

MAP 14, BLOCK 314, PLOT 0
PRUCHNIAK MICHAL & AVAGYAN TATYANA
88 SUMMER STREET

PROP. REPLICATION AREA FROM O.O.C.
(3/4/2002) AND PLAN ENTITLED
"BROOKS PHARMACY LANDSCAPE PLAN"
REVISED 01/22/2002 PREPARED BY
CROSSMAN ENGINEERING INC.

MAP 20, BLOCK 10, PLOT 0
KASSAHUN SEIFE SINTAYEHU
373 UNION STREET

INDUSTRIAL

RESIDENTIAL R RB
INDUSTRIAL LSA

MAP 20, BLOCK 9, LOT 0
55,324 S.F.

LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

GENERAL NOTES :

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0
LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194
PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

APPLICANT : RETAIL ASHLAND LLC
858 WASHINGTON STREET
DEDHAM, MA. 02026
OWNER : RETAIL ASHLAND LLC
858 WASHINGTON STREET
DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25017C0514F, DATED 7/7/2014.

Assessors Map: 20 Block: 9 Lot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR

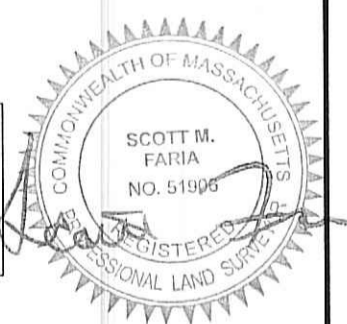
RETAIL ASHLAND, LLC

TITLE

EXISTING CONDITIONS PLAN

J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595 Fax - (508)-588-7518
Email : sfaria@jkholmgren.com



SCALE: 1" = 20'

NO.	BY	DATE	REMARKS
10	SSR	01.18.23	REV. PER PB HEARING #3
9	SSR	12.19.22	REV. PER PB HEARING
8	SSR	11.29.22	TRAFFIC REVIEW ENG. COMMENTS
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4	SSR	09.28.22	ADDITIONAL LANDSCAPE
3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY

DATE: 06/01/2022

C-2

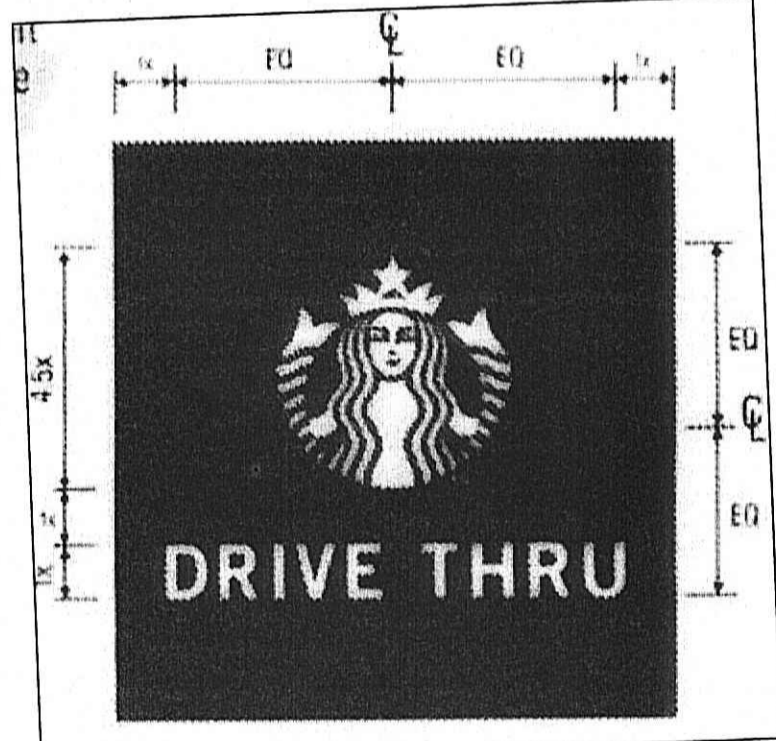
DRAWING NUMBER

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2020-078

SITE LEGEND

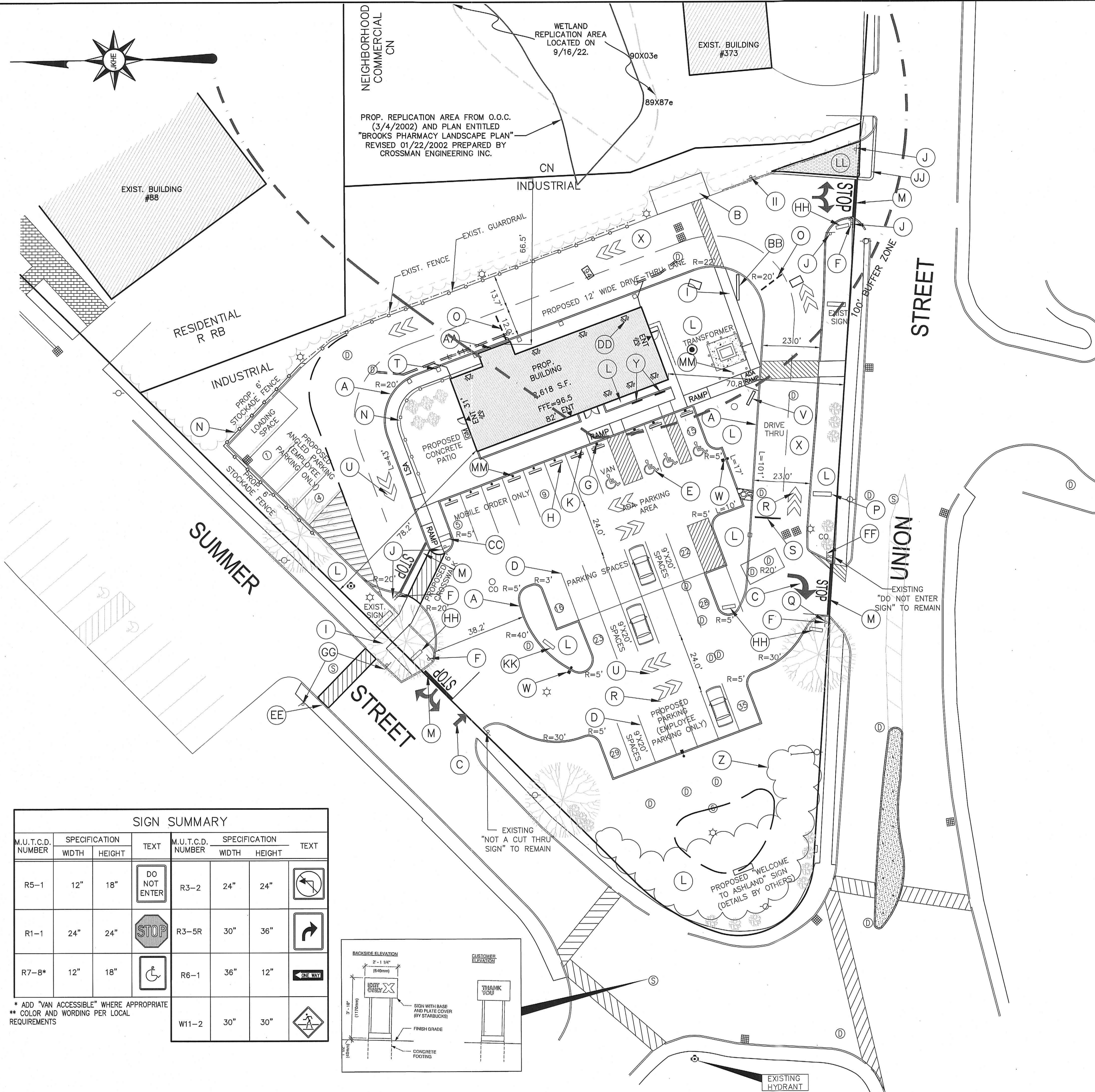
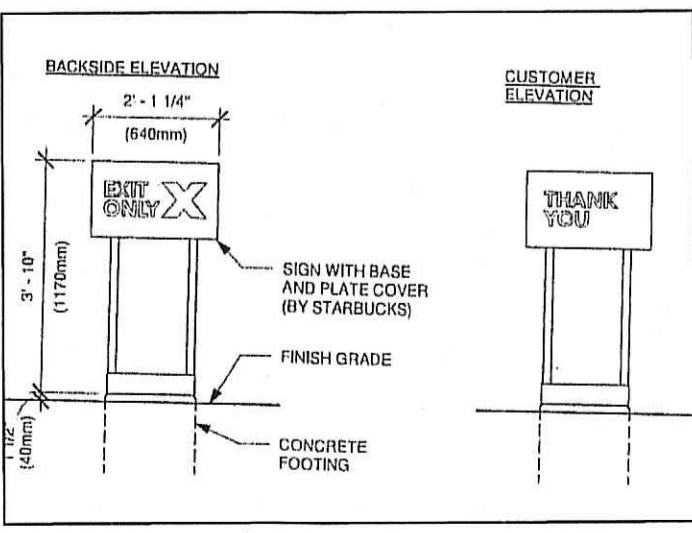
- (A) PRECAST CONCRETE CURB
- (B) TRASH ENCLOSURE AREA (EXISTING)
- (C) TRAFFIC FLOW ARROWS (SEE DETAILS)
- (D) 6" WIDE LINE STRIPE
- (E) ACCESSIBLE PARKING SYMBOL
- (F) STOP SIGN (RS-8)
- (G) ACCESSIBLE PARKING SIGN
- (H) CONC. WHEEL STOPS (SEE DETAIL)
- (I) 5' WIDE CONCRETE WALK
- (J) DO NOT ENTER SIGN
- (K) MONOLITHIC CONCRETE SIDEWALK & CURB
- (L) LANDSCAPED ISLAND
- (M) 12" STOP BAR
- (N) DECORATIVE FENCE
- (O) VEHICLE DETECTOR LOOP
- (P) IDENTIFICATION SIGN (SIGN PLAN BY OTHERS)
- (Q) RIGHT TURN ONLY SIGN
- (R) ENTRY PAVEMENT ARROW (GREEN)
- (S) CLEARANCE BAR
- (T) NON-ILLUMINATED BOLLARD
- (U) EXIT PAVEMENT ARROW (WHITE)
- (V) DRIVE THRU PRE-MENU BOARD
- (W) SITE LIGHT POLES
- (X) BYPASS LANE (12' WIDE MINIMUM)
- (Y) BIKE RACKS
- (Z) SNOW STORAGE AREA
- (AA) PICK UP WINDOW W/ CANOPY
- (AB) DT 5' PANEL MENU BOARD
- (AC) FREE STANDING
- (AD) SIGN- DT THANK YOU/ EXIT ONLY
- (AE) BUILDING SCOOCE (SEE ARCH PLANS)
- (AF) PROPOSED 6' WIDE CROSSWALK (SEE TRAFFIC PLANS)
- (AG) NO LEFT TURN SIGN
- (AH) PEDESTRIAN CROSSING SIGN
- (AI) THANK YOU SIGN
- (AJ) ONE WAY SIGN
- (AK) SLOPED GRANITE CURB
- (AL) STARBUCKS DRIVE-THRU "RIGHT" SIGN
- (AM) GRASS PAVERS (ARSENAL ECO PAVERS)
- (AN) BOLLARDS (SEE DETAILS)



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SIGN SUMMARY							
M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	TEXT	M.U.T.C.D. NUMBER	SPECIFICATION WIDTH	SPECIFICATION HEIGHT	TEXT
R5-1	12"	18"	DO NOT ENTER	R3-2	24"	24"	[Symbol]
R1-1	24"	24"	STOP	R3-5R	30"	36"	[Symbol]
R7-8*	12"	18"	[Symbol]	R6-1	36"	12"	[Symbol]
			* ADD "VAN ACCESSIBLE" WHERE APPROPRIATE	W11-2	30"	30"	[Symbol]
			** COLOR AND WORDING PER LOCAL REQUIREMENTS				



GENERAL NOTES :

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0

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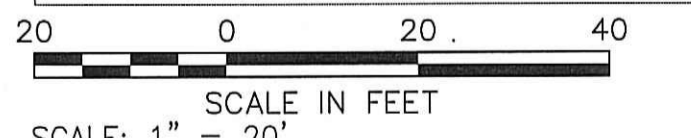
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ZONING TABLE		
ZONE: I (INDUSTRIAL)		
PROPOSED USE: RESTAURANT / DRIVE-THRU		
MIN. LOT AREA	REQUIRED 30,000	PROVIDED 55,324 S.F.
FRONTAGE	REQUIRED 150'	PROVIDED >150'
FRONT SETBACK	REQUIRED 40'	PROVIDED 70.8'
SIDE SETBACK	REQUIRED 30'	PROVIDED 78.2'
REAR SETBACK	REQUIRED 30'	PROVIDED 64.9'
MAX. BLDG. HEIGHT (STORIES)	REQUIRED 2 STORIES	PROVIDED 1 STORY
MAX. % BLDG. LOT COVERAGE	REQUIRED N/A	PROVIDED 39%
MIN. OPEN SPACE (GREEN SPACE)	REQUIRED N/A	PROVIDED 22.9%
PARKING SCHEDULE:		
REST. : 1 SPACE PER 4 SEATS	46/4= 12 SPACES	
PATIO : 1 SPACE PER 4 SEATS	28/4= 7 SPACES	
TOTAL PARKING	19 SPACES	35 SPACES

Assessors Map: 20 Block: 9 Lot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR
RETAIL ASHLAND, LLC

TITLE
LAYOUT & MATERIALS PLAN
J.K. HOLMGREN ENGINEERING, INC.
Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
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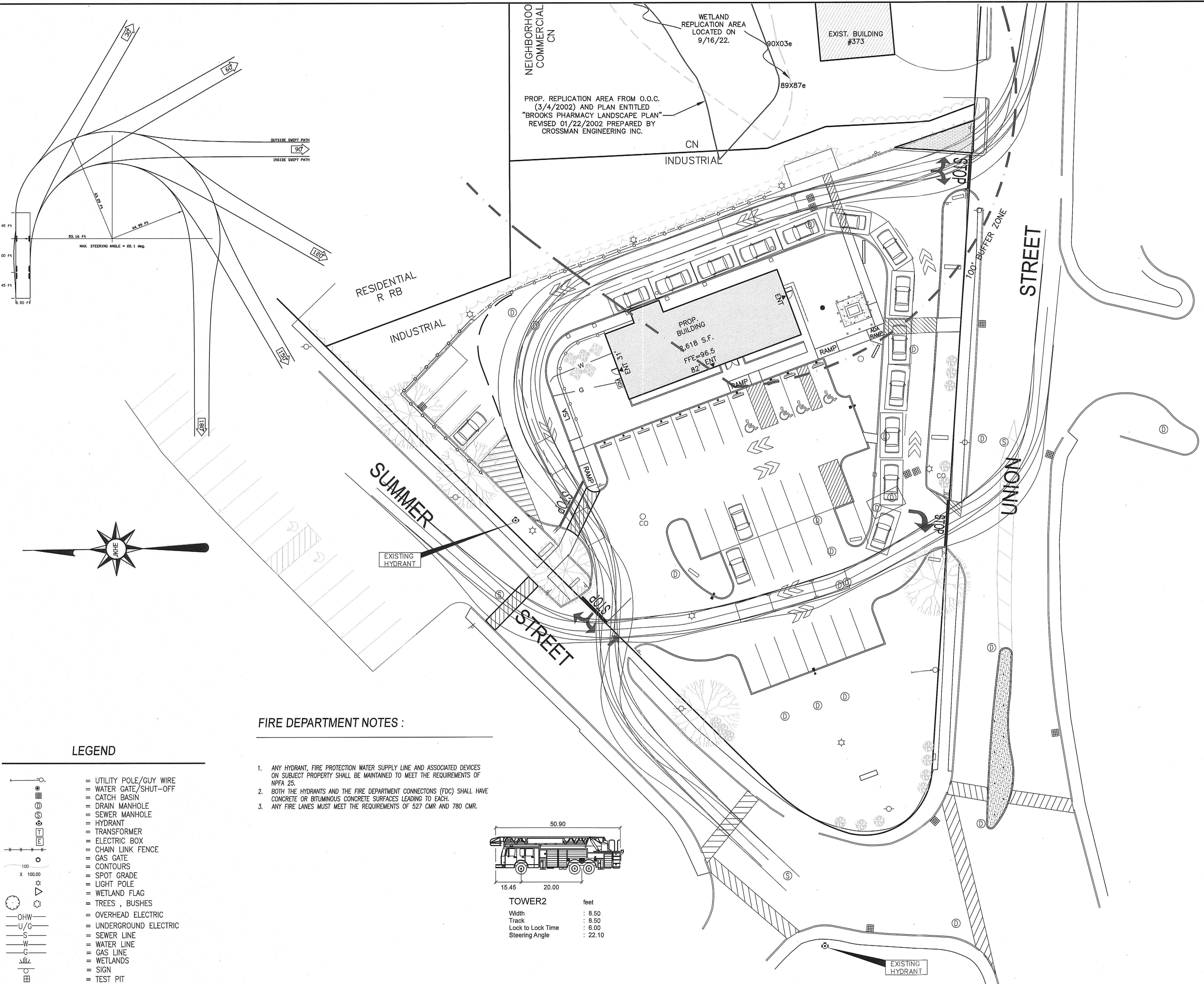


SCALE: 1" = 20'

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4	SSR	09.29.22	ADDITIONAL LANDSCAPE
3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY
1	JEG	03.23.22	SIDEWALK AND CARS ADDITION

DATE: 06/01/2022

C-3
DRAWING NUMBER



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 399 Union Street, Ashland, Massachusetts

PREPARED FOR

RETAIL ASHLAND, LLC

TITLE

FIRE TRUCK TURN PLAN

J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors
 1024 Pearl Street, Brockton, MA. 02301
 Phone - (508) 583-2595 Fax - (508)-588-7518
 Email : sfaria@jkholmgren.com



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DATE: 06/01/2022

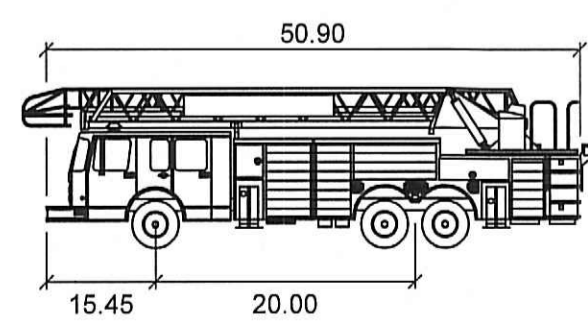
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DRAWING NUMBER

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 2020-078

FIRE DEPARTMENT NOTES :

- ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO MEET THE REQUIREMENTS OF NPFA 25.
- BOTH THE HYDRANTS AND THE FIRE DEPARTMENT CONNECTIONS (FDC) SHALL HAVE CONCRETE OR BITUMINOUS CONCRETE SURFACES LEADING TO EACH.
- ANY FIRE LANES MUST MEET THE REQUIREMENTS OF 527 CMR AND 780 CMR.

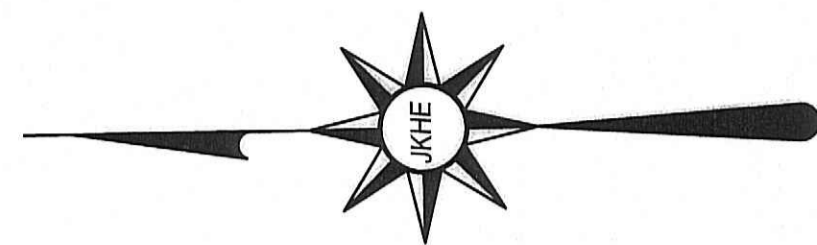


TOWER2 feet
 Width : 8.50
 Track : 8.50
 Lock to Lock Time : 8.00
 Steering Angle : 22.10

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MAP 14, BLOCK 314, PLOT 0
PRUCHNIAK MICHAL & AVAGYAN TATYANA
88 SUMMER STREET



GRADING AND DRAINAGE NOTES:

1. THE PROJECT ELEVATIONS ARE BASED ON THE NGVD OF 1929 BASE VERTICAL DATUM.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.
6. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED AND INSTALLED FOR H-20 LOADING.
7. CPP - HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR WALL TO MEET ADS N-12 PIPE SPECIFICATION OR EQUAL. CPP PIPE USE SHALL BE ALLOWED AS NOTED, WITH A DIAMETER UP TO AND INCLUDING 24". BACKFILLING CPP MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS AND SPECIAL CARE MUST BE EXERCISED (SEE ADS PRODUCT NOTE 3.115).
8. ROOF DOWNSPOUTS SHALL BE TIED INTO ROOF DRAINS AS SHOWN ON PLAN. ROOF DRAINS TO BE AT LEAST 4" CPP AT 1.00% SLOPE MINIMUM, UNLESS OTHERWISE NOTED. MINIMUM TYPICAL COVER SHALL BE 2 FEET, U.O.N.
11. ALL RCP PIPE TO MEET CLASS IV SPECIFICATIONS.
12. ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.
13. INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMI-ANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.
14. ACCUMULATED DEBRIS IN CATCH BASINS, TRENCH GRATES, BASINS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

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NEIGHBORHOOD
COMMERCIAL
CN

PROP. REPLICATION AREA FROM O.O.C.
(3/4/2002) AND PLAN ENTITLED
"BROOKS PHARMACY LANDSCAPE PLAN"
REVISED 01/22/2002 PREPARED BY
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INDUSTRIAL

RESIDENTIAL
R RB

INDUSTRIAL

SUMMER
STREET

STREET

UNION
STREET

UNION
STREET

BENCHMARK:
SMH RIM=
100.0
(ASHLAND TOWN BASE)

GENERAL NOTES :

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STORMWATER MANAGEMENT SYSTEM COMPONENT

- CB - EXISTING CATCH BASIN
 - DMH - EXISTING DRAIN MANHOLE
 - EXISTING STORMWATER QUALITY UNIT (VORTECHS UNIT)
 - EXISTING U/G STORMWATER SYSTEM (36" PERFORATED HDPE PIPE WITH STONE)
- * OPERATION & MAINTENANCE PLAN FOR ADDITIONAL INFORMATION

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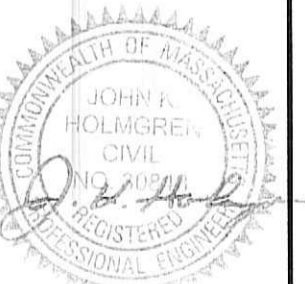
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SCALE IN FEET
20 0 20 40

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C-4

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NEIGHBORHOOD
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WETLAND
REPLICATION AREA
LOCATED ON
9/16/22.

EXIST. BUILDING
#373

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INDUSTRIAL
CN

EXIST. BUILDING
#88

RESIDENTIAL
R RB

PROPOSED UNDERGROUND
TELEPHONE, ELECTRIC & DATA
CONDUITS FROM EXISTING UTILITY
POLE
(FINAL SIZE & LOCATION BY
EACH APPROPRIATE COMPANY)

UTILITY NOTES:

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUIDISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.
3. SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SDR 35 PVC, U.O.N., AT A SLOPE OF 1% MINIMUM FROM MAINLINE TO BUILDING UNIT WITH A 'CLEAN' OUT SET AT A DISTANCE OF 10' (U.O.N.) OFF EACH UNIT FOUNDATION.
4. TYPICAL COVER OVER WATER LINE SHALL BE 5', IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING.
5. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET U.O.N. OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
6. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
7. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

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- = TEST PIT

GENERAL NOTES:

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0
LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194
PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

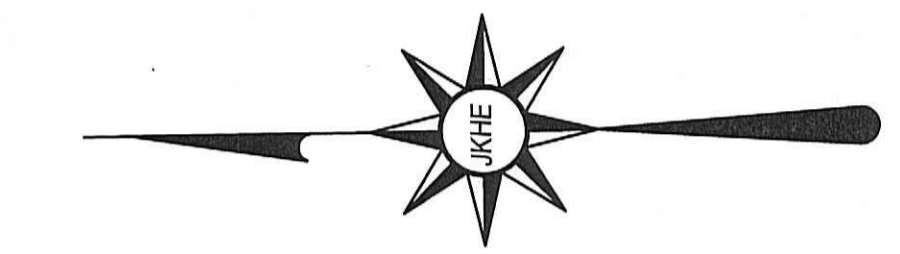
APPLICANT : RETAIL ASHLAND LLC
858 WASHINGTON STREET
DEDHAM, MA. 02026

OWNER : RETAIL ASHLAND LLC
858 WASHINGTON STREET
DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25017C0514F, DATED 7/7/2014.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF EASTON UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.

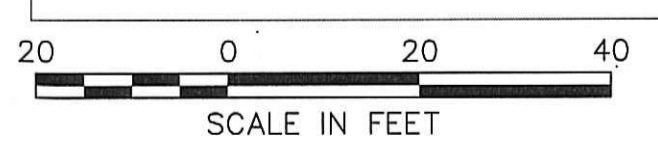
Assessors Map: 20 Block: 9 Lot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR
RETAIL ASHLAND, LLC

UTILITY PLAN

J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595 Fax - (508)-588-7518
Email : sfaria@jkholmgren.com



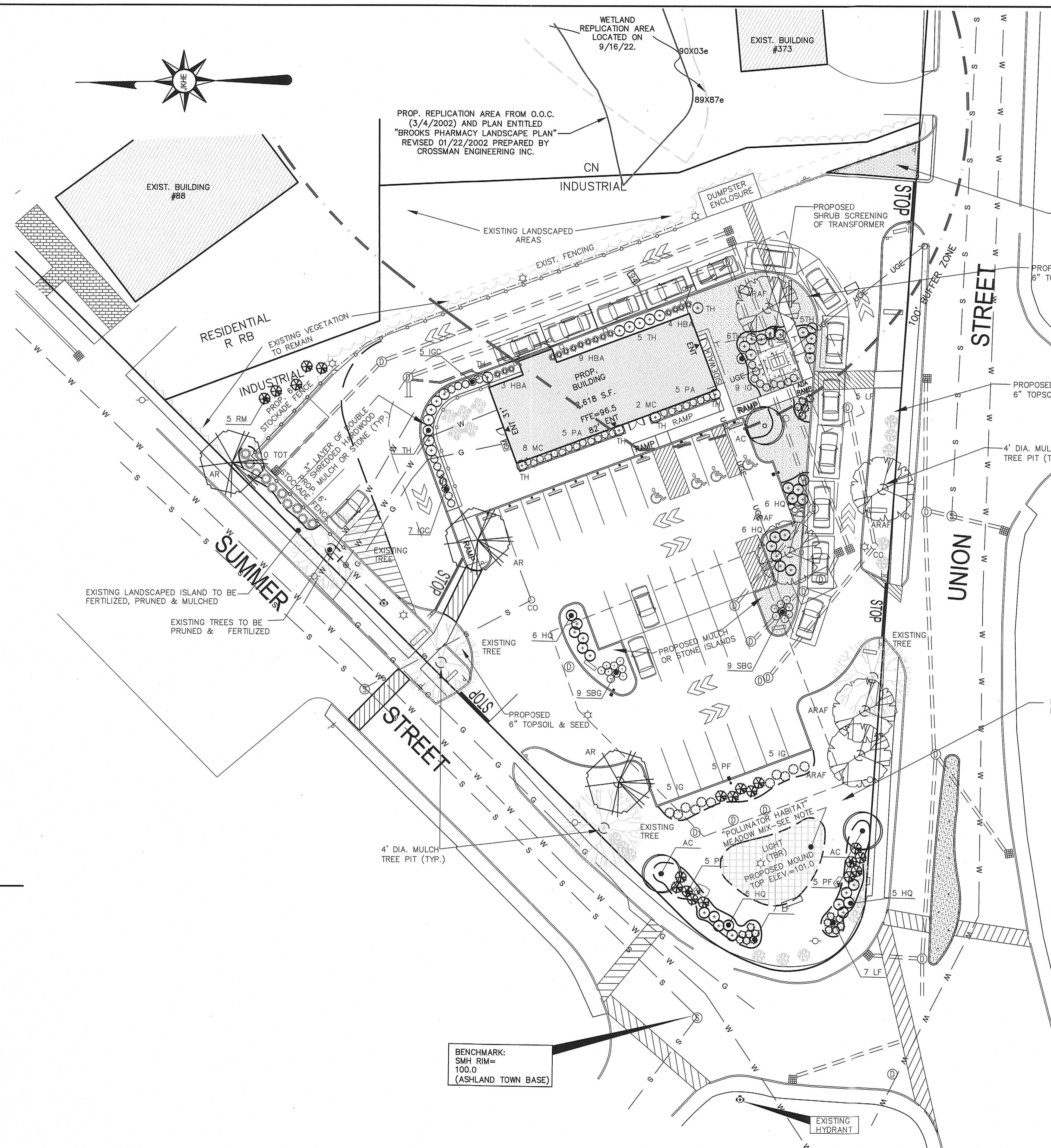
SCALE: 1" = 20'

NO.	BY	DATE	REMARKS
10	SSR	01.18.23	REV. PER PB HEARING #3
9	SSR	12.19.22	REV. PER PB HEARING
8	SSR	11.29.22	TRAFFIC REVIEW ENG. COMMENTS
7	SSR	10.27.22	TRAFFIC REVIEW ENG. COMMENTS
6	SSR	10.13.22	DESIGN REVIEW COMM. COMMENTS
5	JEG	10.07.22	GDC REVIEW COMMENTS
4	SSR	09.29.22	ADDITIONAL LANDSCAPE
3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY

DATE: 06/01/2022

C-5
DRAWING NUMBER

H:\2020\2020-078 Salvatore Capital, 399 Union St., Ashland\CIVIL\DESIGN\2020-078SP10.dwg
2020-078



SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR	3	ACER RUBRUM	RED MAPLE	2-2 1/2" CAL.	B & B
ARAF	8	ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	2-2 1/2" CAL.	B & B
HBA	16	HOSTA 'BOLD RIBBONS'	BOLD RIBBONS HOSTA	-	CONTAINER
IGC	12	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	15-18" HT.	CONTAINER
RM	5	RHOODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	18-24" HT.	CONTAINER
TOT	10	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	4-5' HT.	CONTAINER
MC	10	MOLINIA CAERULEA 'VARIEGATA'	VAR. PURPLE MOOR GRASS	-	#2 POT
PA	10	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	-	#2 POT
SBG	18	SPIRAEA X BUMALDA 'GOLDFLAME'	GOLD FLAME SPIREA	12-15" HT.	CONTAINER
TH	28	TAXUS MEDIA 'HICKSII'	HICKS 'YEW	30-36" HT.	CONTAINER
AC	3	AMELANCHIER CANADENSIS	SHADBLow	8-10" HT.	B & B
PF	15	PIERIS FLORIBUNDA	MOUNTAIN PIERIS	18-24" HT.	CONTAINER
HQ	26	HYDRANGEA QUERCUS	OAKLEAF HYDRANGEA	18-24" HT.	CONTAINER
LF	19	LEUCOTHOE FONTAINESIANA	DROOPING LEUCOTHOE	12-15" HT.	CONTAINER
IG	19	ILEX GLABRA	INKBERRY	15-18" HT.	CONTAINER
JH	7	JUNIPERUS HORIZONTALIS	JUNIPERUS HORIZONTALIS	12-15" SPR	CONTAINER

- LANDSCAPE NOTES:**
- CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.
 - ALL SEEDED AND / OR SOD AREAS SHALL RECEIVE 6" OF LOAM OR TOPSOIL.
 - ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
 - PLANTING SOIL MIX SHALL CONSIST OF 1/3 SPHAGNUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
 - ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF THREE FEET OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.
 - REFERENCE IS MADE TO THE "MULCH LAW", THE REVISED REGULATION, 807 CMR 1 - 10.14.10.4, PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18 INCHES AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR VINYL BUT NOT BRICK OR CONCRETE. AN 18" STRIP OF 1 1/2" - 2 1/2" STONE SHALL BE PLACED AT A DEPTH OF 6" AROUND EXISTING WOOD AND VINYL BUILDINGS.

SEEDING SPECIFICATIONS:

TEMPORARY SEEDING:	APPLICATION RATE:
SEED MIXTURE:	1 LB/1000 SF
RYEGRASS	

PERMANENT SEEDING IN LANDSCAPED AREAS:	APPLICATION RATE:
SEED MIXTURE:	85 LBS/1000 SF
PERENNIAL RYEGRASS	52 LBS/1000 SF
CREeping RED FESCUE	7 LBS/1000 SF
REDTOP	

PERMANENT SEEDING IN SLOPED AREAS:	APPLICATION RATE:
SEED MIXTURE:	30 LBS/1000 SF
PERENNIAL RYEGRASS	35 LBS/1000 SF
CREeping RED FESCUE	5 LBS/1000 SF
REDTOP	5 LBS/1000 SF
ALFESSE CLOVER	5 LBS/1000 SF
BIRDFOOT TREFOIL	5 LBS/1000 SF

"MEADOW MIX" BY ERNST SEED COMPANY (ERNMX-125) FOR "POLLINATOR HABITAT"

LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

BENCHMARK:
SMH RIM =
100.0
(ASHLAND TOWN BASE)

Assessors Map: 20 Block: 9 Lot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR
RETAIL ASHLAND, LLC
TITLE
LANDSCAPE DEVELOPMENT PLAN

J.K. HOLMGREN ENGINEERING, INC.
Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595 Fax - (508)-588-7518
Email : sfaria@kholmngren.com

JKE J.K. Holmgren Engineering
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SCALE: 1" = 20'

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DATE: 06/01/2022

C-6
DRAWING NUMBER

H:\2020\2020-078 Salvatore Capital, 399 Union St., Ashland\Civil\DESIGN\2020-078SP10.dwg
2020-078

CONSTRUCTION SEQUENCE

- INSTALL SILT SOCKS AND SILT FENCING TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.
- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE AREA AS SHOWN ON DETAIL #609.
- DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRE-TREATMENT VIA SETTLING BASINS.
- INSTALL HAY BALE CHECK DAMS ALONG CENTER OF SWALES AT 100' O.C., AS NECESSARY.
- CLEAR AND GRUB SITE WITHIN THE LIMIT OF WORK.
- CONSTRUCT SWM BASIN TO BE USED AS SEDIMENT TRAP. INSTALL LOW FLOW PERFORATED PIPE WITH FILTER FABRIC AND STONE. DO NOT INSTALL LOW FLOW ORIFICE CAP UNTIL SITE IS FULLY STABILIZED.
- ESTABLISH ROUGH SUB GRADES FOR PARKING LOT AND BUILDING PLATFORM.
- PERFORM BUILDING AND SITE CONSTRUCTION.
- INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.
- REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.
- AS DRAINAGE STRUCTURES ARE INSTALLED, INSTALL FILTER FABRIC AND HAY BALES AROUND NEW STRUCTURES IN ACCORDANCE WITH DETAIL #607 AND MAINTAIN THEM UNTIL PAVEMENT IS IN PLACE AND VEGETATION IS ESTABLISHED. ALL OUTFALLS SHALL BE IMMEDIATELY STABILIZED WITH STONE PROTECTION AS REQUIRED.
- ALL CUT AND FILL SLOPES SHALL BE TEMPORARILY STABILIZED WITH TOP SOIL, SEED AND MULCH OR CURLEX AS REQUIRED. IF CONSTRUCTION ACTIVITY CEASES ON SAID SLOPES FOR A PERIOD OF SEVEN DAYS OR GREATER, ALL SLOPES SHALL BE PERMANENTLY STABILIZED AS REQUIRED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
- COMPLETE FINISH GRADING AND STABILIZATION OF SITE. PLACE FINAL PAVING COURSE.
- REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES, DRAIN MANHOLES, PIPES AFTER COMPLETION OF CONSTRUCTION. REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS, ETC. STABILIZE DISTURBED AREAS.
- CLEAN OUT ALL SEDIMENT FROM SWM BASIN AND OUTLET STRUCTURES. REGRADE TO CONTOURS PER DESIGN. STABILIZE ALL SLOPES AS REQUIRED. REPLACE FILTER FABRIC AND CLEAN STONE AROUND LOW FLOW OUTLET PIPE. INSTALL LOW FLOW ORIFICE CAP PER DETAIL.
- REMOVE SILT SOCKS & SILT FENCE UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE SILT SOCKS WERE REMOVED.

OPERATION/MAINTENANCE PLAN

THIS OPERATION AND MAINTENANCE PLAN SHALL BE PERFORMED BY THE GENERAL CONTRACTOR DURING CONSTRUCTION OPERATIONS AND BY THE OWNER ONCE THE FACILITIES ARE COMPLETED AND PLACED INTO OPERATION.

PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE INFORMED THAT THE MAINTENANCE OF SILTATION CONTROLS TAKES PRECEDENCE OVER NORMAL CONSTRUCTION ACTIVITIES. ADJACENT PROPERTIES AND STREETS SHALL BE PROTECTED FROM EROSION OR SILTATION CONDITIONS.

INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THEREAFTER, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.

ACCUMULATED DEBRIS IN CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

A VISUAL INSPECTION SHALL BE MADE AT ALL ACCESS MANHOLES, CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS, LEACHING BASINS, PIPES AND DRAINAGE CHANNELS FOR THE ENTIRE STORM DRAINAGE SYSTEM. THE GENERAL CONDITION OF THESE STRUCTURES SHOULD BE REVIEWED AND ACCUMULATED DEBRIS SHALL BE REMOVED. THE CONDITION OF ALL OUTLETS SHALL BE NOTED AND A DESCRIPTION OF THE DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE REPORT. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THESE STRUCTURES AND THE DRAINAGE CHANNELS IN ORDER FOR THE SYSTEM TO FUNCTION PROPERLY.

ALL OUTLETS, DRAINING CHANNELS, AND SLOPES SHALL BE KEPT STABILIZED. ANY EROSION SHALL BE REPAIRED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SWM BASIN BEFORE IT EXCEEDS 1' IN DEPTH, OR AT LEAST ONCE EVERY 5 YEARS. THE LOW FLOW OUTLET SHALL BE CLEANED AND INSPECTED FOR PROPER FUNCTIONING. ALL DEBRIS OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM OUTLET STRUCTURE AND OUT FALL PLUNGE POOL. BASIN SLOPES SHALL BE MAINTAINED WITH A GRASS STAND OF AT LEAST 3". GRASS SHALL BE MOVED AT LEAST TWICE A YEAR AND CLIPPINGS SHALL NOT BE LEFT IN BASIN. ANY TREES OR OTHER WOODY VEGETATION GROWING IN EMBANKMENTS OR NEAR CONTROL STRUCTURE SHALL BE REMOVED.

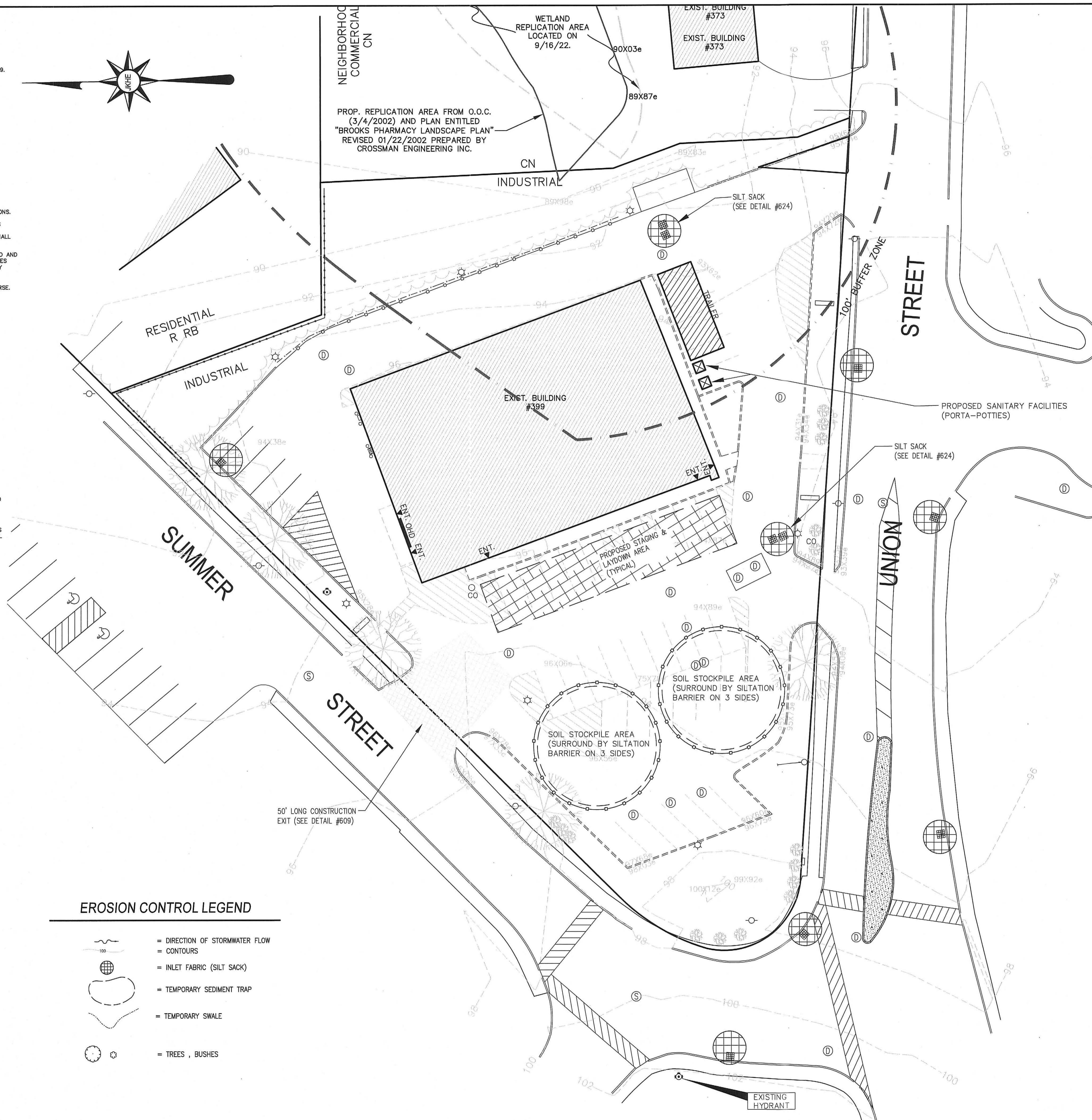
THE FOLLOWING MINIMUM INFORMATION SHALL BE RECORDED:
 • DATE OF INSPECTION
 • GENERAL CONDITION OF THE ENTIRE SYSTEM
 • CORRECTIVE MAINTENANCE ACTIONS TAKEN TO ENSURE ADEQUATE FUNCTION AND WHEN PERFORMED.
 • A COPY OF THESE INSPECTION REPORTS SHALL BE FURNISHED TO THE APPROPRIATE AGENCY UPON REQUEST.

LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
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- = SIGN
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EROSION CONTROL LEGEND

- = DIRECTION OF STORMWATER FLOW
- = CONTOURS
- = INLET FABRIC (SILT SOCK)
- = TEMPORARY SEDIMENT TRAP
- = TEMPORARY SWALE
- = TREES, BUSHES



GENERAL NOTES :

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0
 LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194
 PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

APPLICANT : RETAIL ASHLAND LLC
 858 WASHINGTON STREET
 DEDHAM, MA. 02026
 OWNER : RETAIL ASHLAND LLC
 858 WASHINGTON STREET
 DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

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NOTES

- MAINTAIN A STOCKPILE OF SILT SOCKS, 100FEET OF SILT FENCE AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- STUMPS FROM THE CLEARING OPERATION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
- DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.

Assessors Map: 20 Block: 9 Lot: 0
 399 Union Street, Ashland, Massachusetts

PREPARED FOR

RETAIL ASHLAND, LLC

TITLE SEDIMENT & EROSION CONTROL PLAN

J.K. HOLMGREN ENGINEERING, INC.

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 1024 Pearl Street, Brockton, MA. 02301
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20 0 20 40
 SCALE IN FEET

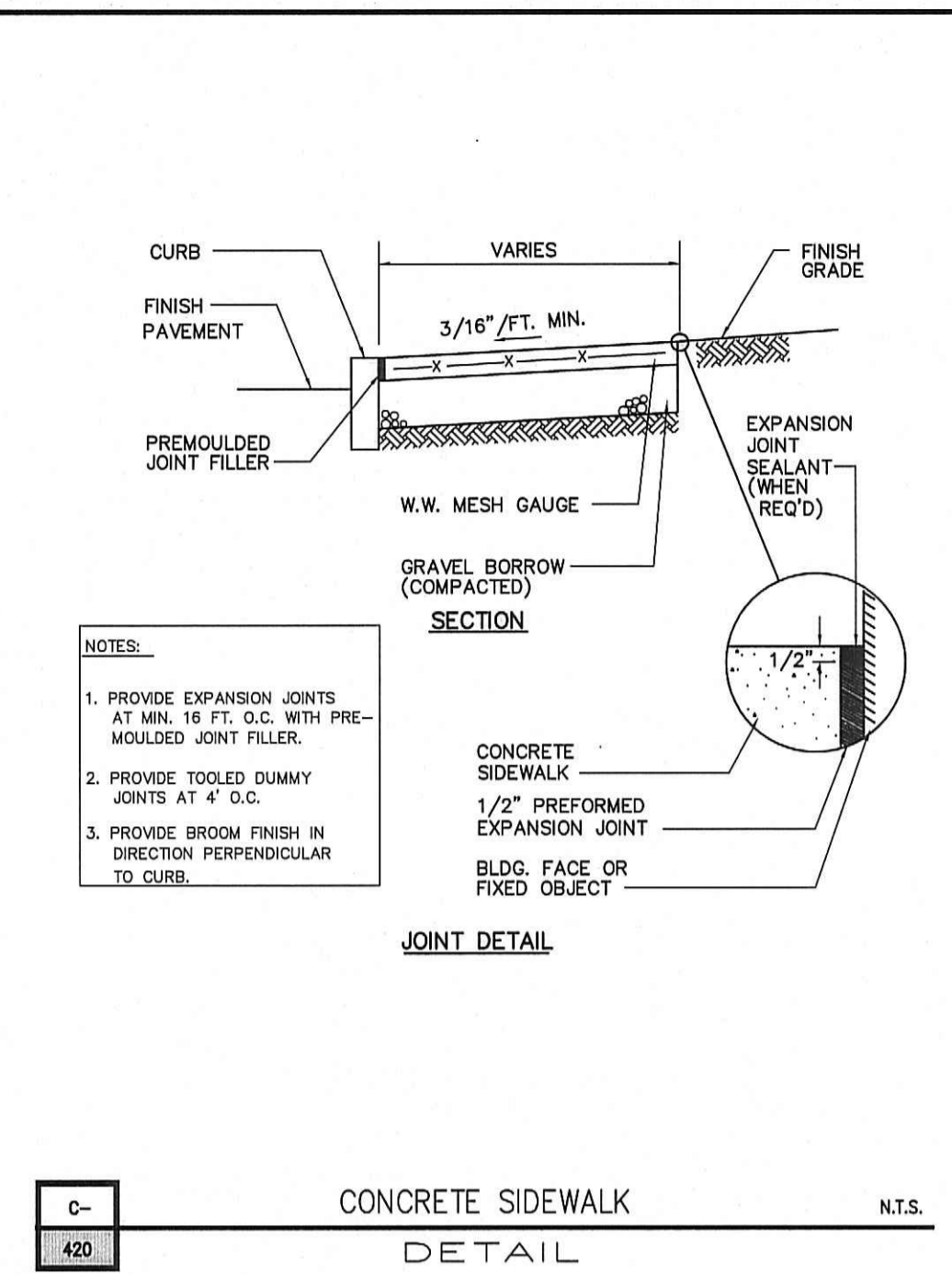
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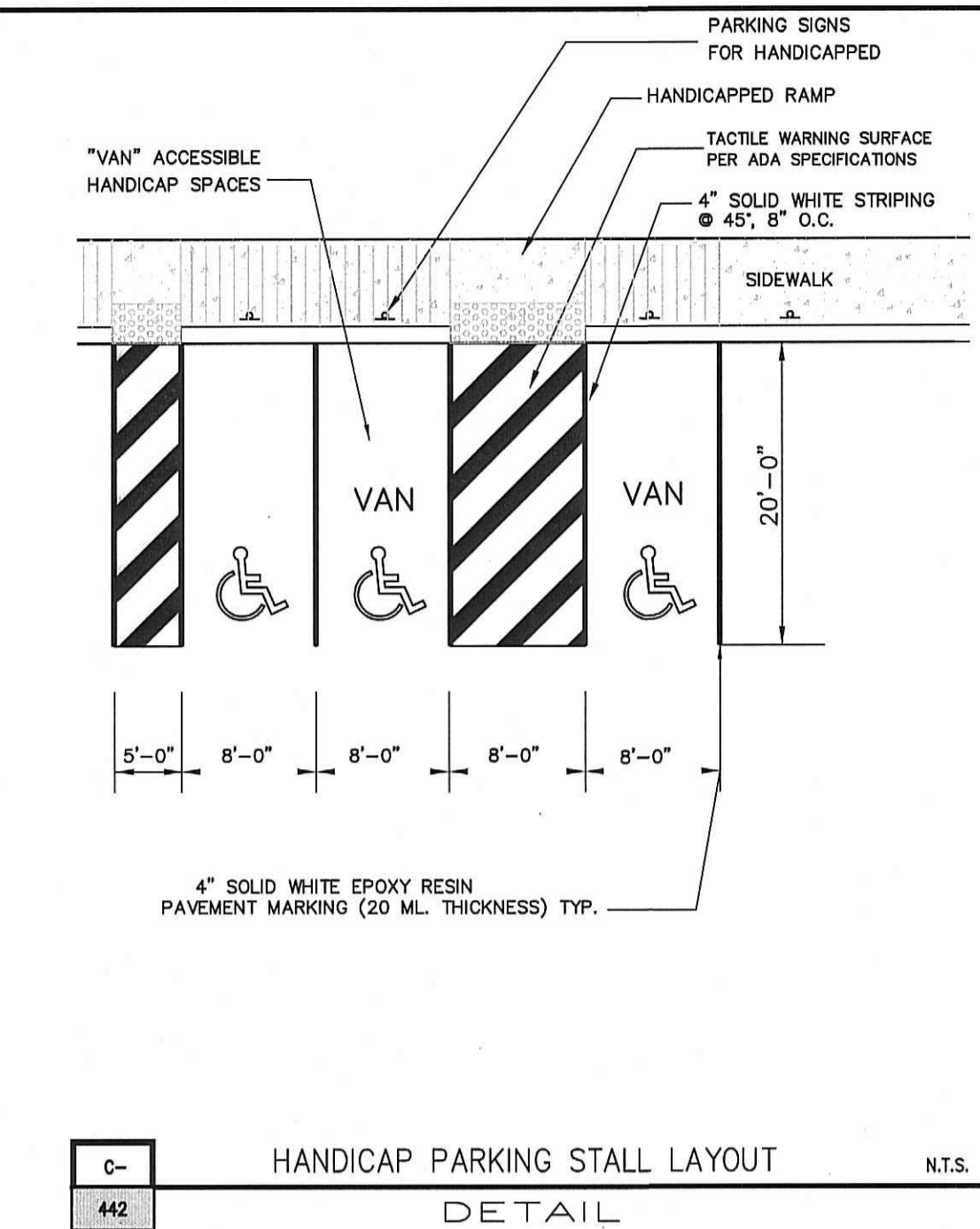
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C-7

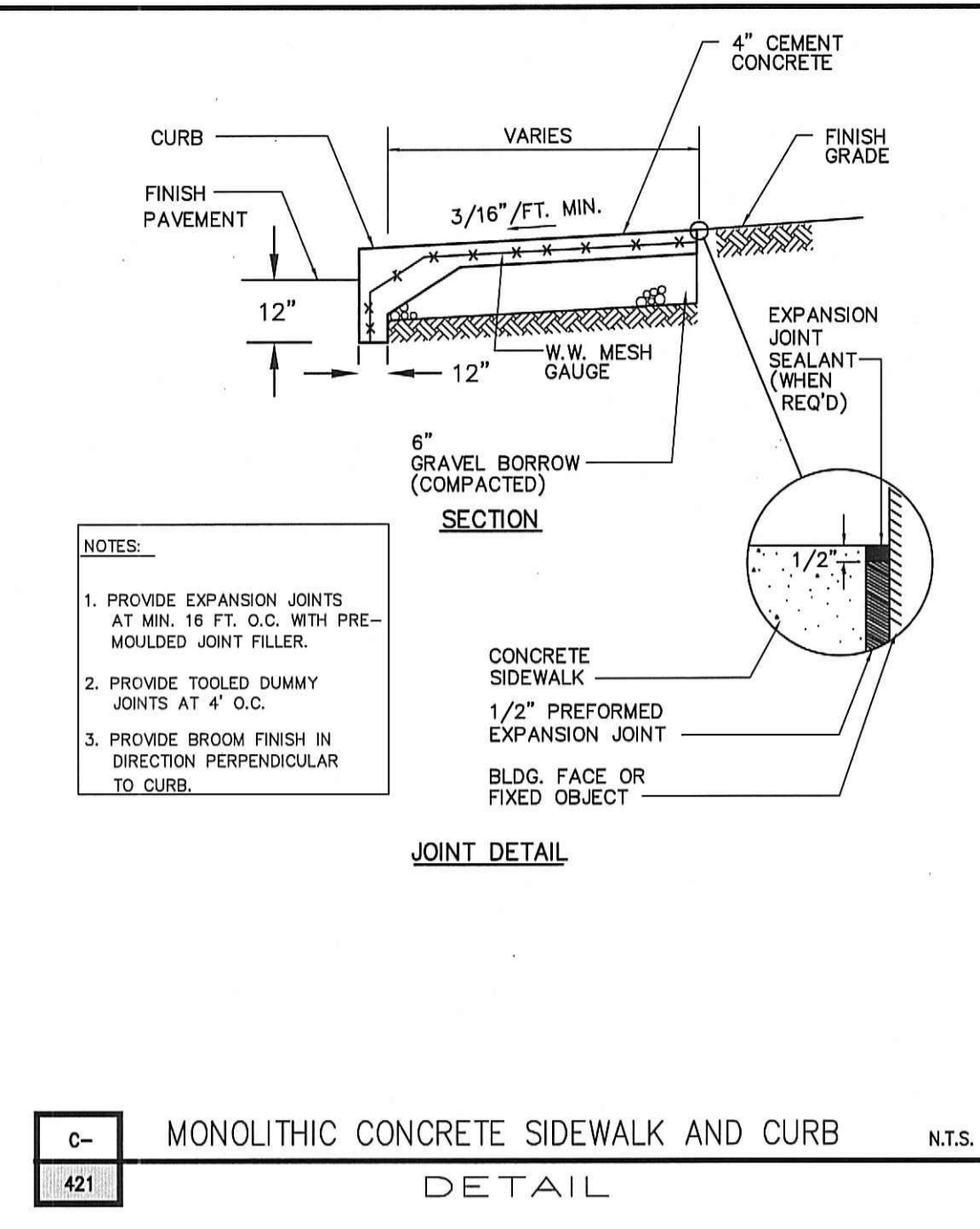
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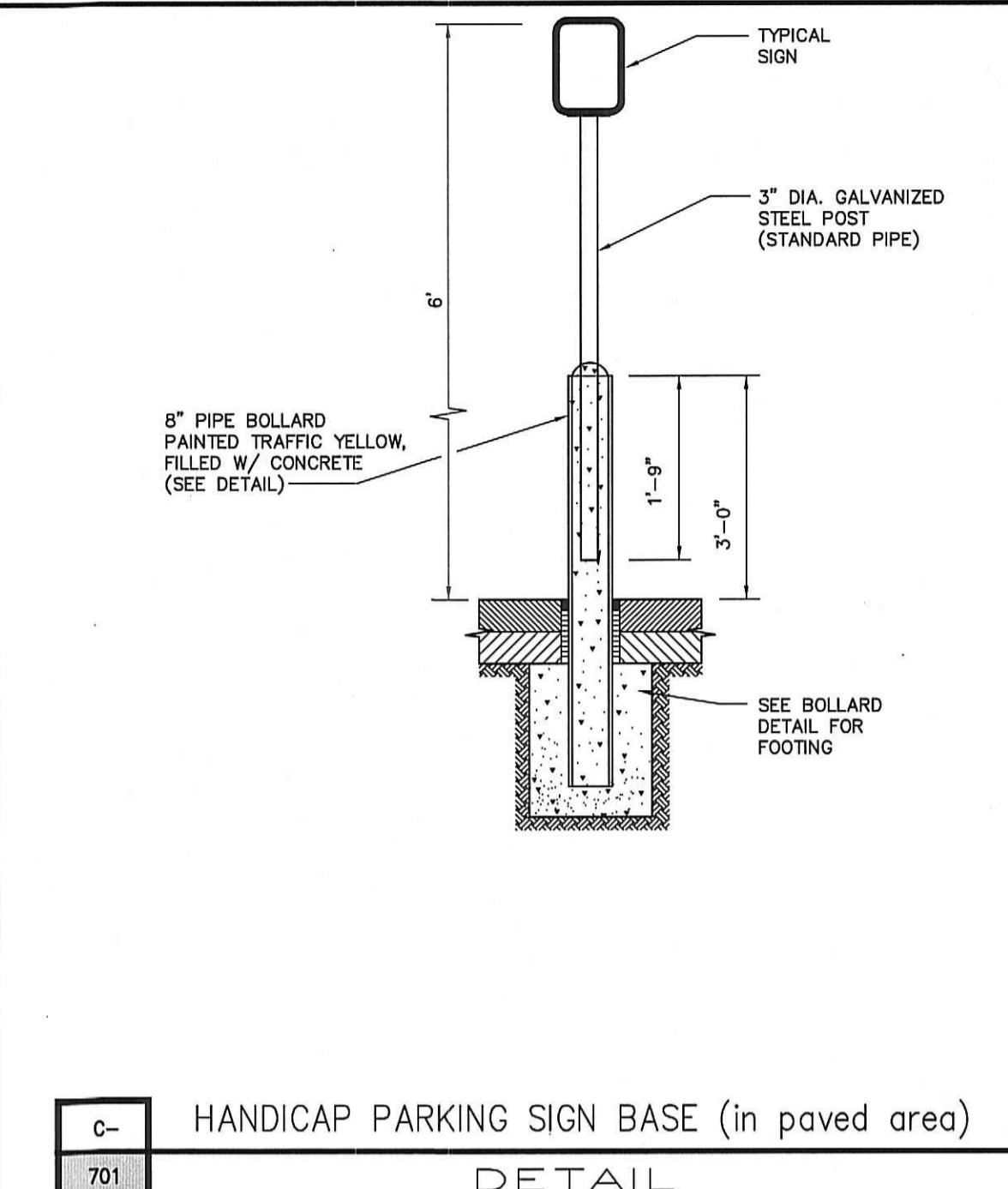
C-420 CONCRETE SIDEWALK DETAIL N.T.S.



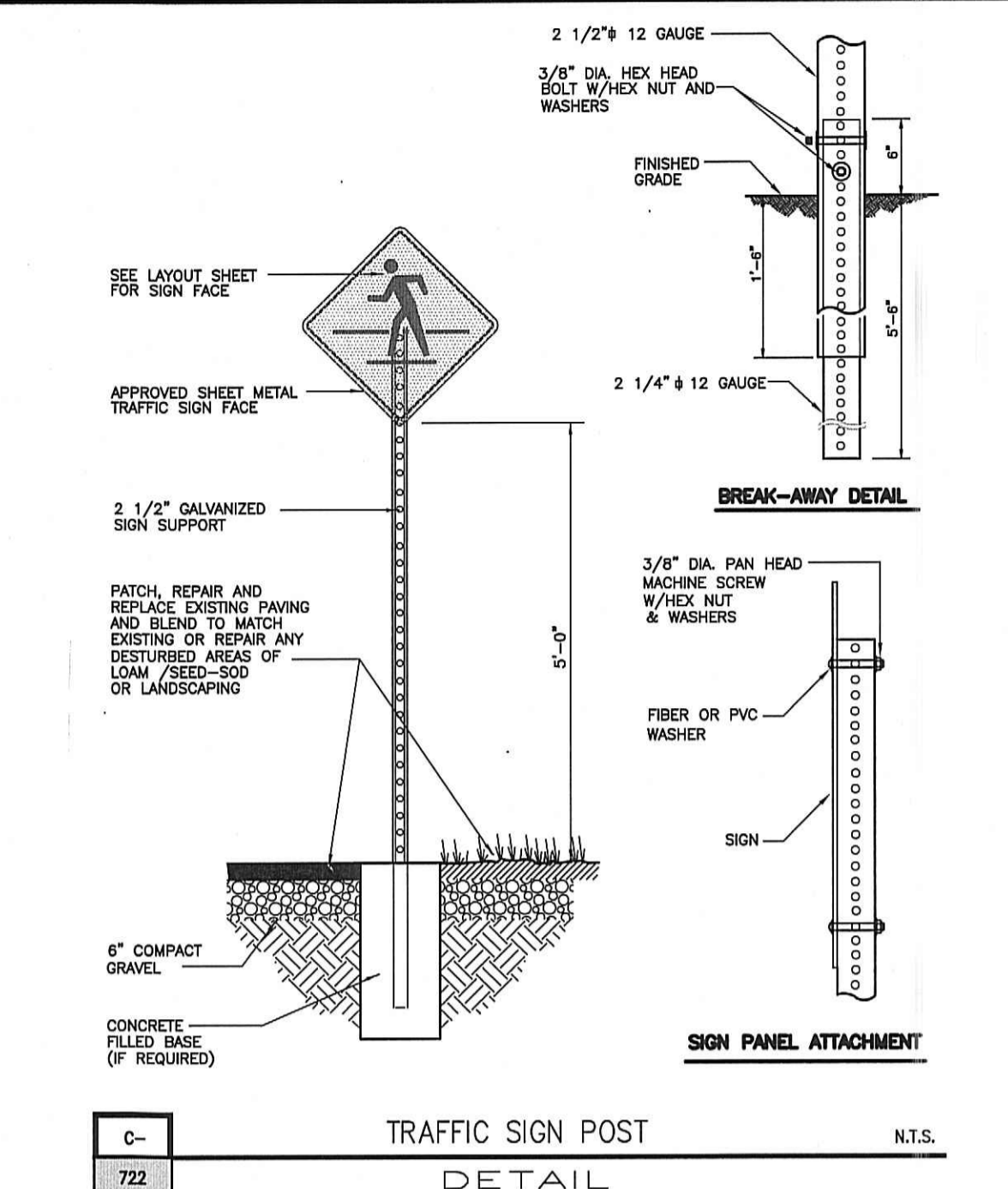
C-442 HANDICAP PARKING STALL LAYOUT DETAIL N.T.S.



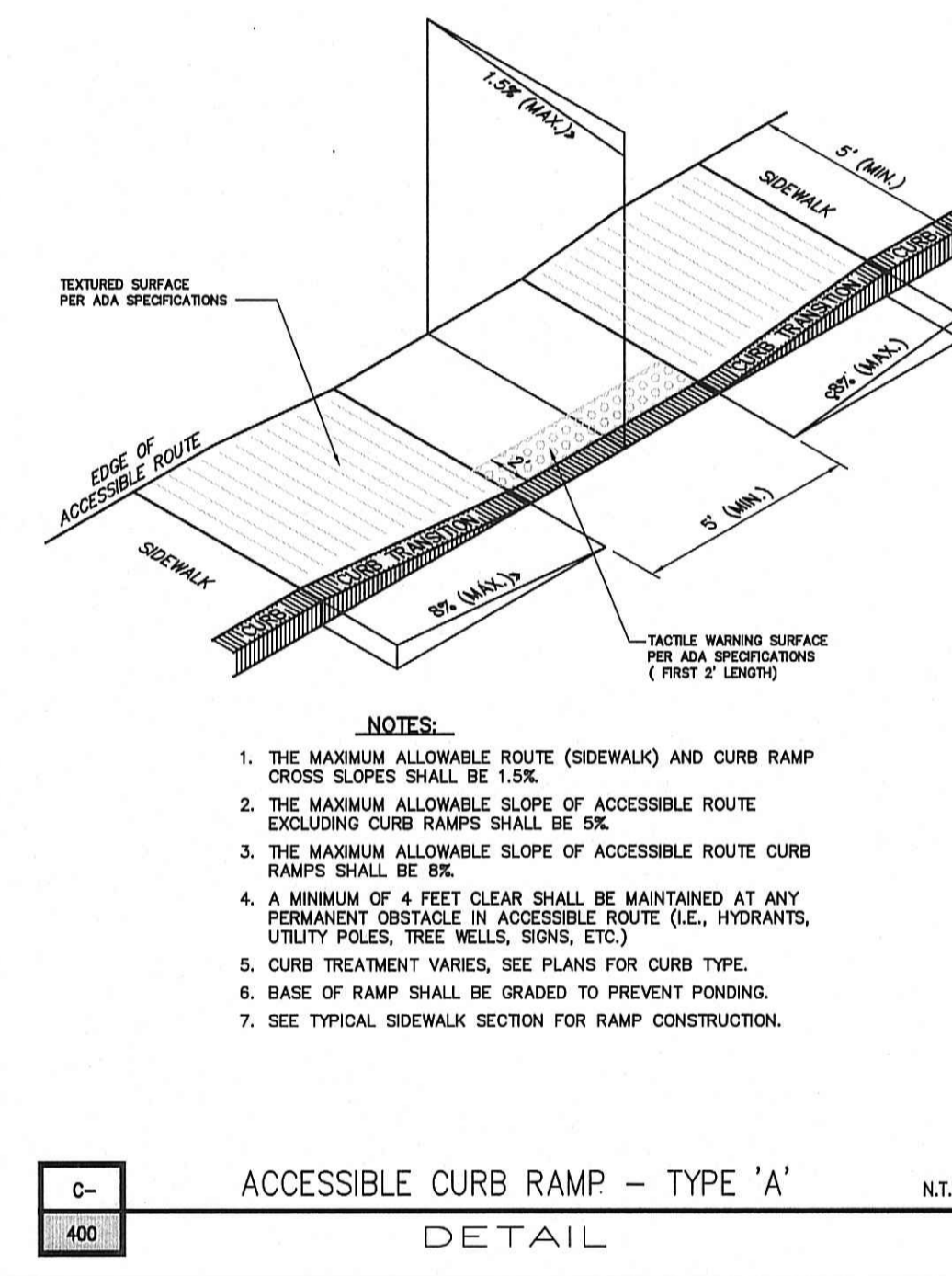
C-421 MONOLITHIC CONCRETE SIDEWALK AND CURB DETAIL N.T.S.



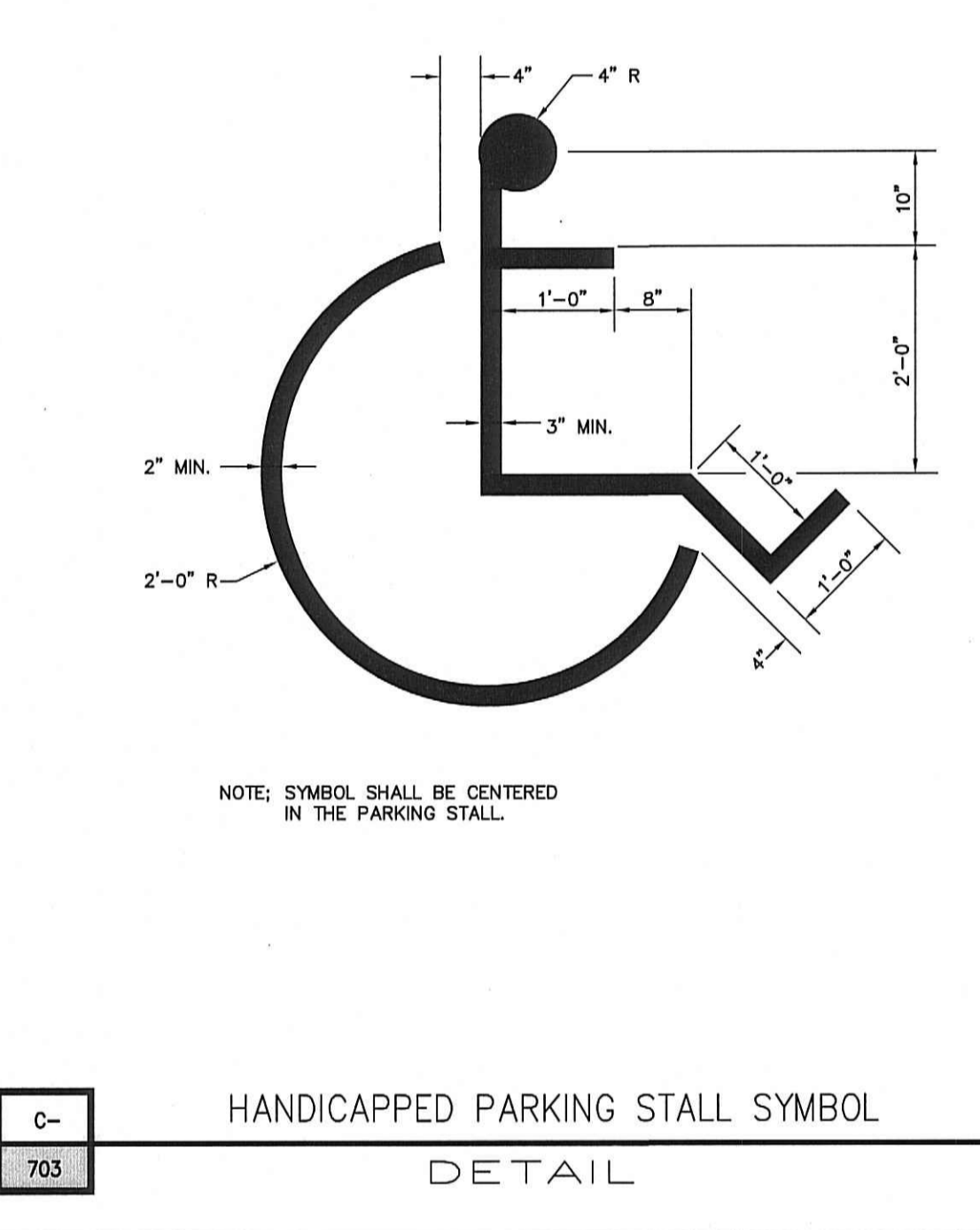
C-701 HANDICAP PARKING SIGN BASE (in paved area) DETAIL N.T.S.



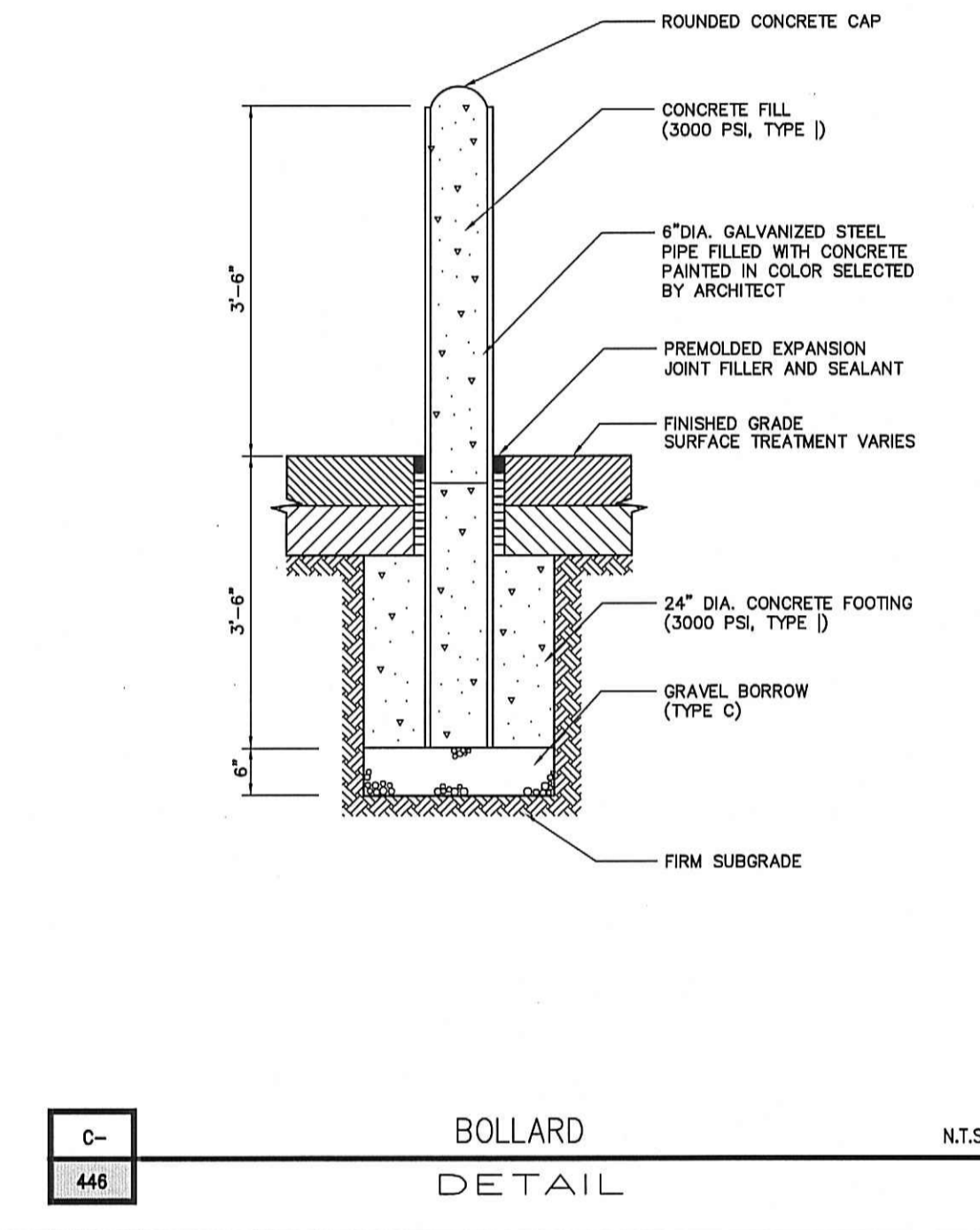
C-722 TRAFFIC SIGN POST DETAIL N.T.S.



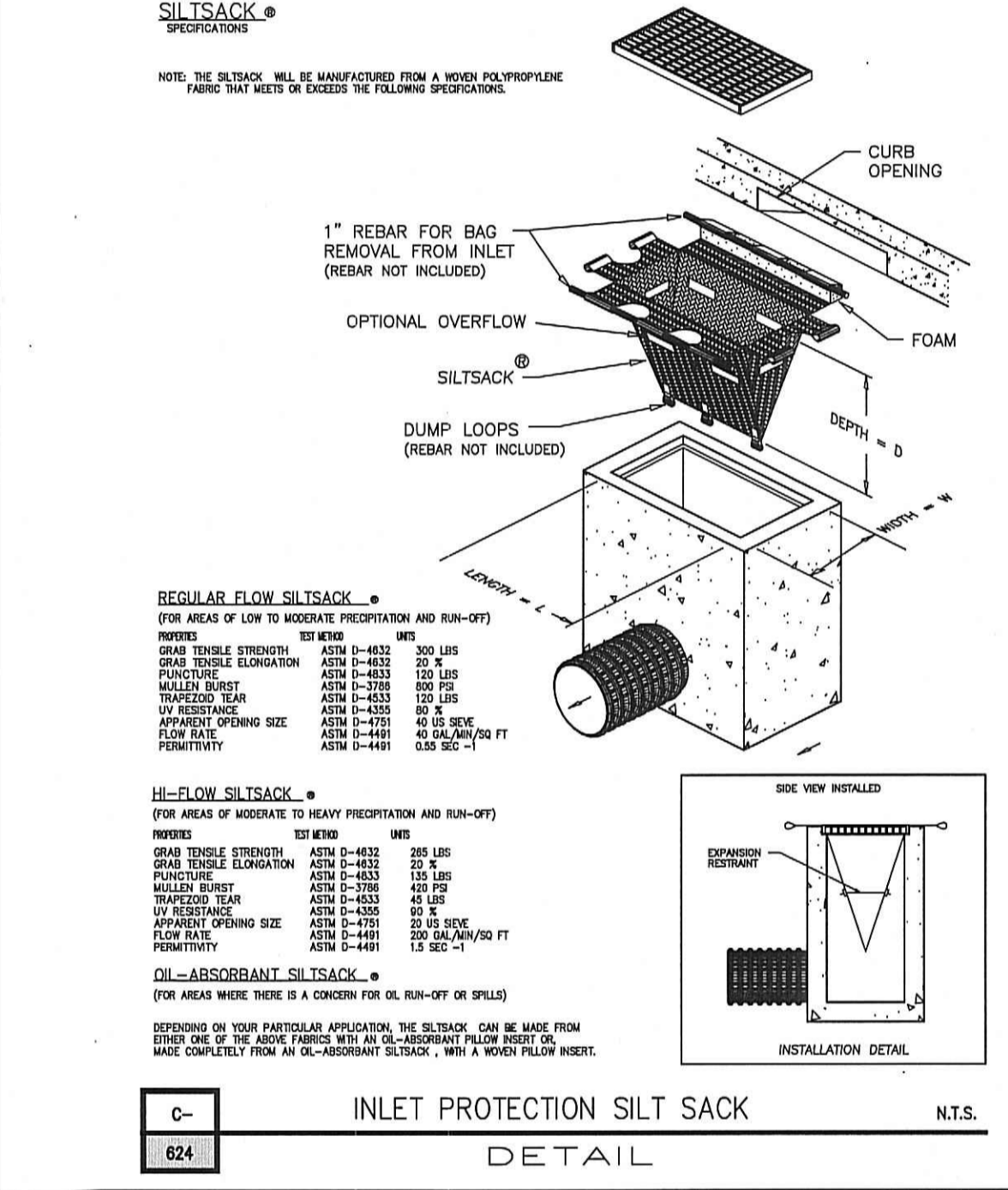
C-400 ACCESSIBLE CURB RAMP - TYPE 'A' DETAIL N.T.S.



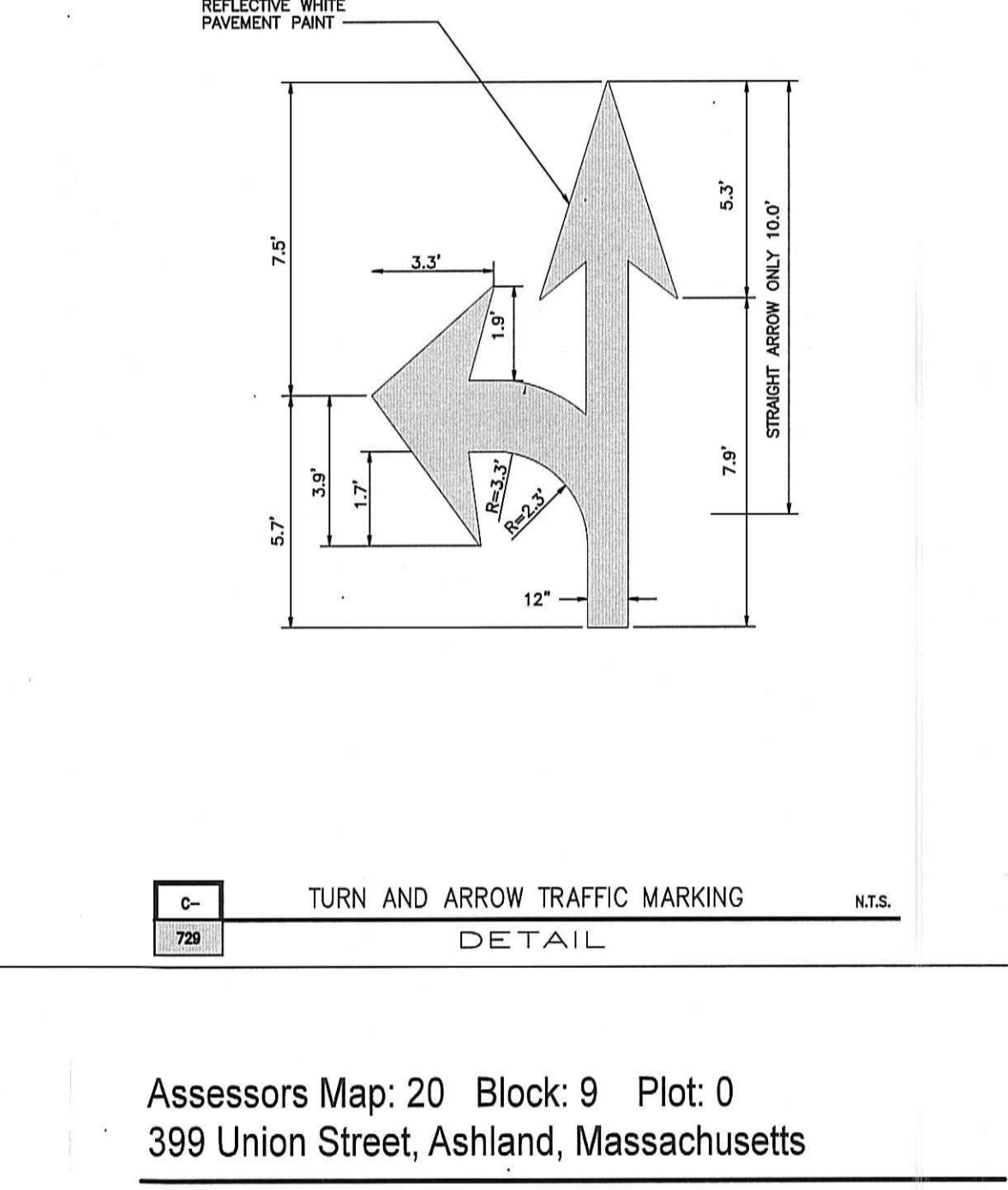
C-703 HANDICAPPED PARKING STALL SYMBOL DETAIL N.T.S.



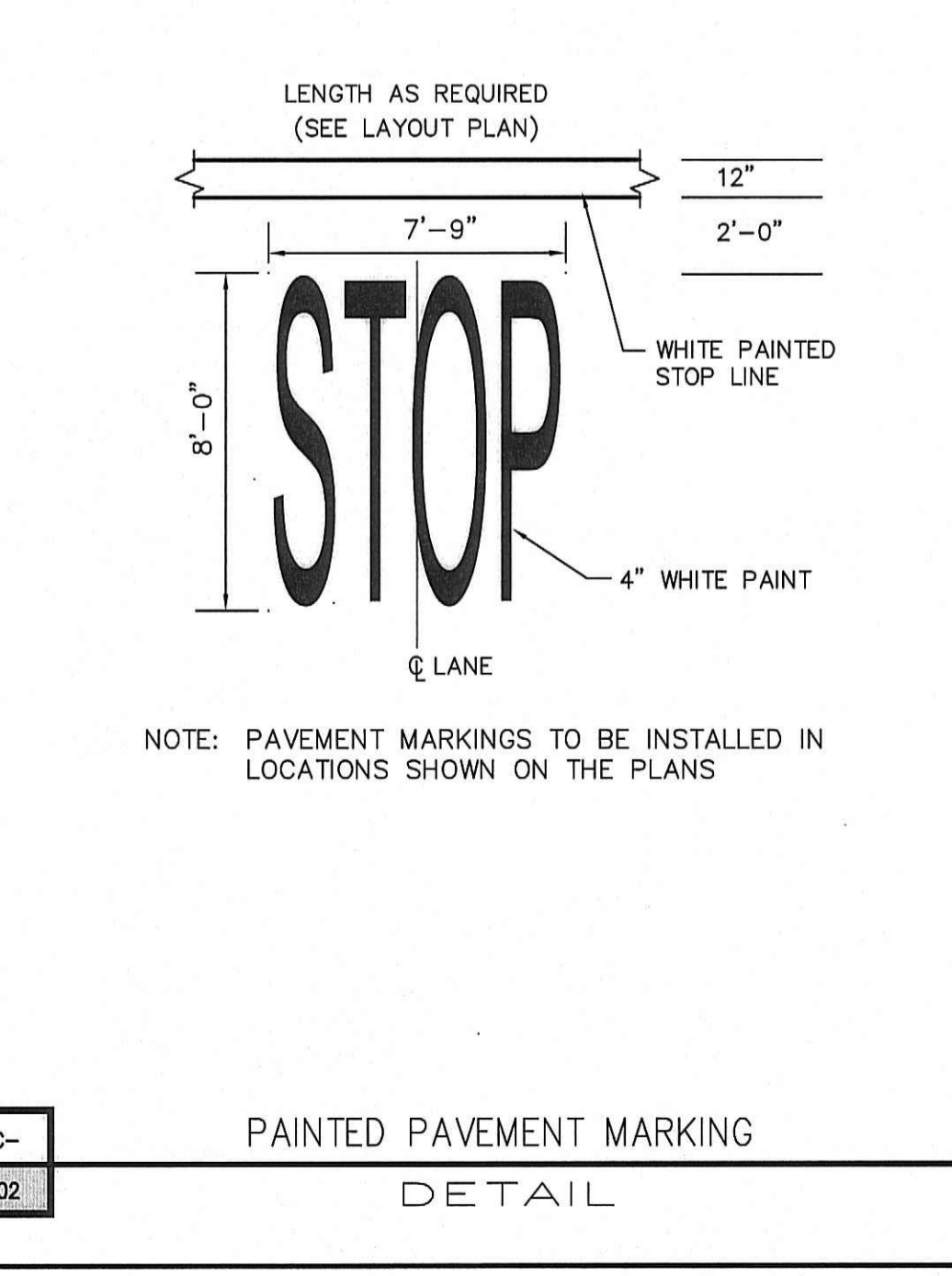
C-448 BOLLARD DETAIL N.T.S.



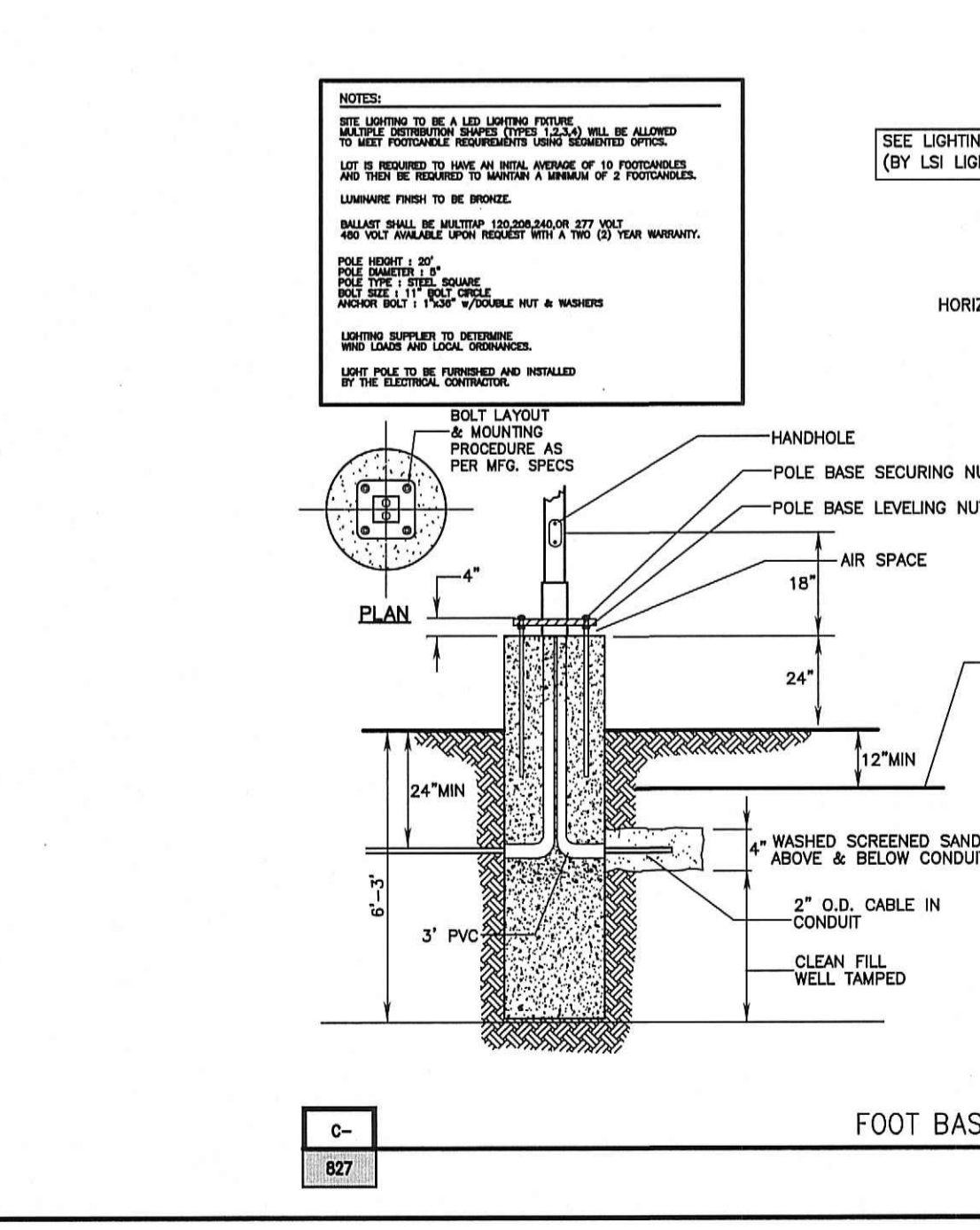
C-624 INLET PROTECTION SILT SACK DETAIL N.T.S.



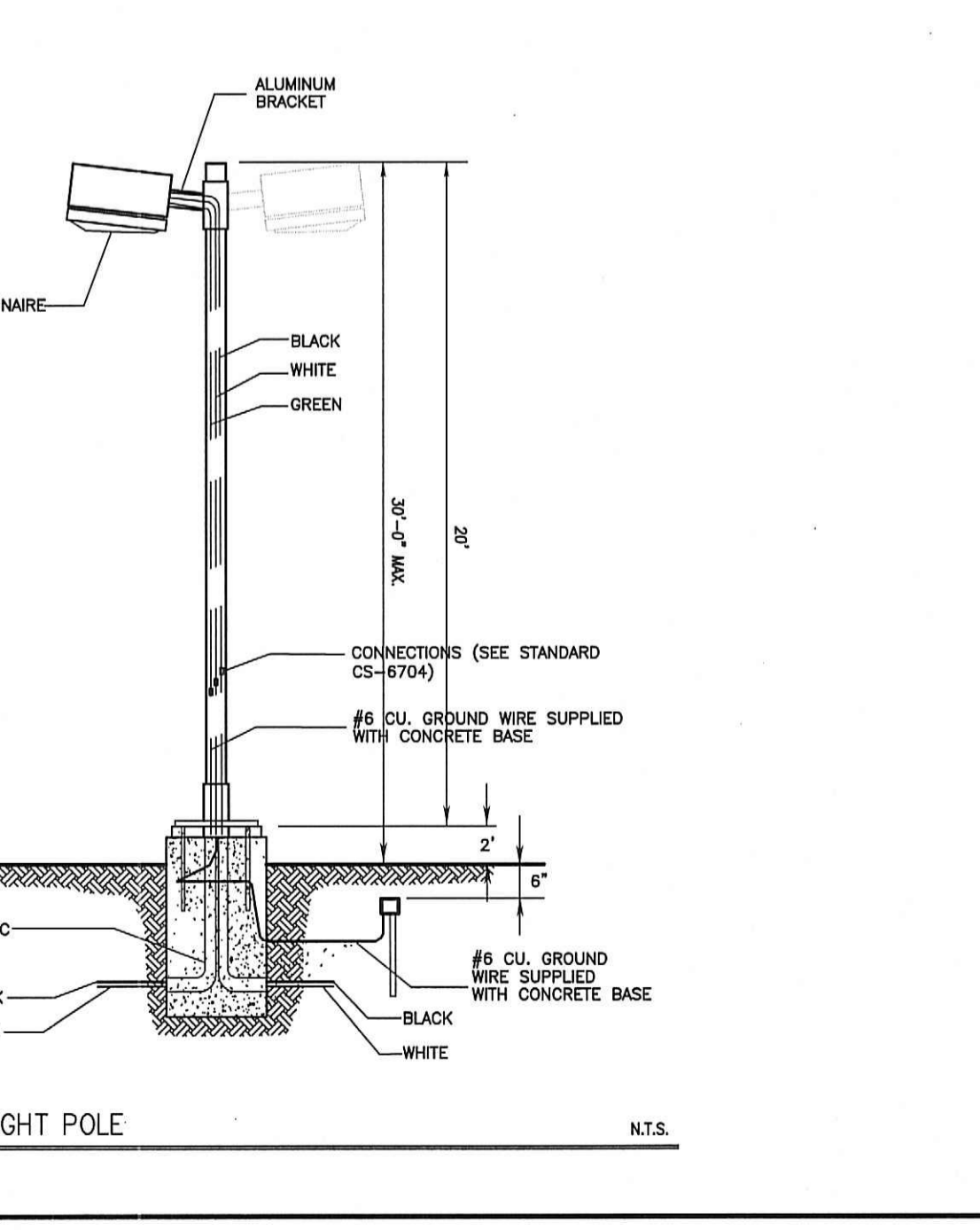
C-728 TURN AND ARROW TRAFFIC MARKING DETAIL N.T.S.



C-702 PAINTED PAVEMENT MARKING DETAIL N.T.S.



C-927 FOOT BASE MOUNTED LIGHT POLE DETAIL N.T.S.



C-118 UTILITY TRENCH DETAIL N.T.S.

J.K. Holmgren Engineering
 Registered Professional Engineers & Land Surveyors

Assessors Map: 20 Block: 9 Plot: 0
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PREPARED FOR
RETAIL ASHLAND, LLC

TITLE
DETAIL SHEET

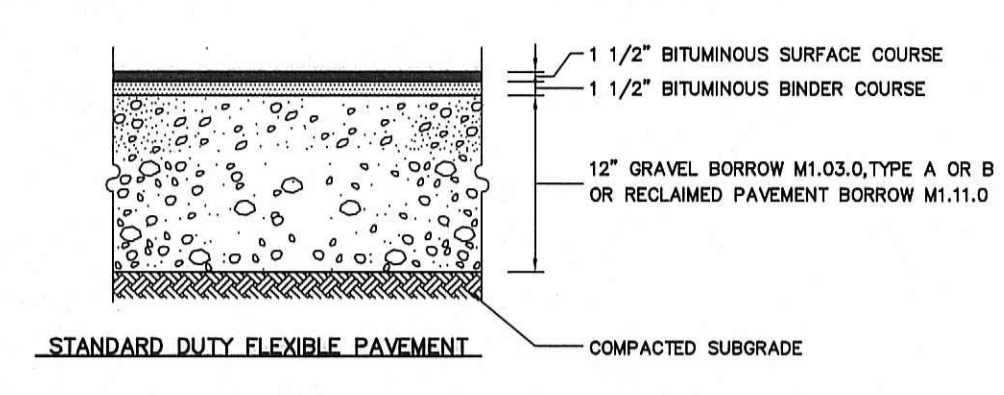
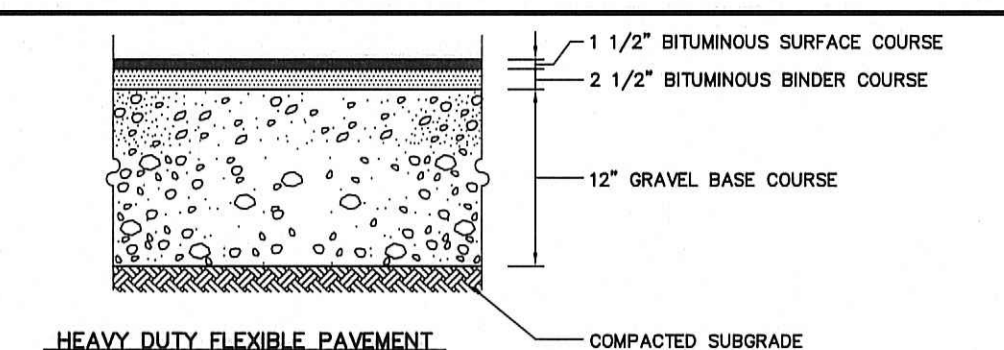
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1	JEG	03.23.22	SIDEWALK AND CARS ADDITION

DATE: 06/01/2022

C-8
DRAWING NUMBER

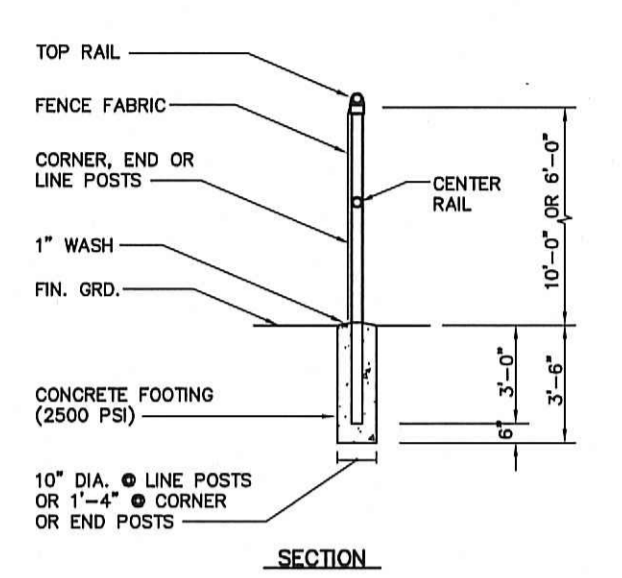
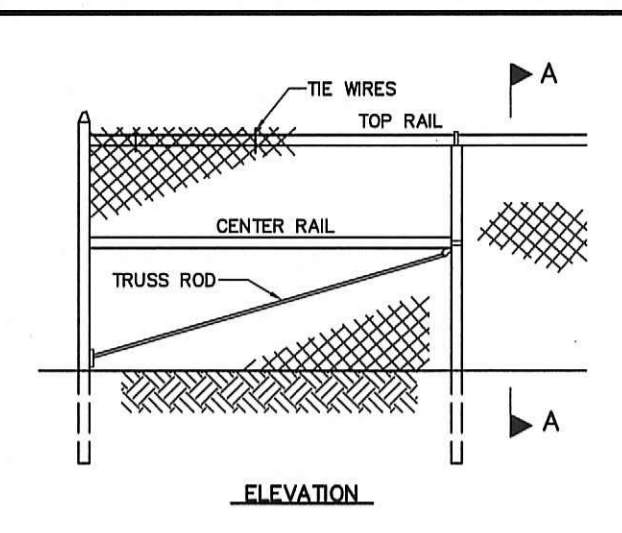
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 2020-078



- COMPOSITION AND COMPACTION ACCEPTANCE TESTS**
- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M3.11.09
 - PAVEMENT DENSITY AS OUTLINED IN M3.11.09
 - ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T230
 - MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M3.11.00 DIVISION III, MATERIALS AND THE FOLLOWING SUBSECTIONS

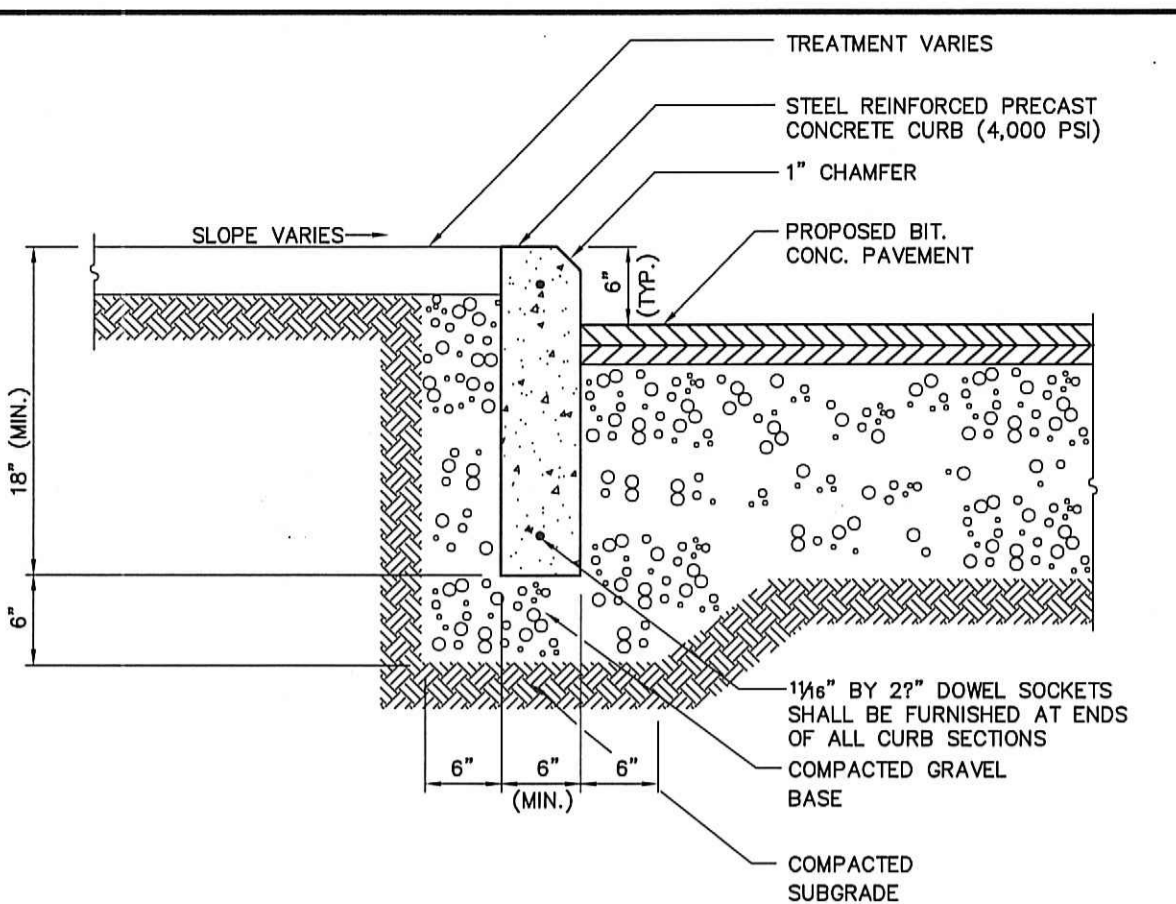
MINERAL AGGREGATE : M3.11.04	BITUMINOUS MATERIALS : M3.11.06
MINERAL FILLER : M3.11.05	COMPOSITION OF BASE COURSE : M3.11.02
 - THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 460 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
 - CLASS I BITUMINOUS PAVEMENT, TYPE I-1 REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF 98% COMPACTION. TESTING TO BE COMPLETED BY METHODS OUTLINED IN M3.11.00

C-418 BITUMINOUS CONCRETE PAVEMENT SECTIONS N.T.S. DETAIL

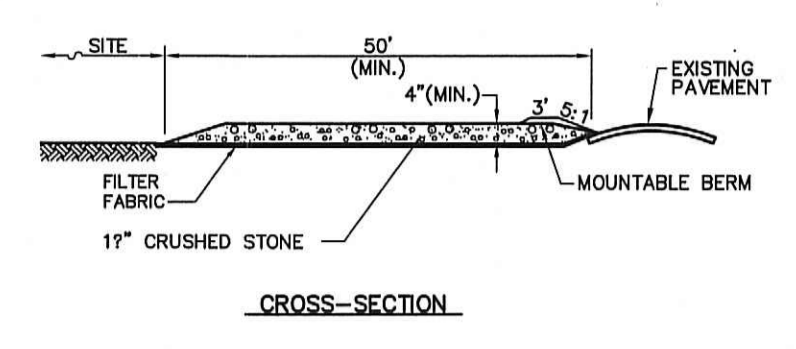
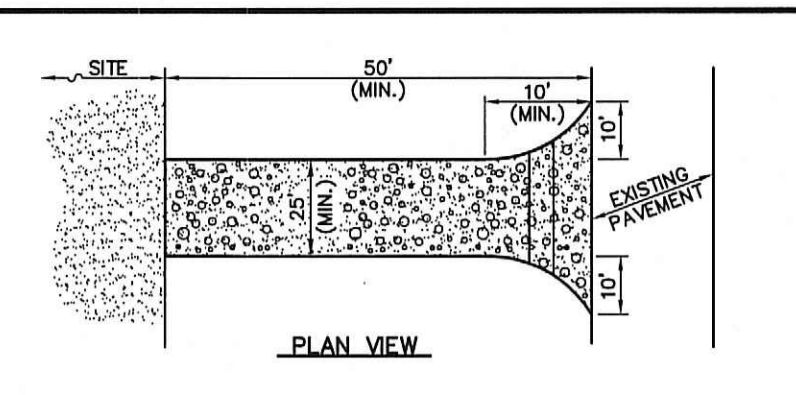


- NOTES**
- PULL POSTS SHALL BE SPACED AT INTERVALS NOT EXCEEDING 500 FEET.
 - END, GATE AND CORNER POSTS SHALL BE BRACED TO ADJACENT LINE POSTS. (MORE THAN 30 CHANGE IN DIRECTION CONSTITUTES A CORNER)
 - FABRIC SHALL BE 0.148" WIRE, WOVEN INTO APPROXIMATELY 2" DIAMOND MESH.
 - ZINC-COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH PRIME WESTERN SPECTER OR EQUAL.
 - ALUMINUM COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH ALUMINUM ALLOY.
 - FENCE POSTS AND RAILS SHALL RECEIVE THE SAME COATING AND TREATMENT AS THE FENCE FABRIC (DESIGNEED ABOVE).
 - SEE SPECIFICATIONS FOR POST DIMENSIONS.

C-905 CHAIN LINK FENCE N.T.S. DETAIL

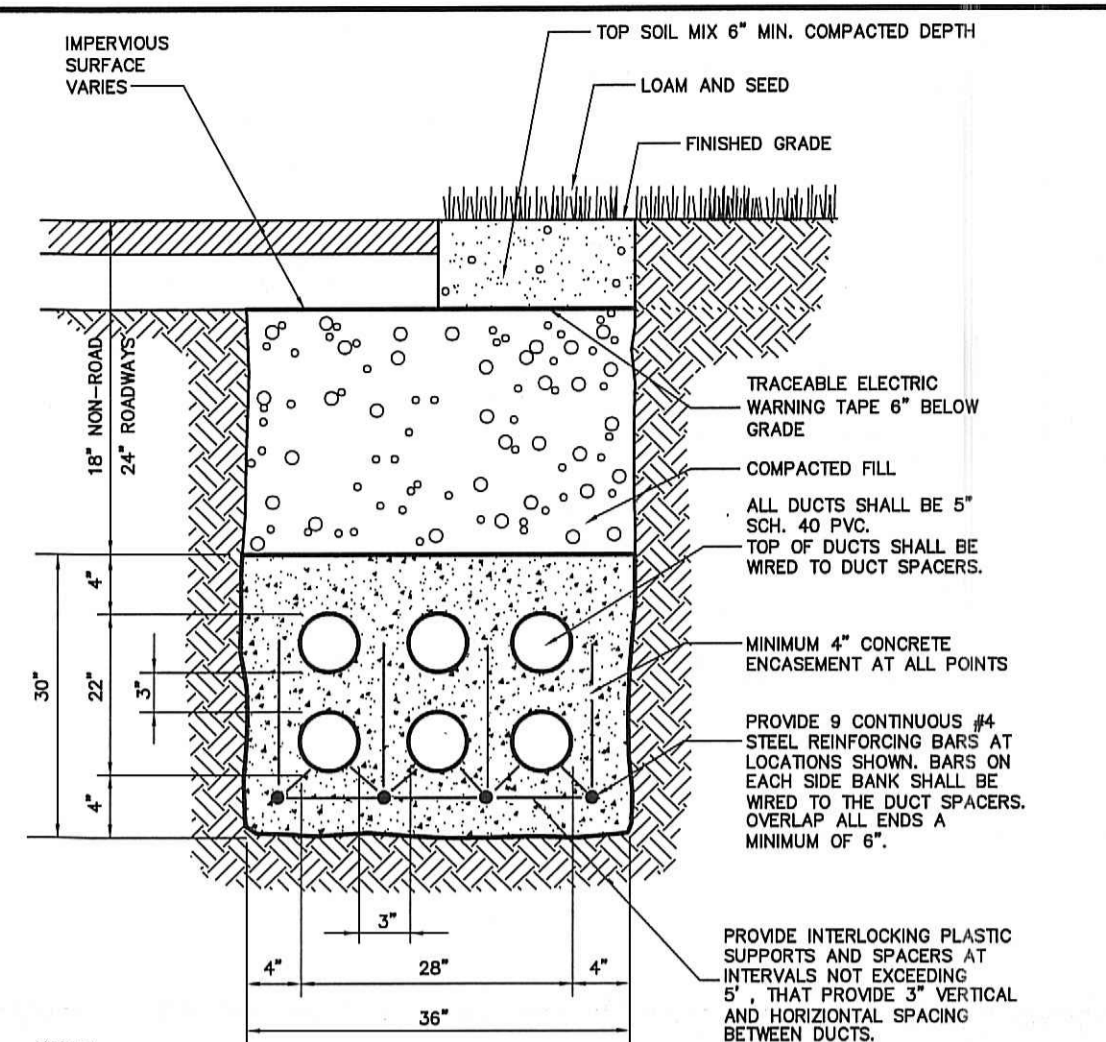


C-412 PRECAST CONCRETE CURB (PCC) N.T.S. DETAIL



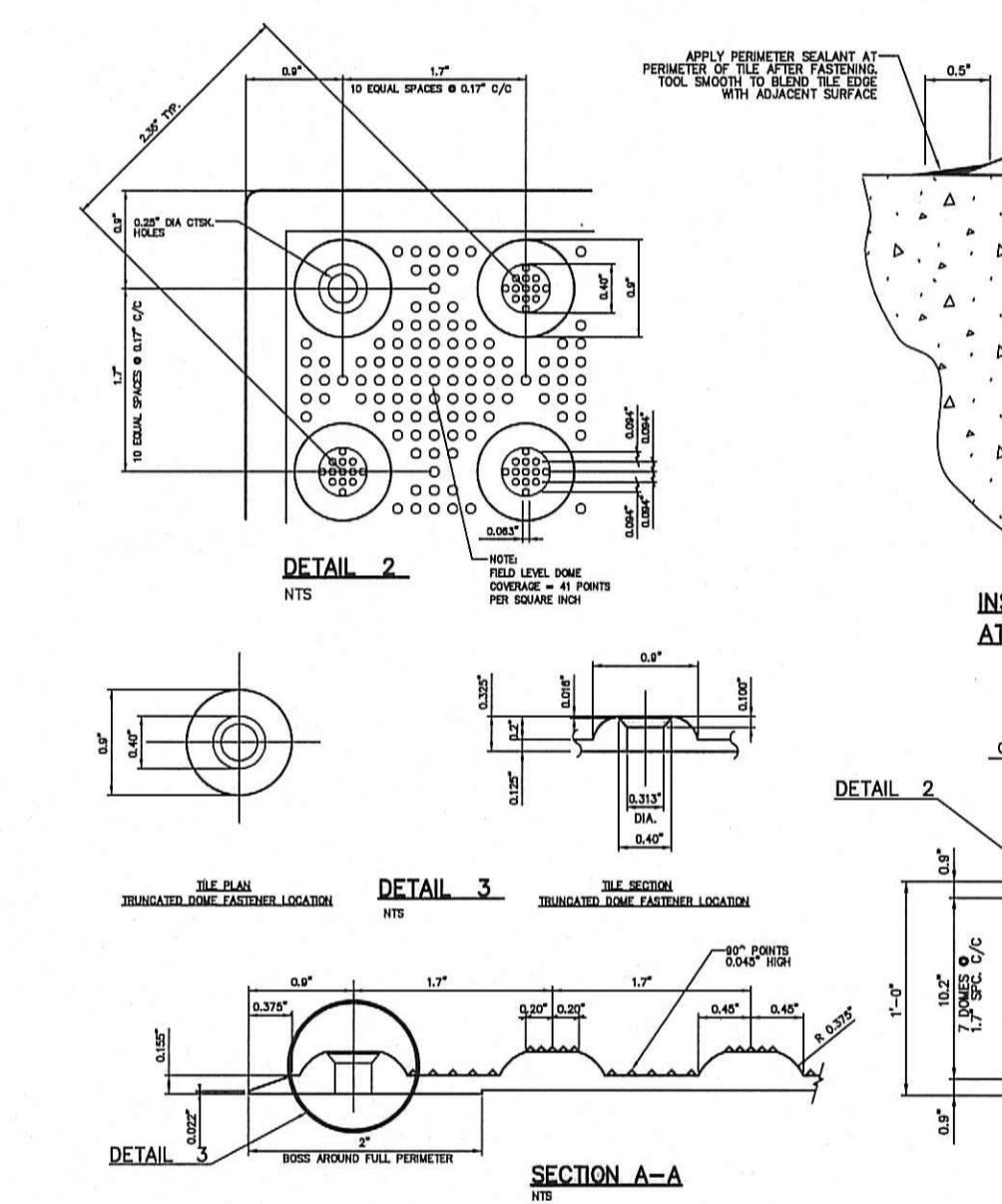
- NOTES**
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERMS SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

C-609 STABILIZED CONSTRUCTION EXIT N.T.S. DETAIL

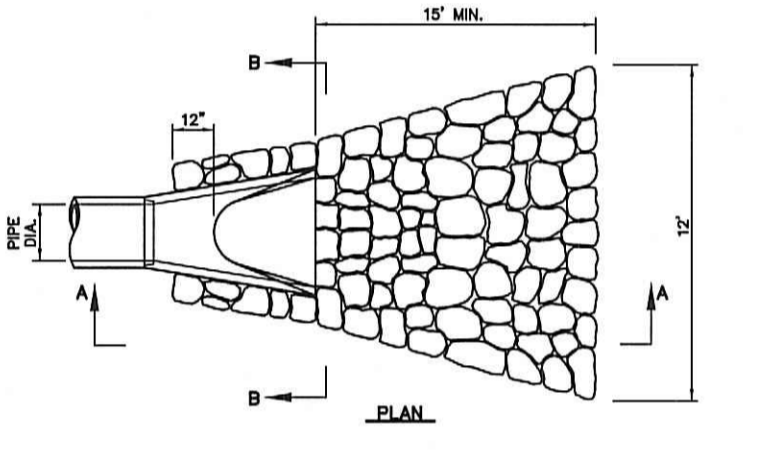


- NOTES**
- 4000 PSI CONCRETE FILL AROUND DUCTS.
 - CONCRETE MAY BE POURED DIRECTLY INTO OPEN TRENCH WITHOUT FORMWORK.
 - DUCT SPACERS TO BE USED AT 5'-0" CENTERS BETWEEN DUCTS.

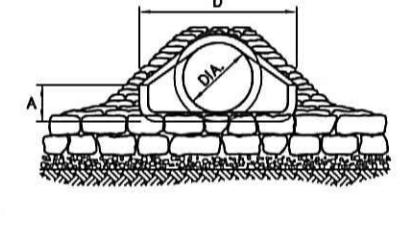
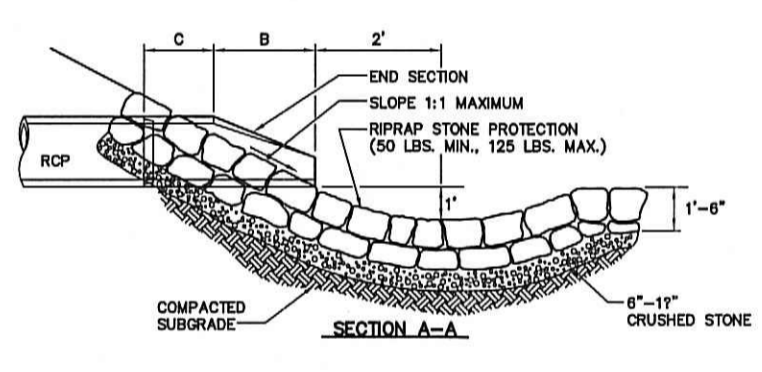
C-447 UTILITY DUCT BANK N.T.S. DETAIL



C-440 HANDICAPPED TACTILE WARNING TILE SURFACE N.T.S. DETAIL

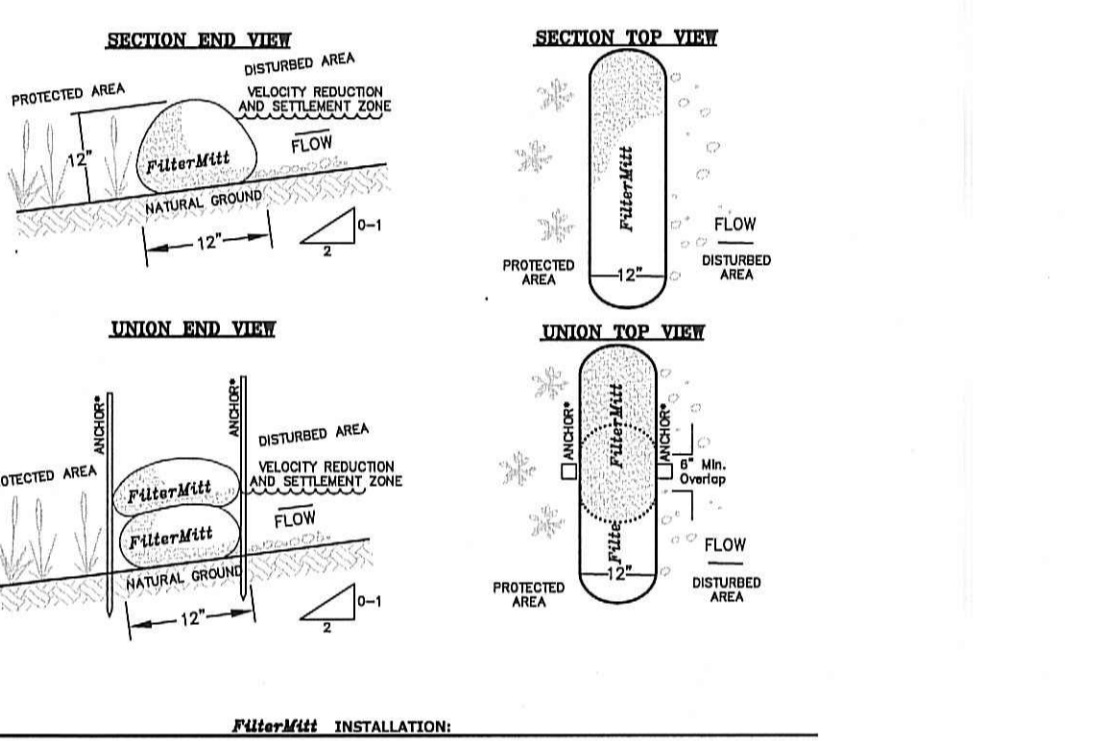
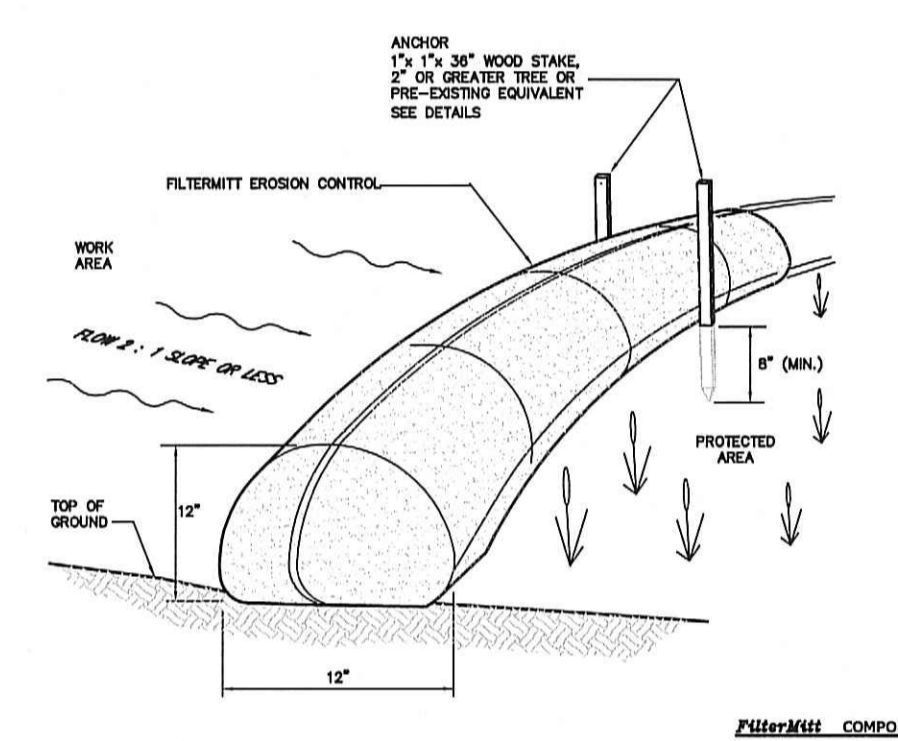


PIPE DIA.	A	B	C	D	E	R
1 1/2"	4"	2'-0"	4'-0"	2'-0"	2"	8"
1 3/4"	4"	2'-3"	3'-10"	2'-6"	2 1/2"	11"
1 7/8"	4"	2'-3"	3'-10"	3'-0"	2 1/2"	12"
2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
2 1/4"	4"	2'-3"	3'-10"	3'-0"	3"	14"
2 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
3"	4"	2'-3"	3'-10"	3'-0"	3"	14"
3 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
4"	4"	2'-3"	3'-10"	3'-0"	3"	14"
4 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
5"	4"	2'-3"	3'-10"	3'-0"	3"	14"
5 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
6"	4"	2'-3"	3'-10"	3'-0"	3"	14"
6 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
7"	4"	2'-3"	3'-10"	3'-0"	3"	14"
7 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
8"	4"	2'-3"	3'-10"	3'-0"	3"	14"
8 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
9"	4"	2'-3"	3'-10"	3'-0"	3"	14"
9 1/2"	4"	2'-3"	3'-10"	3'-0"	3"	14"
10"	4"	2'-3"	3'-10"	3'-0"	3"	14"



- NOTES**
- THE FLARED END SECTION PIPE JOINT SHALL BE SIMILAR TO THE MAIN RUN OF PIPE JOINTS.
 - FLARED END SECTIONS SHALL CONFORM AS SHOWN IN THE TABLE OR AS APPROVED BY THE ENGINEER.

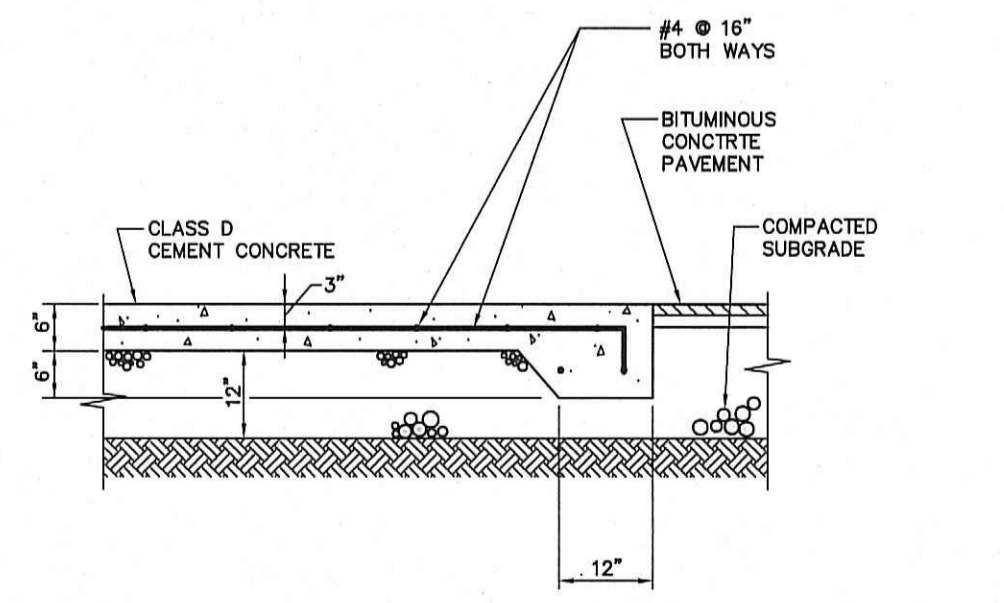
C-114 FLARED END SECTION W/STONE PROTECTION N.T.S. DETAIL



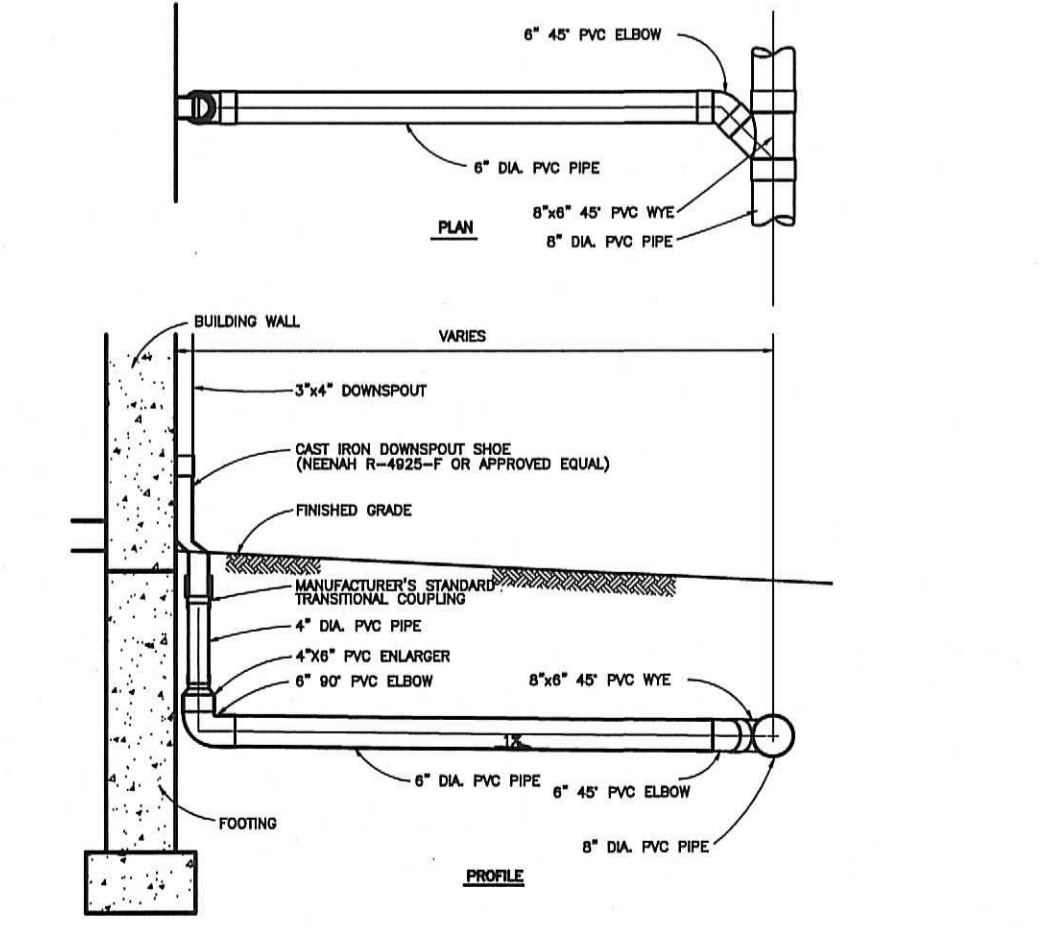
FilterMitt COMPONENTS:
OUTSIDE CASING: 100% organic heaviest. Filter: 100% organic. Filtered: 100% organic. A blend of coarse and fine compost and mulch. Particle size: 100% passing a 2" screen. *50-100% passing a 1" screen. 70-100% passing a 0.75" screen. 30-75% passing a 0.25" screen. Weight: 600 lbs./cu. yd. (Ave. 30 lbs./ft.)

FilterMitt INSTALLATION:
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'. Sections can also be delivered to the site in lengths from 1' to 5'. The stability of FilterMitt allows it to conform to any contour or terrain while holding a slight and shall at 12" high by 18" wide. Where sections meet, there shall be an overlap of 6" or greater. Each side shall be anchored (see notes, trees, etc.) to stabilize the union.

C-628 FILTERMITT EROSION CONTROL N.T.S. DETAIL



C-444 DUMPSTER PAD N.T.S. DETAIL



C-132 ROOF DRAIN N.T.S. DETAIL

JKE J.K. Holmgren Engineering
Registered Professional Engineers & Land Surveyors

Assessors Map: 20 Block: 9 Plot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR
RETAIL ASHLAND, LLC

TITLE
DETAIL SHEET

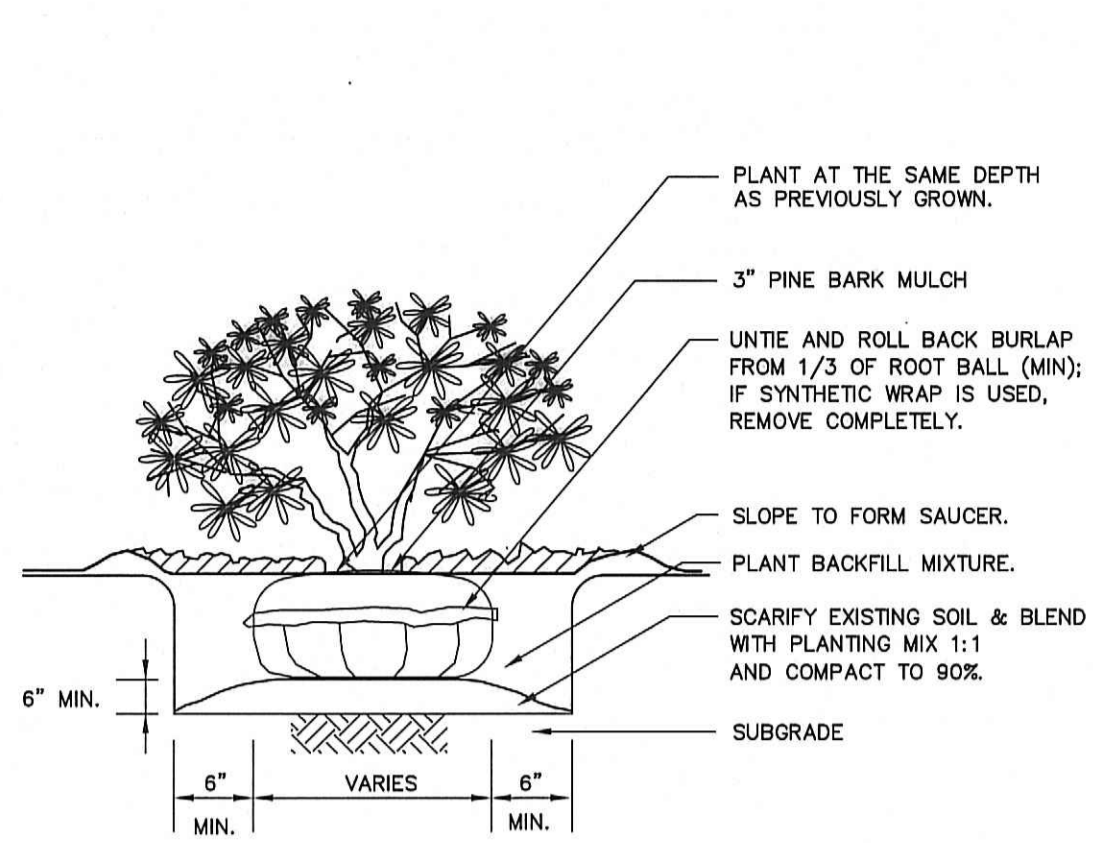
J.K. HOLMGREN ENGINEERING, INC.
Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA, 02301
Phone - (508) 583-2595 Fax - (508)-588-7518
Email : sfaria@jholmgrn.com

NO.	BY	DATE	REMARKS
10	SSR	01.18.23	REV. PER PB HEARING #3
9	SSR	12.19.22	REV. PER PB HEARING
8	SSR	11.29.22	TRAFFIC REVIEW ENG. COMMENTS
7	SSR	10.27.22	TRAFFIC REVIEW ENG. COMMENTS
6	SSR	10.13.22	DESIGN REVIEW COMM. COMMENTS
5	JEG	10.07.22	CCC REVIEW COMMENTS
4	SSR	09.29.22	ADDITIONAL LANDSCAPE
3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY
1	JEG	03.23.22	SIDWALK AND CARS ADDITION

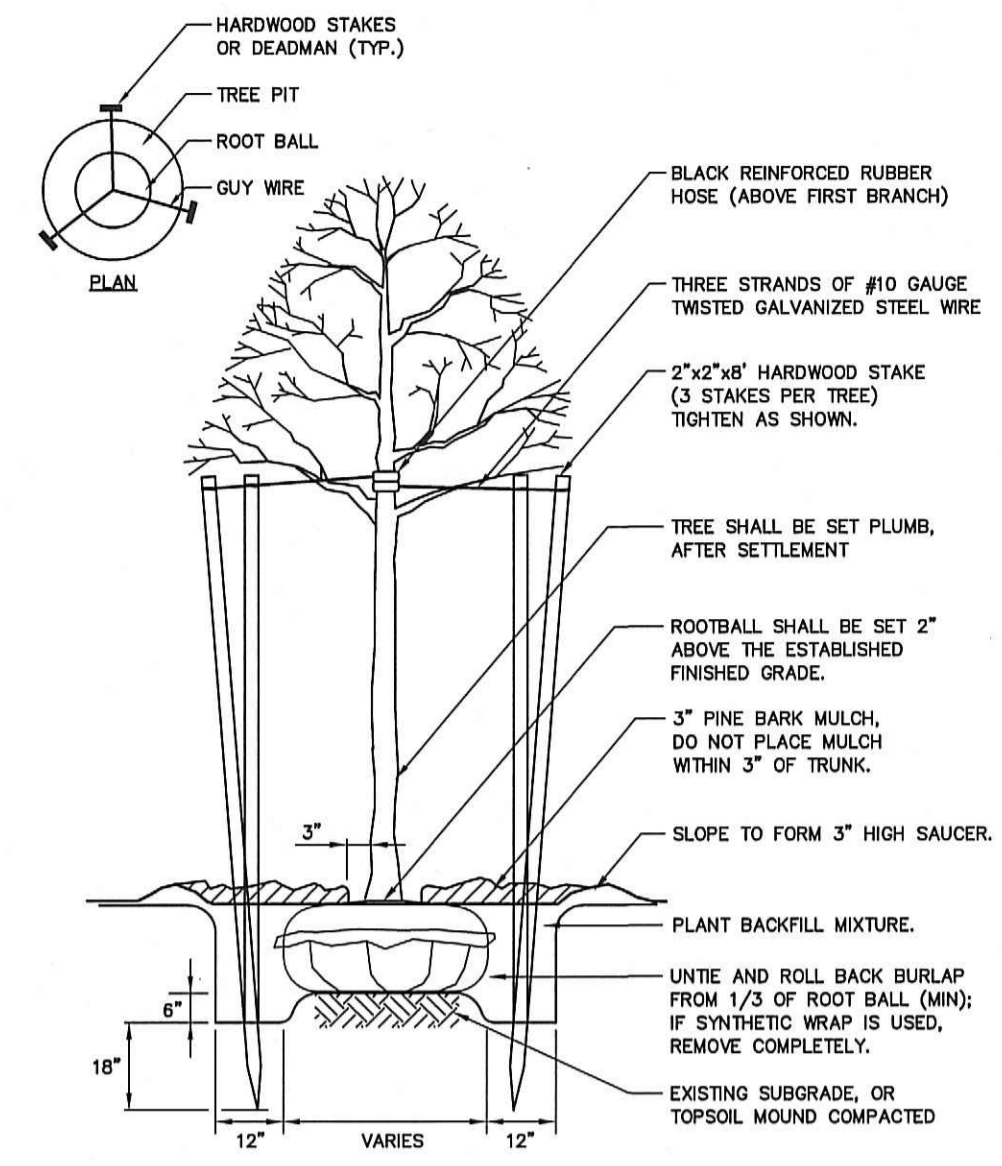
DATE: 06/01/2022

C-9
DRAWING NUMBER

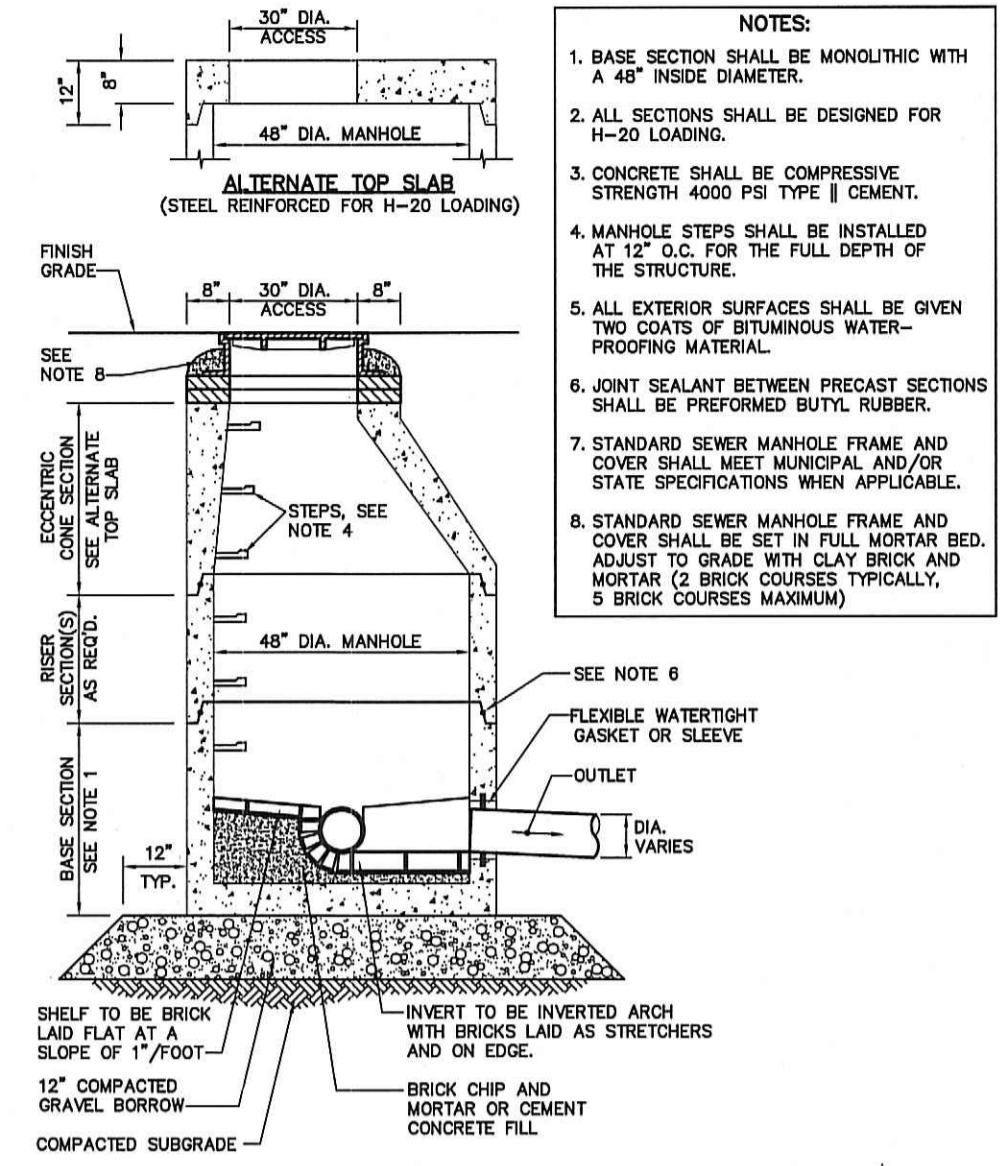
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2020-078



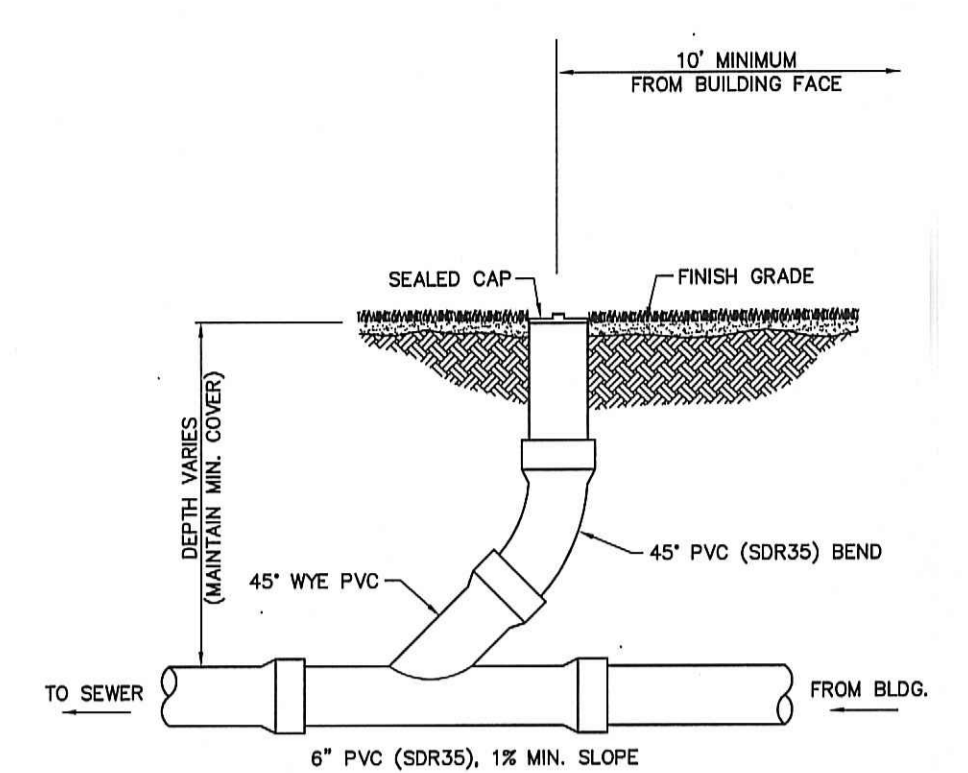
C-500 SHRUB PLANTING DETAIL N.T.S.



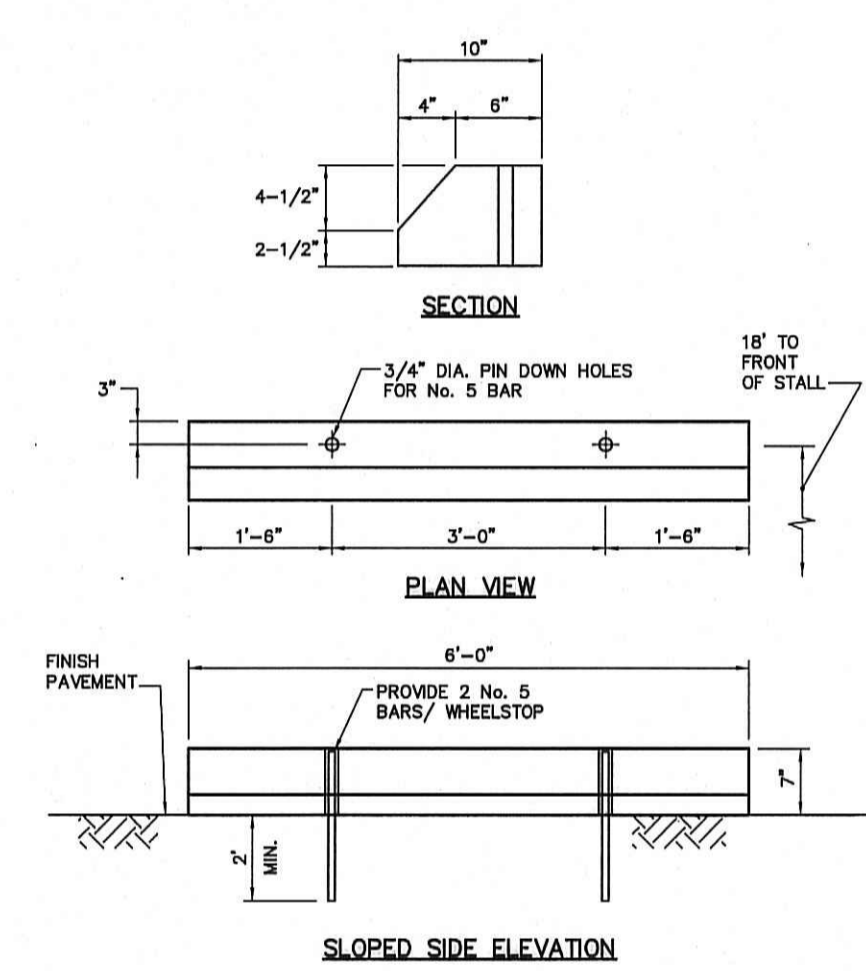
C-501 TREE PLANTING (For Trees under 4" caliper) DETAIL N.T.S.



C-201 SANITARY SEWER MANHOLE (SMH) DETAIL N.T.S.



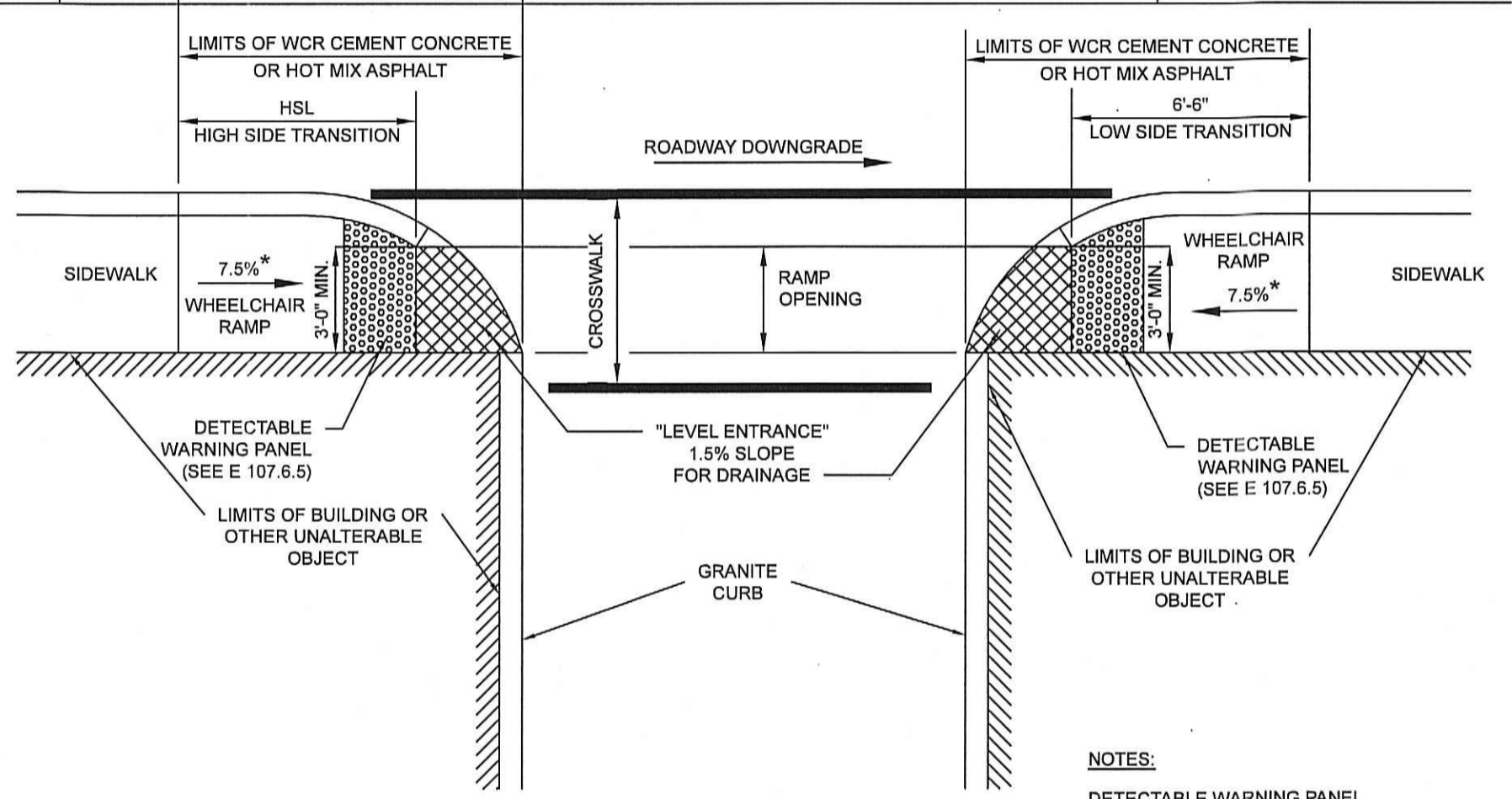
C-204 SEWER SERVICE CLEAN-OUT DETAIL N.T.S.



DESIGN DATA

- CONCRETE STRENGTH: F'C 4,000 PSI @ 28 DAYS, DENSITY 150 PCF.
- CEMENT, PORTLAND TYPE I OR II PER C150-91.
- AD MIXTURES, AIR & PLASTICIZERS PER ASTM C223-82.
- AIR ENTRAINMENT 5%-7%.
- APPROXIMATE WEIGHT, 380 LBS
- CENTER WHEELSTOP ON PARKING STALL

C-445 CONCRETE BUMPER DETAIL N.T.S.



LEGEND

HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0)

* = TOLERANCE FOR CONSTRUCTION ±0.5%

NOTES:

DETECTABLE WARNING PANEL LOCATED NOT LESS THAN 6" OR MORE THAN 24" FROM ROADWAY EDGE (GUTTER LINE). TRUNCATED DOMES TO BE ALIGNED WITH DIRECTION OF TRAVEL.

FOR DETAILS OF TRUNCATED DOMES SEE DRAWING E 107.6.5

ROADWAY, GUTTER, AND FIRST 6' OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS.

CURB RAMP - TYPE D MASSDOT STANDARD E 107.6.0 NOT TO SCALE



Assessors Map: 20 Block: 9 Plot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR

RETAIL ASHLAND, LLC

TITLE

DETAIL SHEET

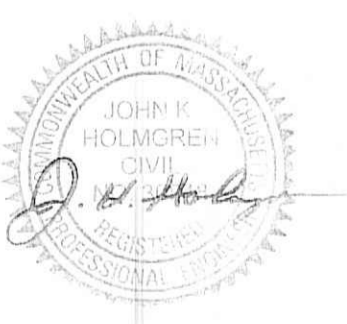
J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595 Fax - (508)-588-7518

Email : sfaria@jkholmgren.com

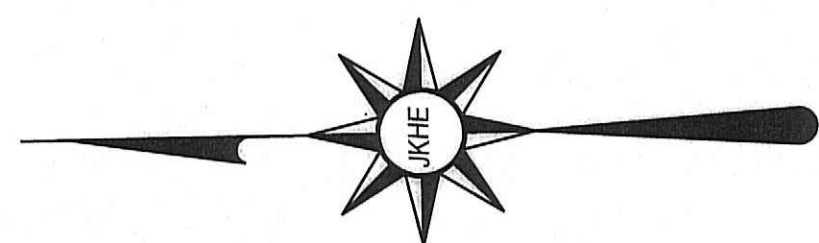


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3	JEG	09.15.22	REDUCE IMPERVIOUS AREA
2	SSR	05.16.22	WITH SURVEY
1	JEG	03.23.22	SIDEWALK AND CARS ADDITION

DATE: 06/01/2022

C-10
DRAWING NUMBER

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2020-078



MAP 14, BLOCK 314, PLOT 0
 PRUCHNIAK MICHAL & AVAGYAN TATYANA
 88 SUMMER STREET

NEIGHBORHOOD
 COMMERCIAL
 CN

PROP. REPLICATION AREA FROM O.O.C.
 (3/4/2002) AND PLAN ENTITLED
 "BROOKS PHARMACY LANDSCAPE PLAN"
 REVISED 01/22/2002 PREPARED BY
 CROSSMAN ENGINEERING INC.

INDUSTRIAL

RESIDENTIAL
 R RB

INDUSTRIAL

SUMMER
 STREET

STREET

STREET

UNION
 STREET

WETLAND
 REPLICATION AREA
 LOCATED ON
 9/16/22.

EXIST. BUILDING
 #373

EXIST. BUILDING
 #88

PROP. BUILDING
 618 S.F.
 FFE=96.5
 82' ENT

GENERAL NOTES :

ASSESSORS MAP : 20 BLOCK : 9 LOT : 0

LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194
 PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL (AND PHOTOVOLTAIC INSTALLATION OVERLAY DISTRICT)

APPLICANT :
 RETAIL ASHLAND LLC
 858 WASHINGTON STREET
 DEDHAM, MA. 02026

OWNER :
 RETAIL ASHLAND LLC
 858 WASHINGTON STREET
 DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25017C0514F, DATED 7/7/2014.

CAR QUEING SIZE	
AVERAGE LENGTH OF SMALL SUV	= 14.4'
AVERAGE LENGTH OF MID SIZED CAR	= 14.8'
AVERAGE LENGTH OF FULL SIZED CAR	= 15.7'
AVERAGE LENGTH OF SMALL PICK UP	= 16.3'
AVERAGE LENGTH OF LARGE SUV	= 16.7'
AVERAGE LENGTH OF LARGE PICK UP	= 18.4'

Assessors Map: 20 Block: 9 Lot: 0
 399 Union Street, Ashland, Massachusetts

PREPARED FOR

RETAIL ASHLAND, LLC

TITLE

PROPOSED QUEING PLAN

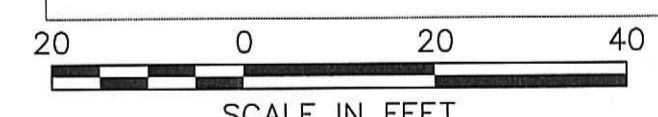
J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA. 02301

Phone - (508) 583-2595 Fax - (508)-588-7518

Email : sfaria@jkholmgren.com



SCALE: 1" = 20'

NO.	BY	DATE	REMARKS
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2	SSR	05.16.22	WITH SURVEY

DATE: 06/01/2022

C-11

DRAWING NUMBER

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 2020-078

LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
- = TREES, BUSHES
- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT

GENERAL NOTES :

ASSESSORS MAP : 20 BLOCK: 9 LOT : 0

LOCUS DEED REFERENCE : BOOK 32052, PAGE 0194
PLAN REFERENCE : PLAN NO 36312003

ZONING : INDUSTRIAL

APPLICANT :
RETAIL ASHLAND LLC
858 WASHINGTON STREET
DEDHAM, MA. 02026

OWNER :
RETAIL ASHLAND LLC
858 WASHINGTON STREET
DEDHAM, MA. 02026

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

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THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25017C0514F, DATED 7/7/2014.

Assessors Map: 20 Block: 9 Lot: 0
399 Union Street, Ashland, Massachusetts

PREPARED FOR

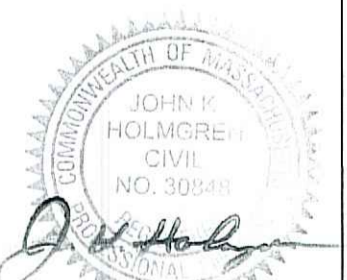
RETAIL ASHLAND, LLC

TITLE

SITE RENDERING PLAN

J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors
1024 Pearl Street, Brockton, MA. 02301
Phone - (508) 583-2595 Fax - (508)-588-7518
Email : sfaria@jkholmgren.com



SCALE: 1" = 20'

DATE: 07/07/2022

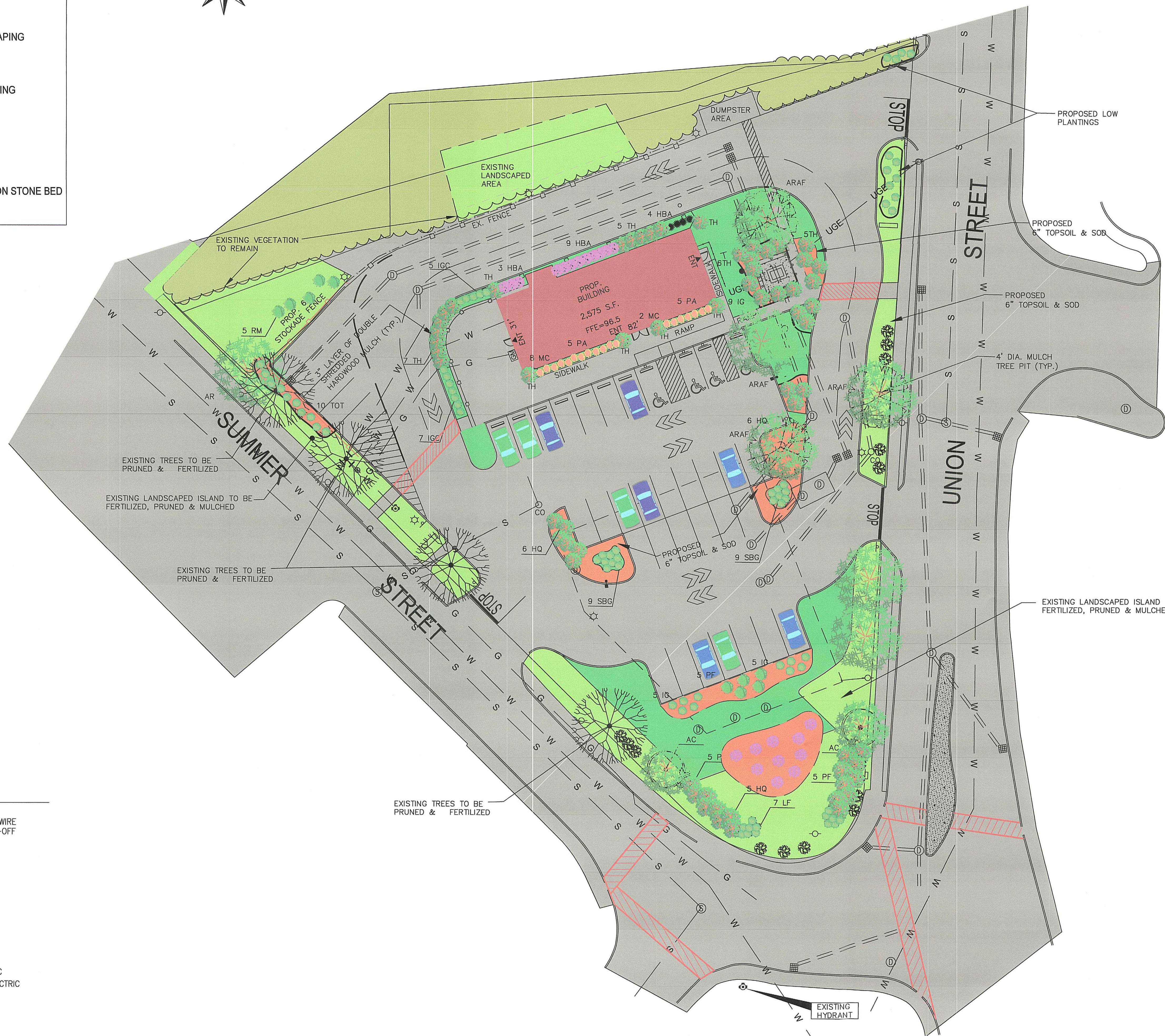
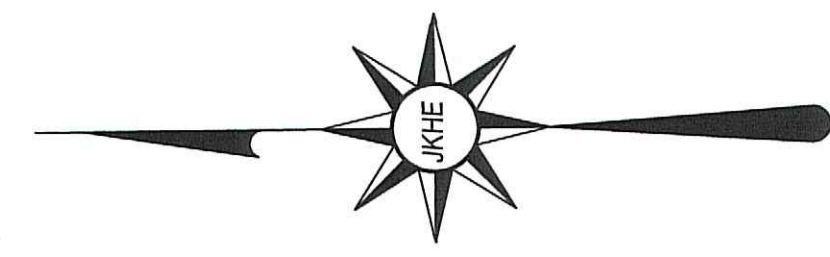
NO.	BY	DATE	REMARKS
1	CM	10.13.22	REV. PER CLIENT

C-R
DRAWING NUMBER

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2020-078

SITE LEGEND

- = PROPOSED LANDSCAPING
- = EXISTING LANDSCAPING
- = WOODED AREA
- = PROPOSED MULCH ON STONE BED



LEGEND

- = UTILITY POLE/GUY WIRE
- = WATER GATE/SHUT-OFF
- = CATCH BASIN
- = DRAIN MANHOLE
- = SEWER MANHOLE
- = HYDRANT
- = TRANSFORMER
- = ELECTRIC BOX
- = CHAIN LINK FENCE
- = GAS GATE
- = CONTOURS
- = SPOT GRADE
- = LIGHT POLE
- = WETLAND FLAG
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- = OVERHEAD ELECTRIC
- = UNDERGROUND ELECTRIC
- = SEWER LINE
- = WATER LINE
- = GAS LINE
- = WETLANDS
- = SIGN
- = TEST PIT