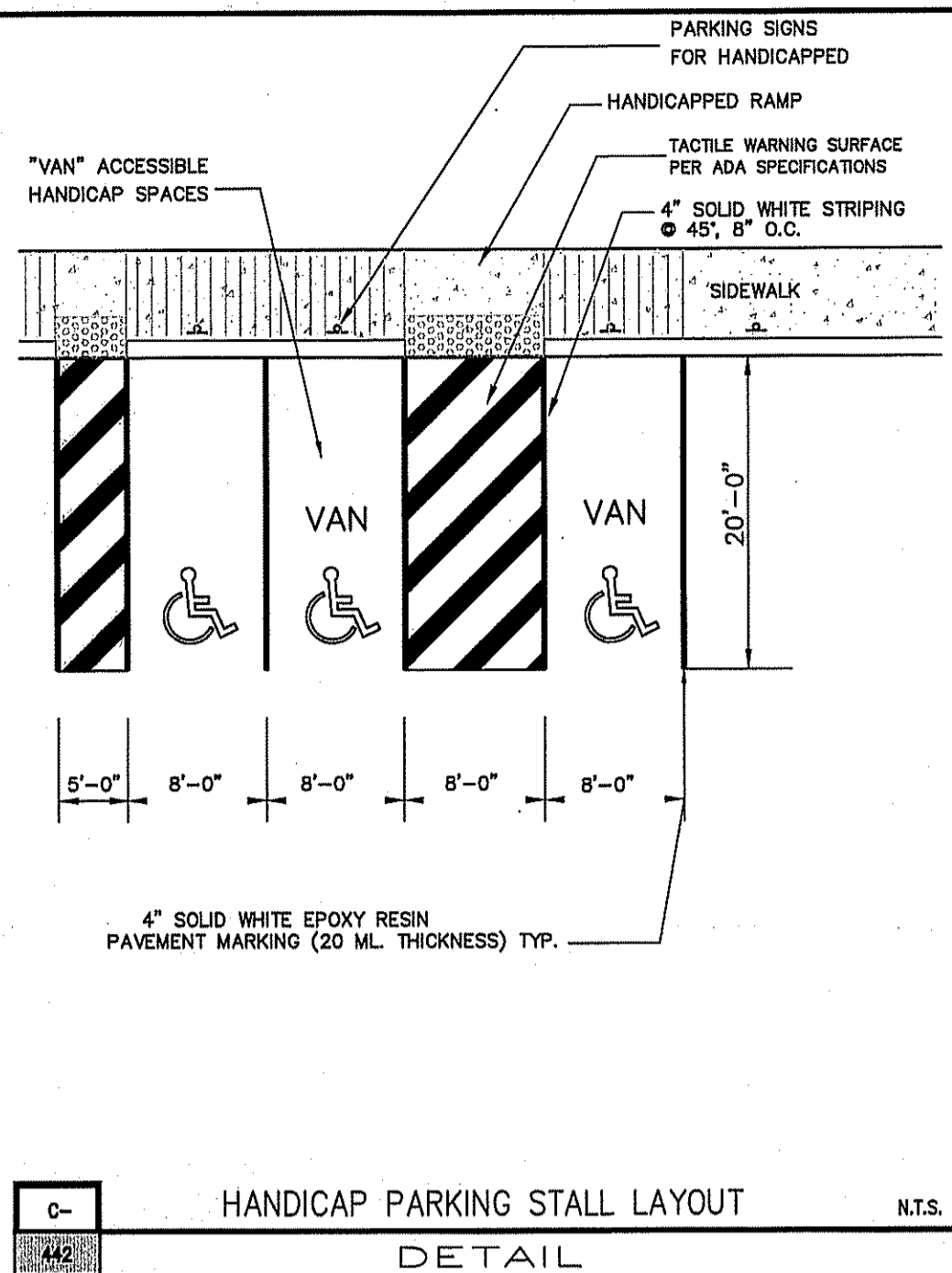
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DATE: 06/01/2022

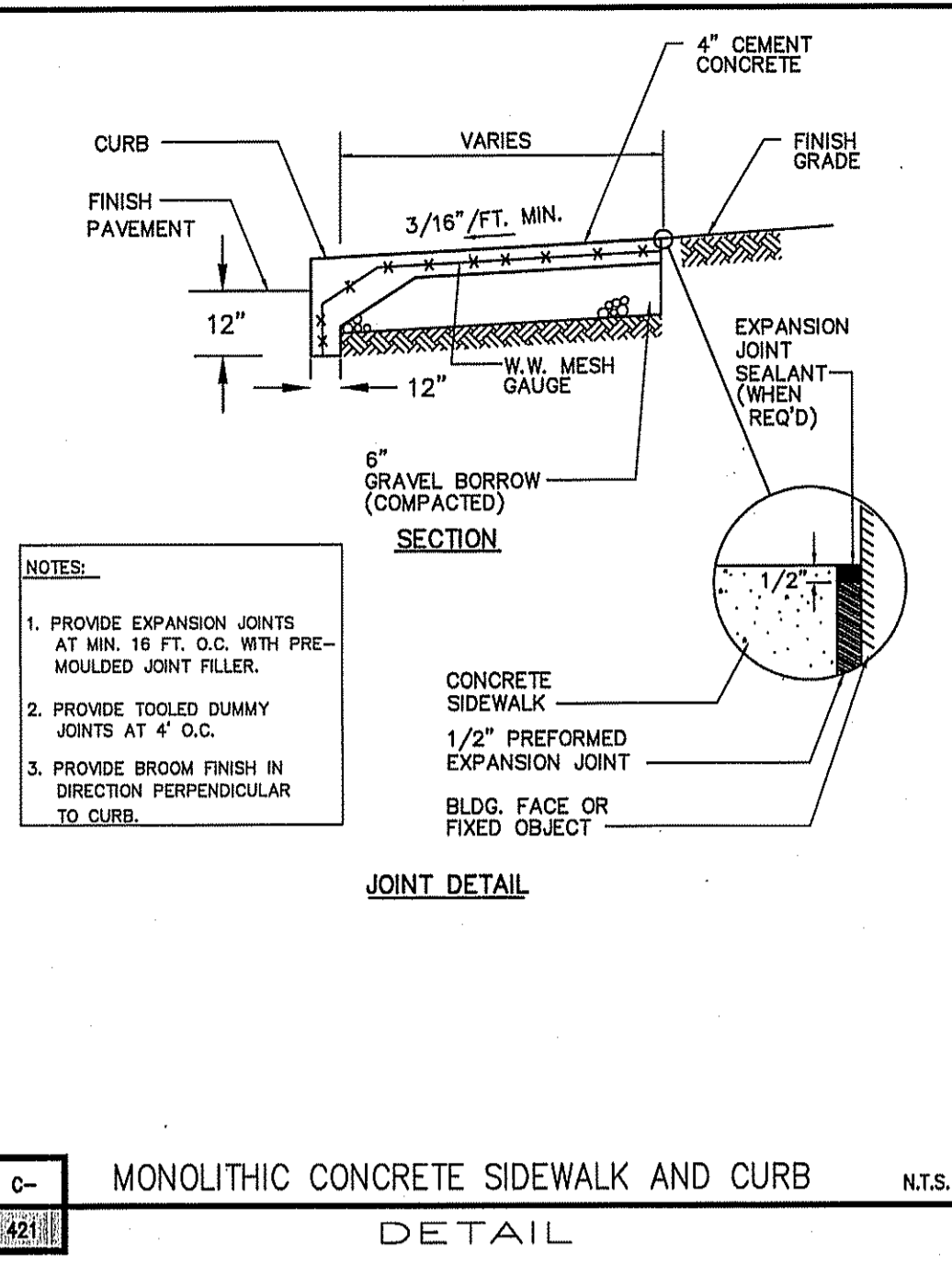
**C-7**  
 DRAWING NUMBER



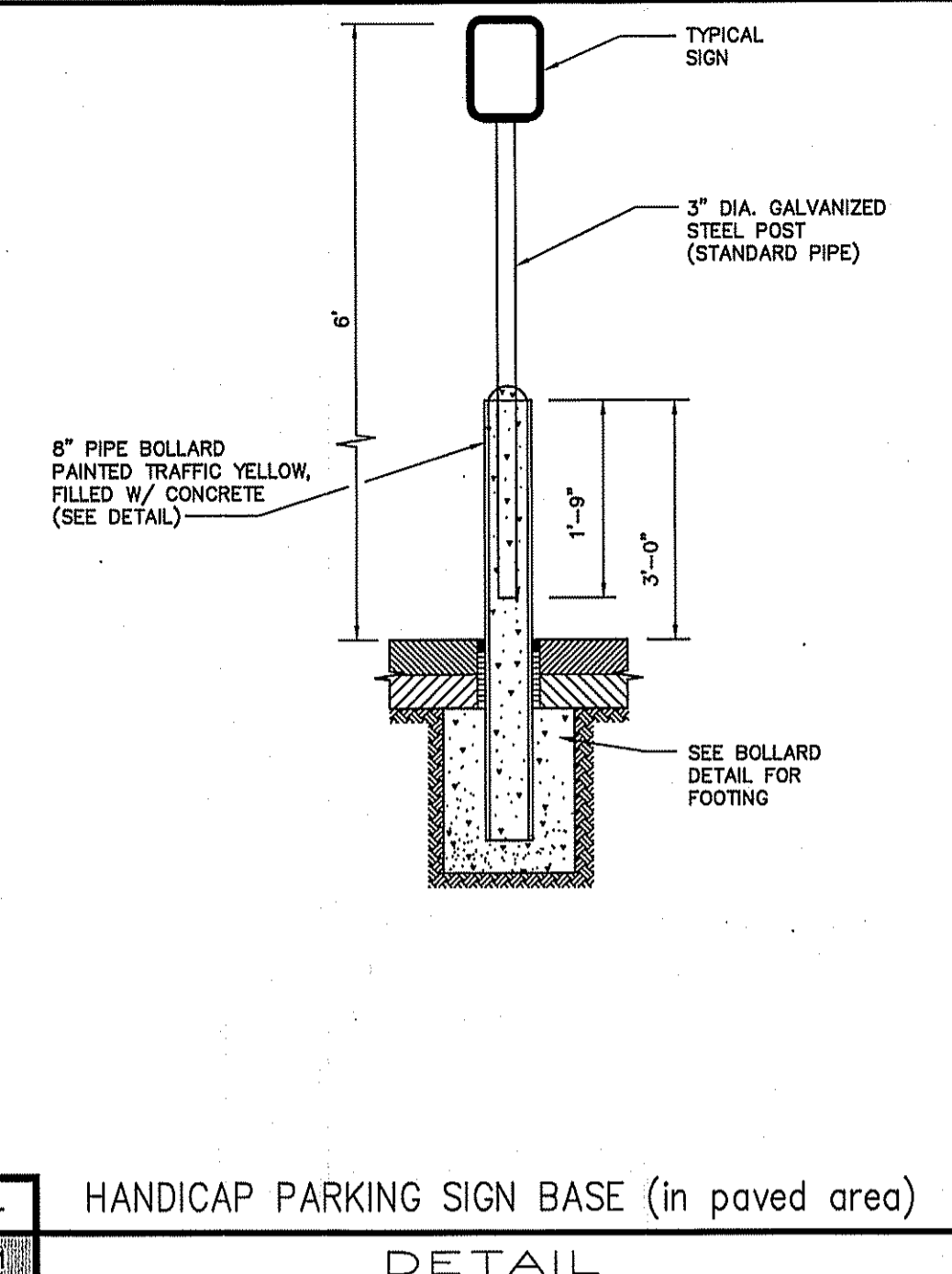
C-142 CONCRETE SIDEWALK DETAIL N.T.S.



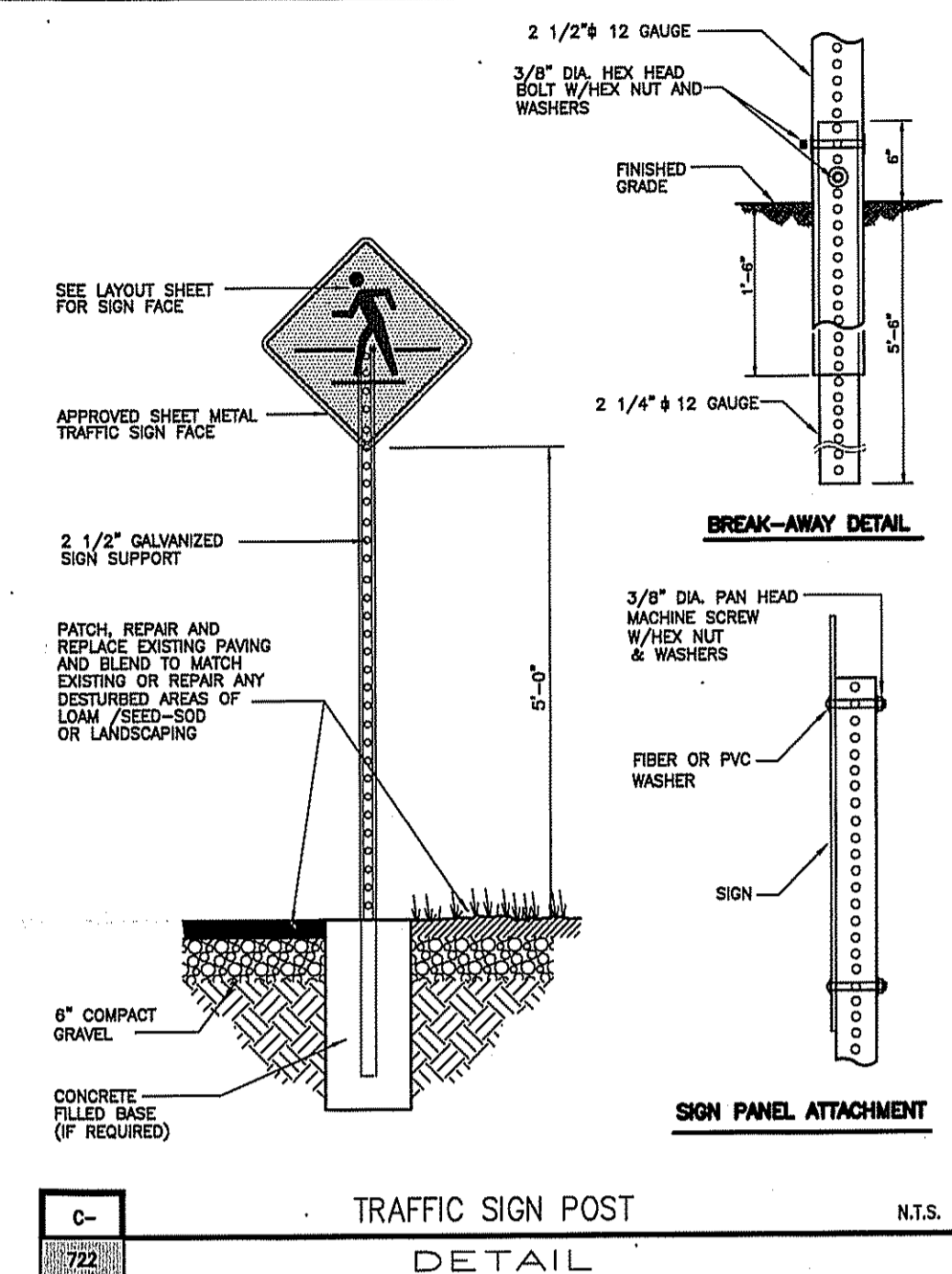
C-142 HANDICAP PARKING STALL LAYOUT DETAIL N.T.S.



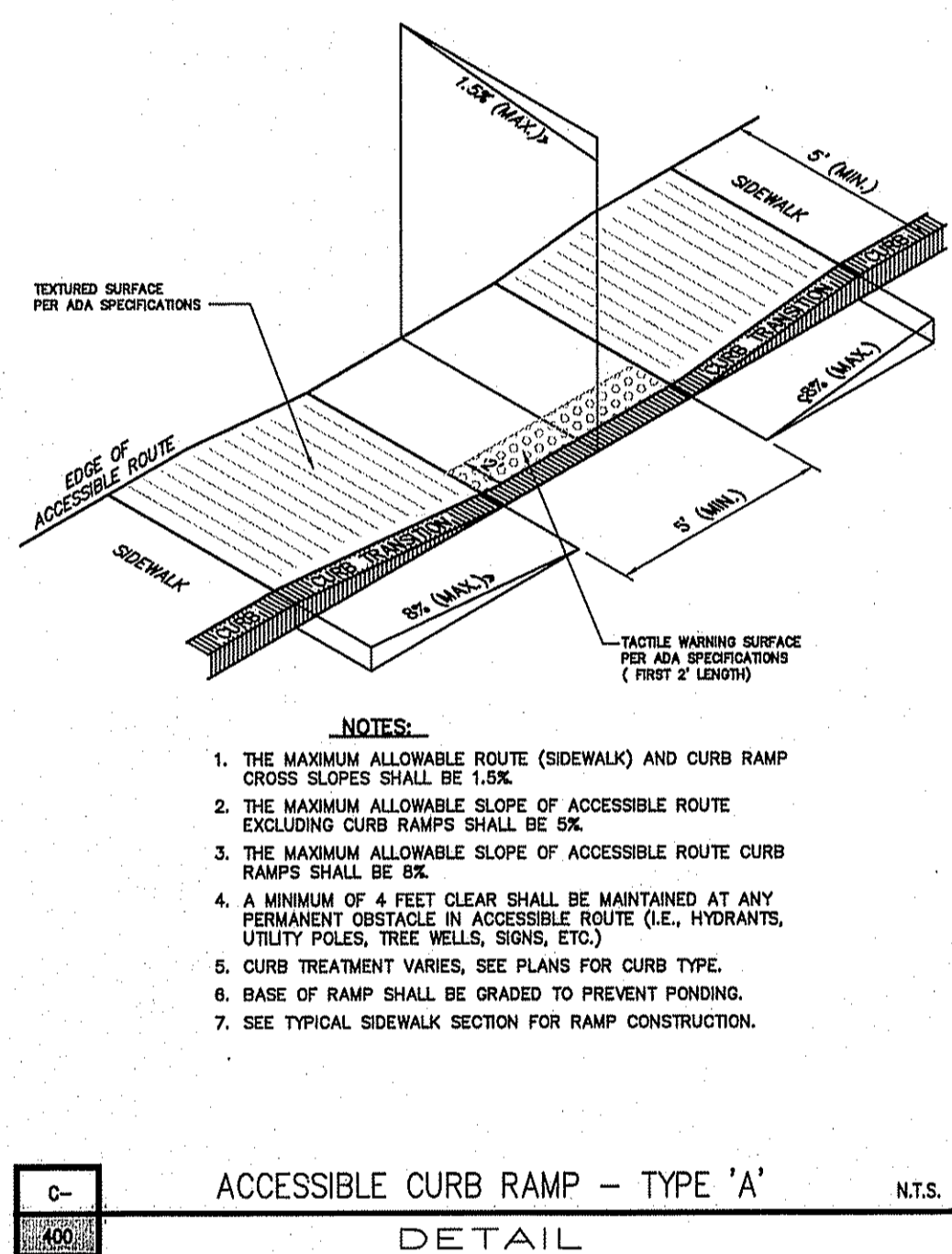
C-142 MONOLITHIC CONCRETE SIDEWALK AND CURB DETAIL N.T.S.



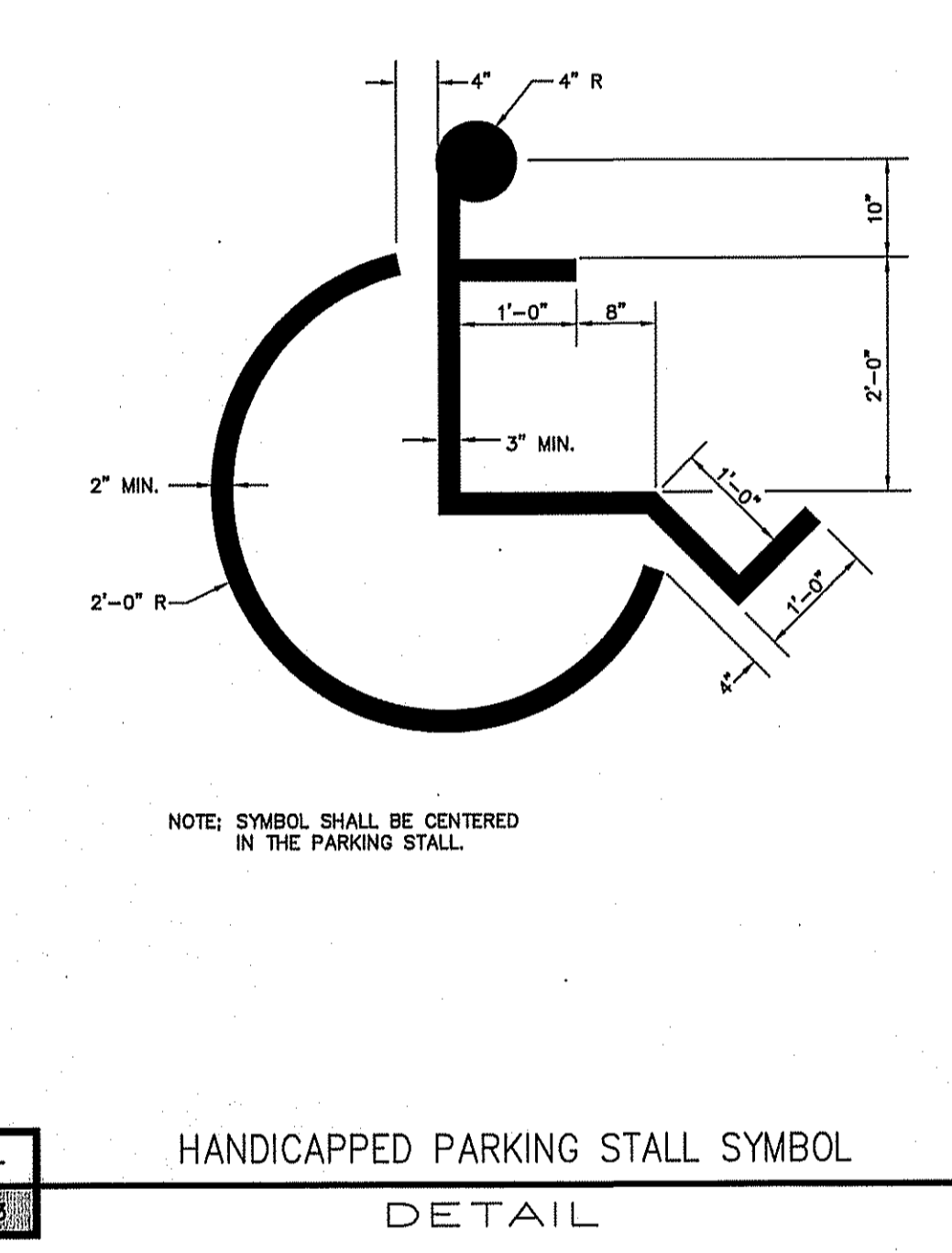
C-701 HANDICAP PARKING SIGN BASE (in paved area) DETAIL N.T.S.



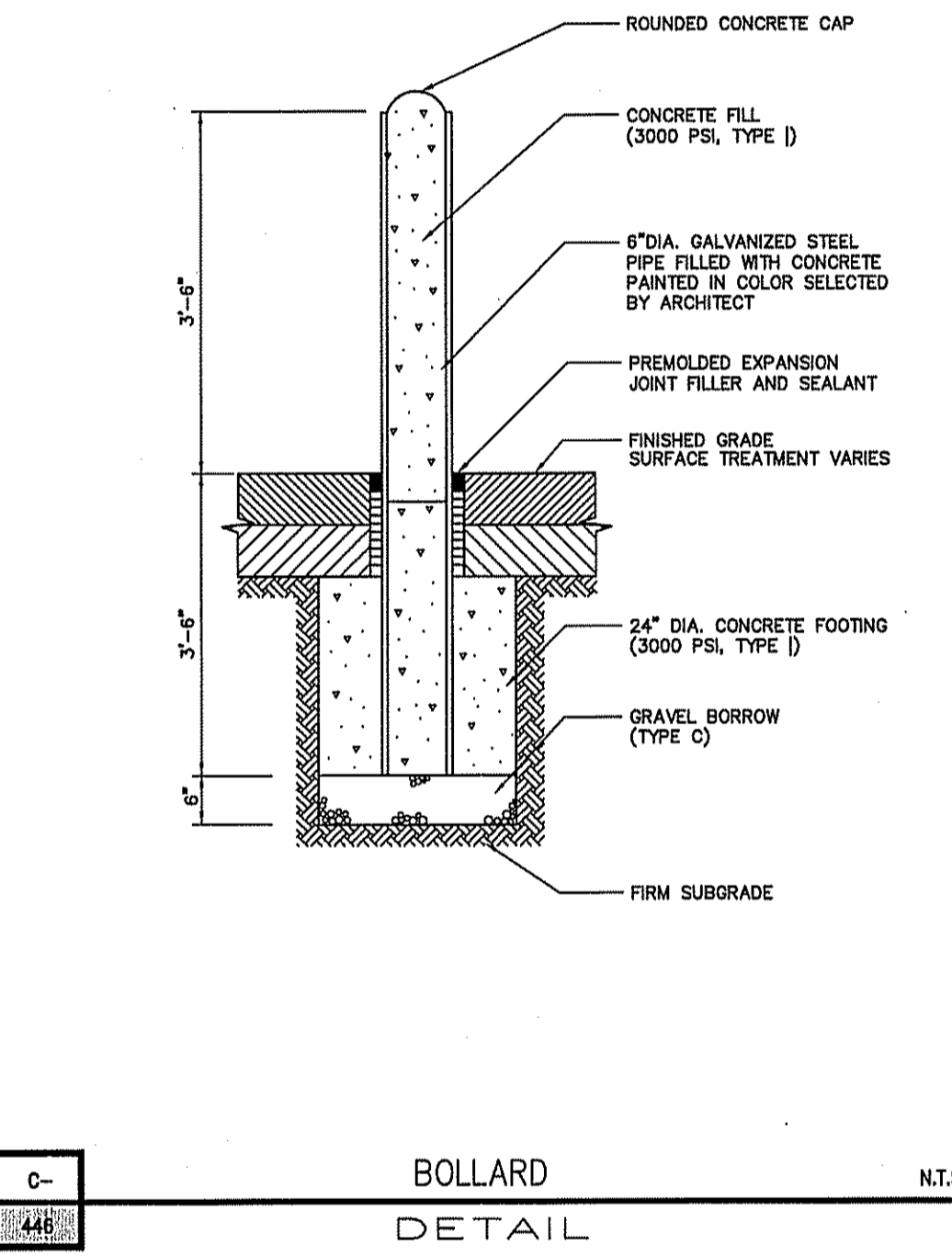
C-722 TRAFFIC SIGN POST DETAIL N.T.S.



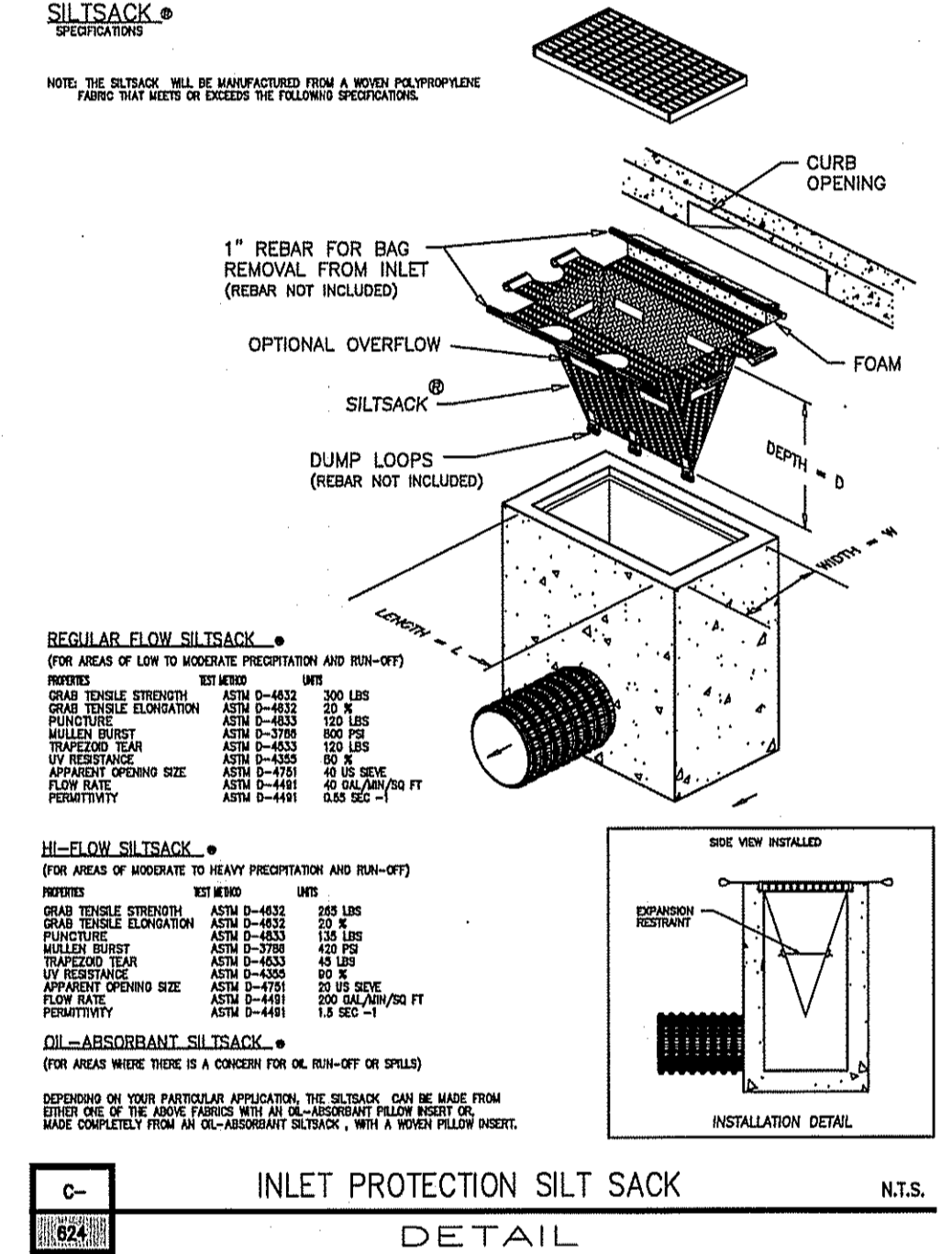
C-140 ACCESSIBLE CURB RAMP - TYPE 'A' DETAIL N.T.S.



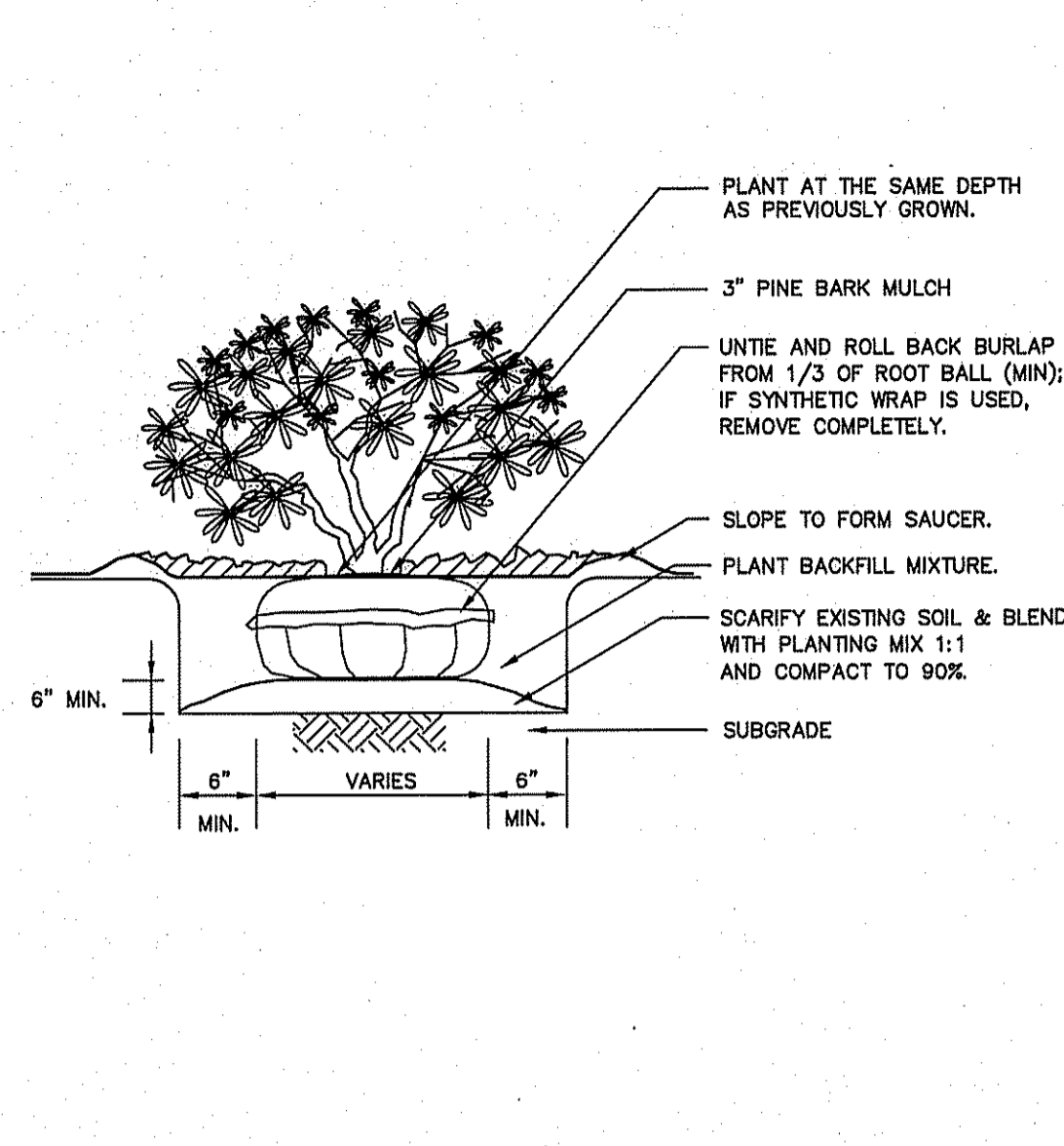
C-765 HANDICAPPED PARKING STALL SYMBOL DETAIL N.T.S.



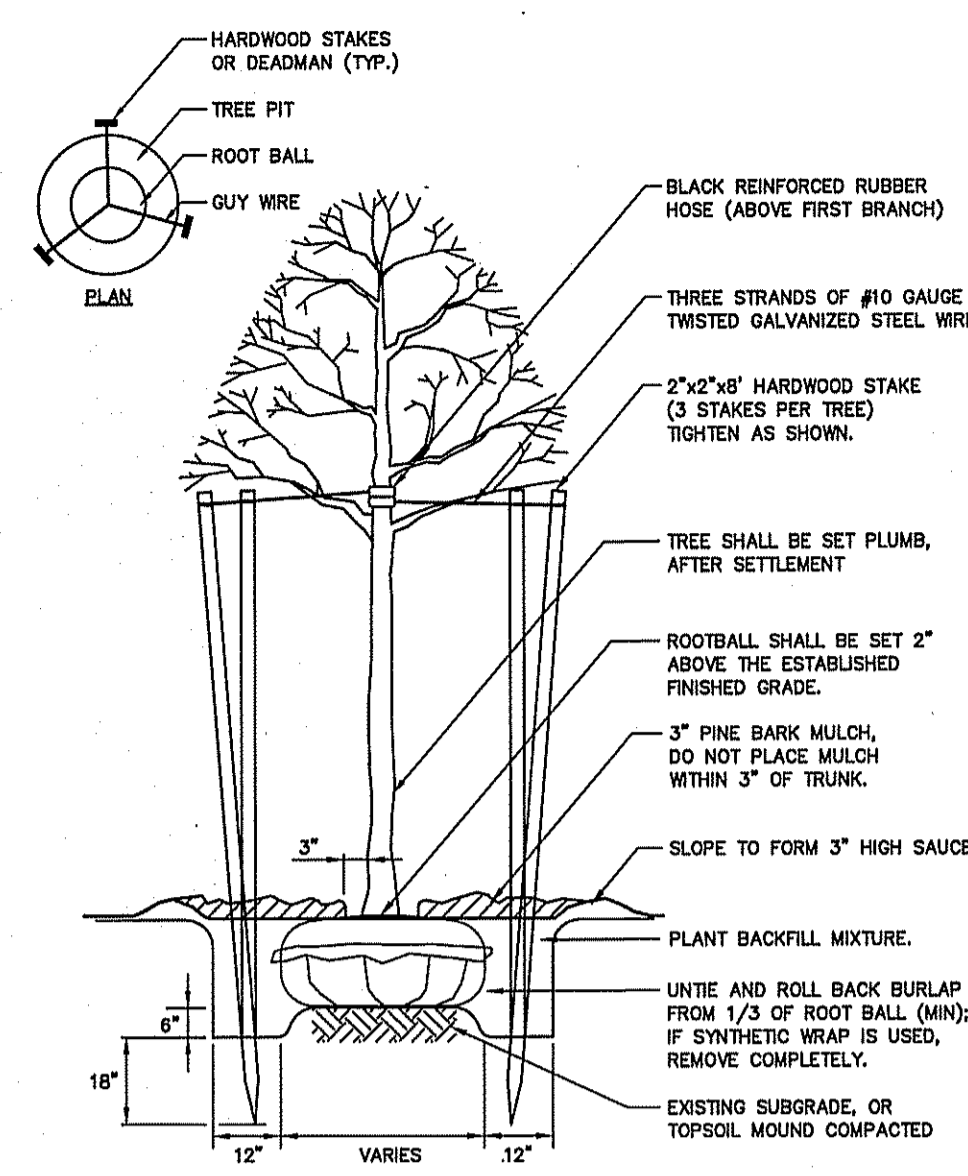
C-144 BOLLARD DETAIL N.T.S.



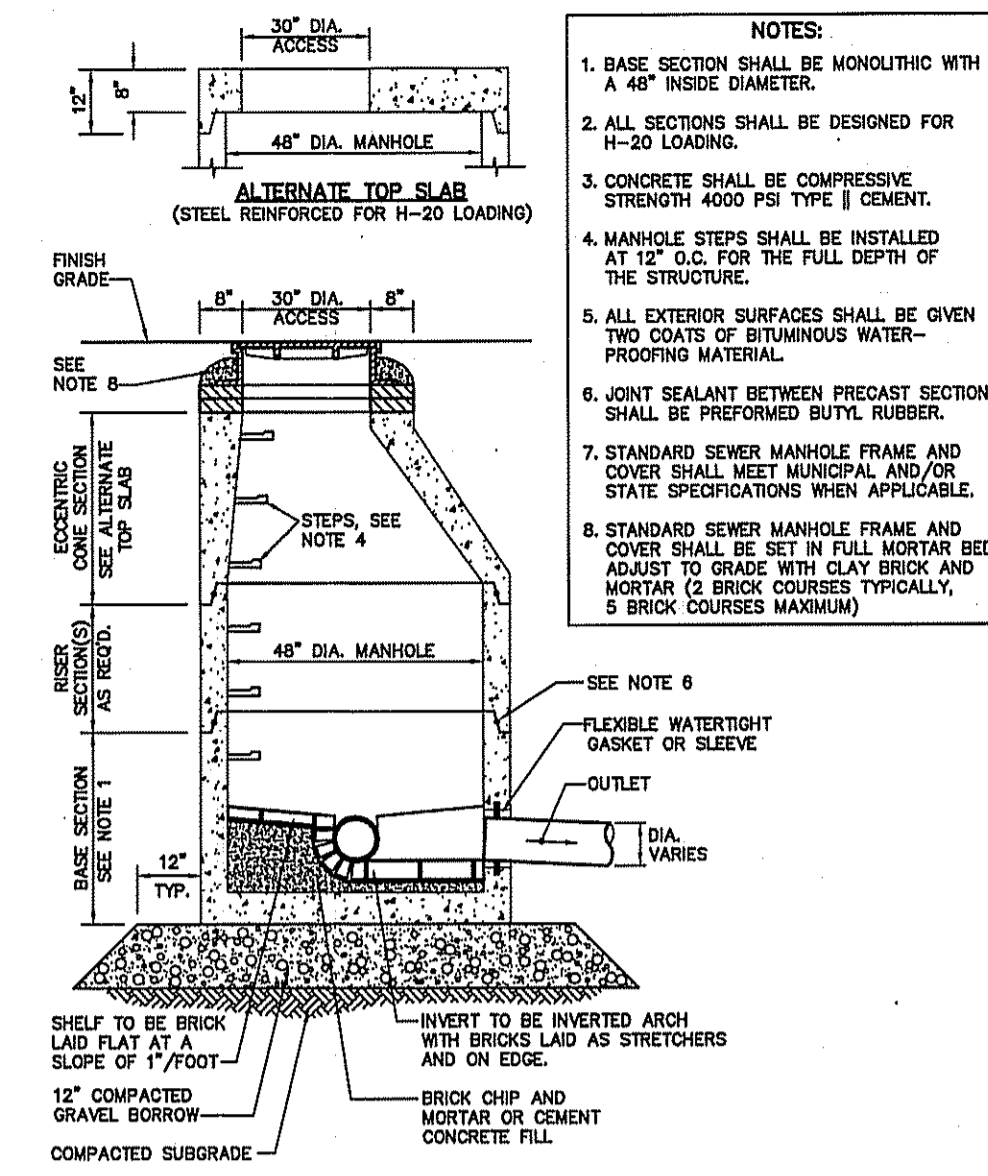




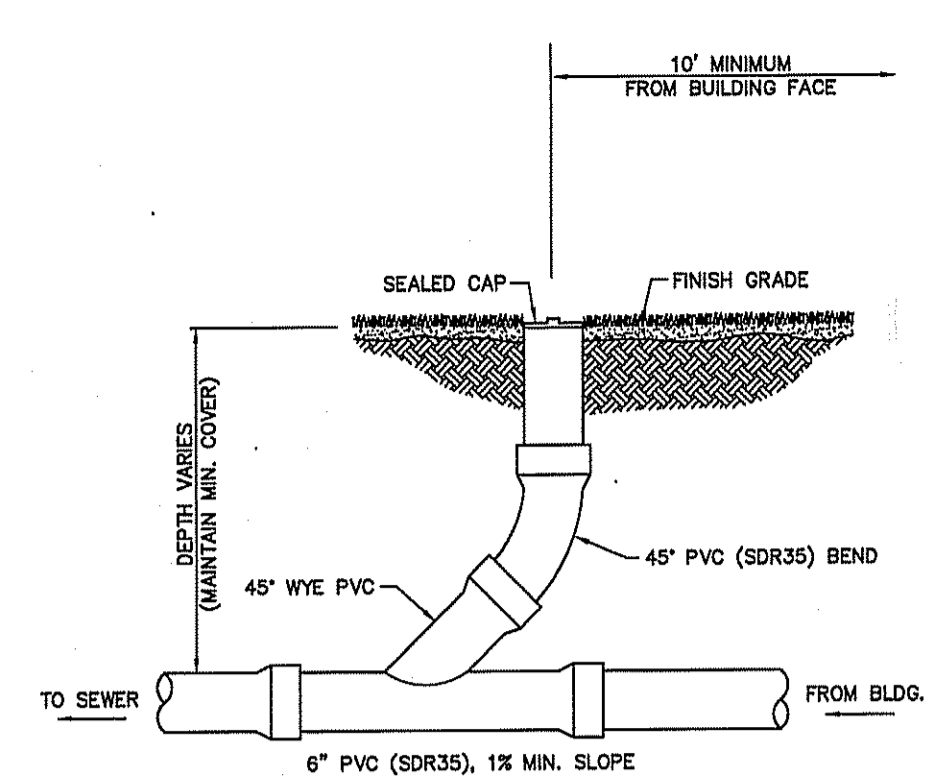
C-500 SHRUB PLANTING DETAIL N.T.S.



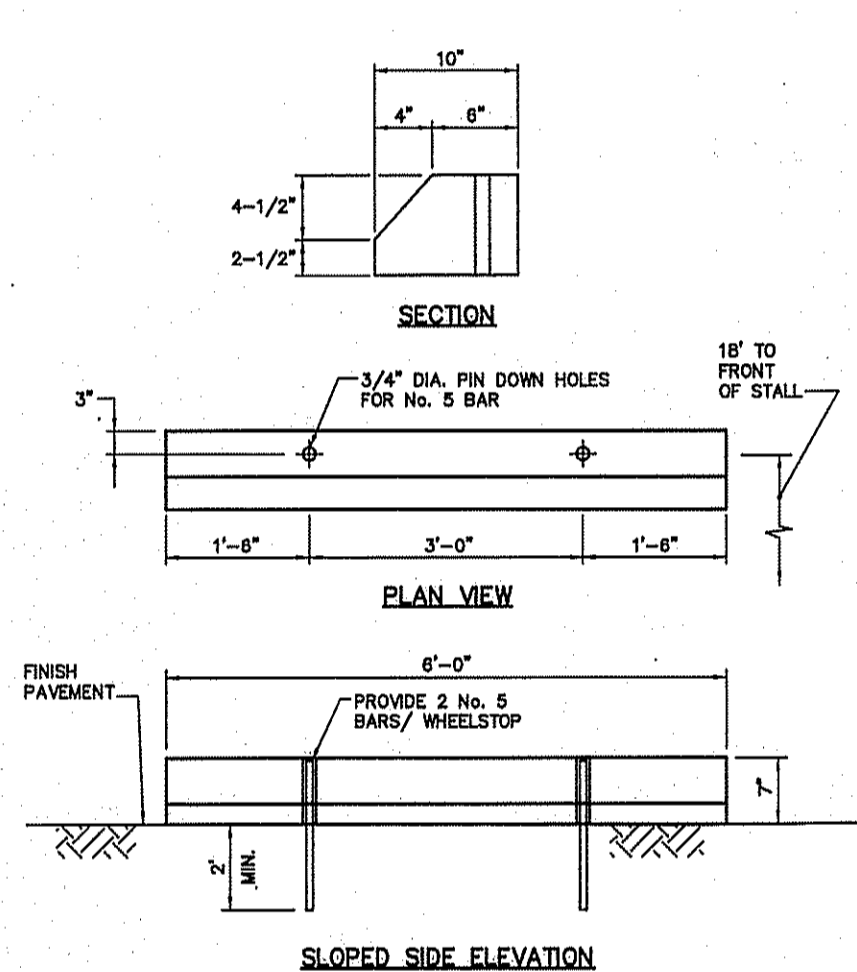
C-501 TREE PLANTING (For Trees under 4\"/>



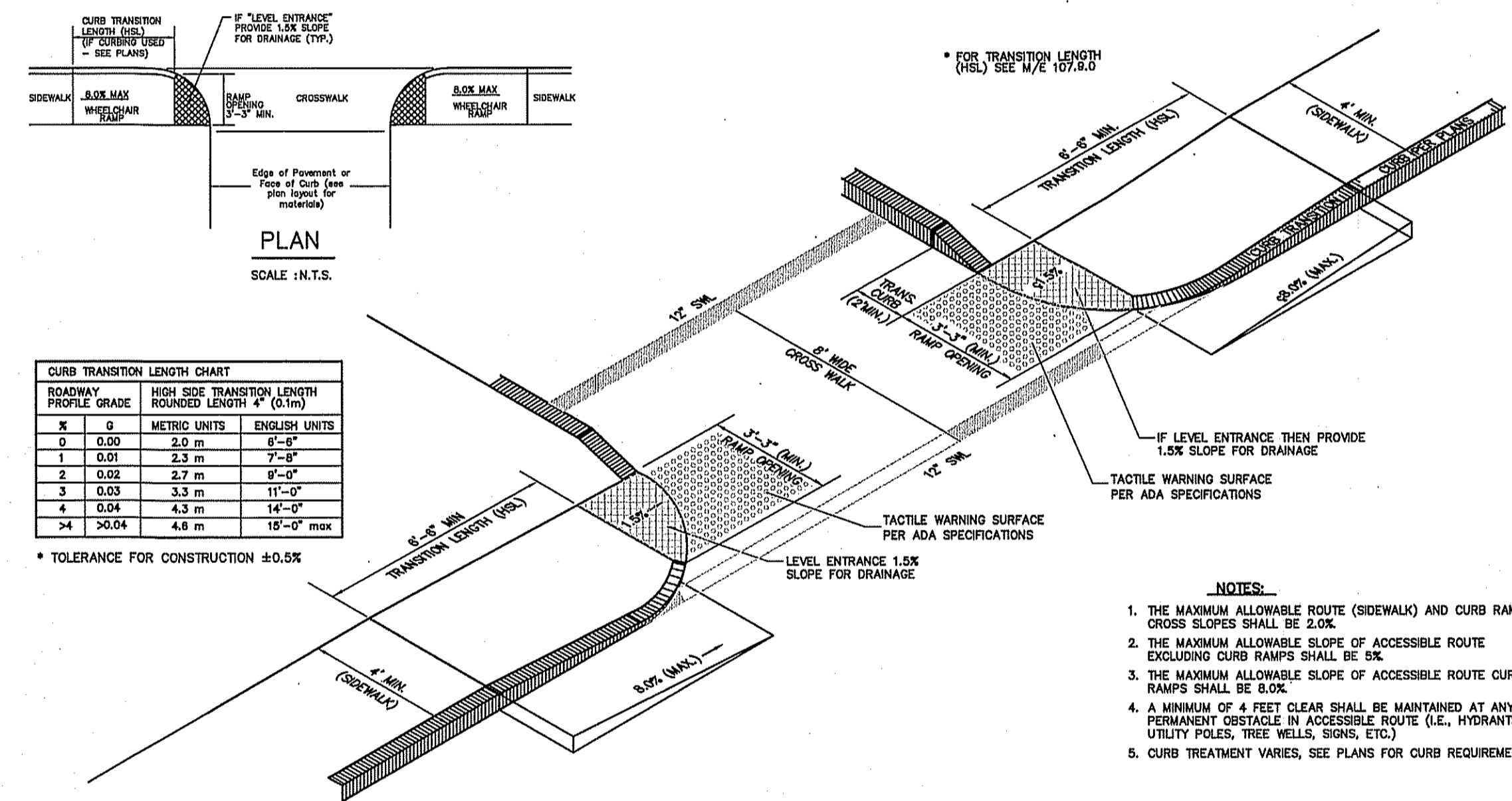
C-201 SANITARY SEWER MANHOLE (SMH) DETAIL N.T.S.



C-204 SEWER SERVICE CLEAN-OUT DETAIL N.T.S.



C-448 CONCRETE BUMPER DETAIL N.T.S.



C-438-A CROSSWALK DETAIL N.T.S.

**JHE** J.K. Holmgren Engineering  
Registered Professional Engineers & Land Surveyors

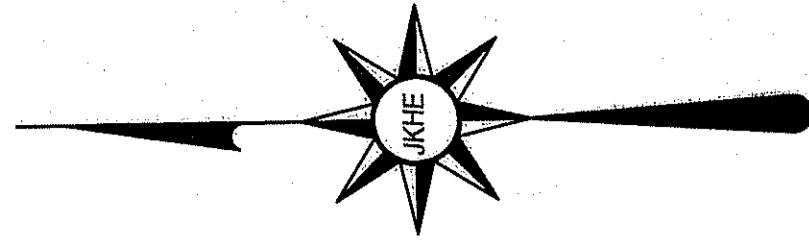
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TITLE  
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DATE: 06/01/2022

**C-10**  
DRAWING NUMBER

H:\2020\2020-078\CIVIL\2020-078CDS2.DWG  
2020-078



MAP 14, BLOCK 314, PLOT 0  
 PRUCHNIAK MICHAL & AVAGYAN TATYANA  
 88 SUMMER STREET

NEIGHBORHOOD  
 COMMERCIAL  
 CN

PROP. REPLICATION AREA FROM O.O.C.  
 (3/4/2002) AND PLAN ENTITLED  
 "BROOKS PHARMACY LANDSCAPE PLAN"  
 REVISED 01/22/2002 PREPARED BY  
 CROSSMAN ENGINEERING INC.

INDUSTRIAL

RESIDENTIAL  
 R RB

INDUSTRIAL

SUMMER  
 STREET

STREET

STOP  
 100' BUFFER ZONE  
 STREET

UNION  
 STREET

**GENERAL NOTES :**

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0

LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194  
 PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

APPLICANT :  
 RETAIL ASHLAND LLC  
 858 WASHINGTON STREET  
 DEDHAM, MA. 02026

OWNER :  
 RETAIL ASHLAND LLC  
 858 WASHINGTON STREET  
 DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS  
 PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING  
 TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES  
 PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD  
 PROTECTION ZONE.

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X)  
 AS PER FEMA - FIRM MAP COMMUNITY PANEL 25017C0514F, DATED  
 7/7/2014.

CAR QUEING SIZE	
AVERAGE LENGTH OF SMALL SUV	= 14.4'
AVERAGE LENGTH OF MID SIZED CAR	= 14.8'
AVERAGE LENGTH OF FULL SIZED CAR	= 15.7'
AVERAGE LENGTH OF SMALL PICK UP	= 16.3'
AVERAGE LENGTH OF LARGE SUV	= 16.7'
AVERAGE LENGTH OF LARGE PICK UP	= 18.4'

Assessors Map: 20 Block: 9 Lot: 0  
 399 Union Street, Ashland, Massachusetts

PREPARED FOR

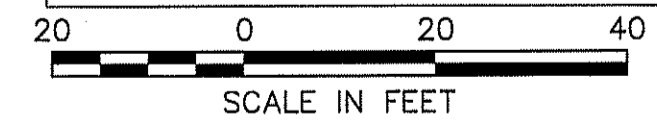
**RETAIL ASHLAND, LLC**

TITLE

**PROPOSED QUEING PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
 1024 Pearl Street, Brockton, MA. 02301  
 Phone - (508) 583-2595 Fax - (508)-588-7518  
 Email : sfaria@jkholmgren.com



SCALE: 1" = 20'

NO.	BY	DATE	REMARKS
8	SSR	11.29.22	TRAFFIC REVIEW ENG. COMMENTS
7	SSR	10.27.22	TRAFFIC REVIEW ENG. COMMENTS
6	SSR	10.13.22	DESIGN REVIEW COMM. COMMENTS
5	JEG	10.07.22	GCC REVIEW COMMENTS
4	SSR	09.29.22	ADDITIONAL LANDSCAPE
3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY
1	JEG	03.23.22	SIDEWALK AND CARS ADDITION

DATE: 06/01/2022

**C-11**

DRAWING NUMBER

H:\2020\2020-078 Salvatore Capital, 399 Union St., Ashland\CIVIL\DESIGN\2020-078SP8.dwg  
 2020-078

**LEGEND**

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT