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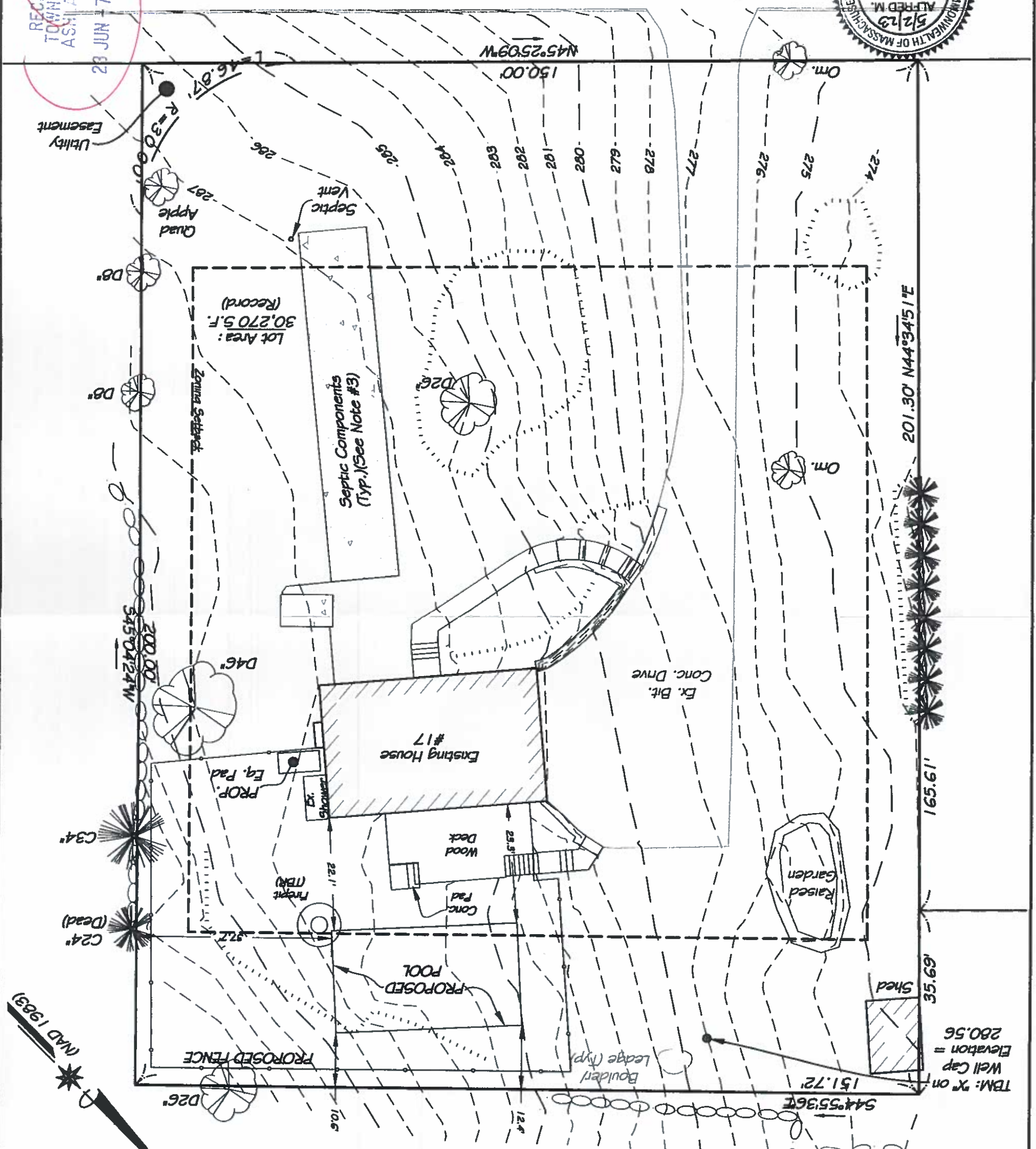


Owner Information  
 Parcel ID: 28-43  
 Patrick J. & Jill C. McKevey  
 Book 44100, Page 163

Certified Plot Plan  
 17 LORING DRIVE  
 ASHLAND, MASSACHUSETTS  
 5/11/23  
 1" = 20'

RECEIVED  
 TOWN CLERK  
 ASHLAND, MA  
 28 JUN 7 PM 2:21

# LORING DRIVE (Private ~ 48' Wide)



- Notes**
- 1.) LOCUS DOES NOT LIE WITHIN ANY FEDERALLY DESIGNATED FLOOD ZONE AS SHOWN ON FRM MAP 25017C0627F WITH AN EFFECTIVE DATE OF JULY 7, 2014.
  - 2.) LOCUS DOES NOT LIE WITHIN ANY GROUND WATER PROTECTION OVERLAY DISTRICT.
  - 3.) SEPTIC UTILITY INFORMATION IS BASED ON THE RECORD SEPTIC PLAN PREPARED BY JD MARGUEDANT AND ASSOCIATES, DATED 1/15/04, LAST REVISED 1/1/204 AND SHALL BE CONSIDERED APPROXIMATE.
  - 4.) ELEVATIONS SHOWN ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988. (NAVD88).
  - 5.) PROPOSED FENCING IS TO BE CONSTRUCTED TO LOCAL TOWN CODE. GATES ARE TO BE SELF LATCHING AND SELF CLOSING.
  - 6.) DOORS LEADING DIRECTLY FROM HOUSE ARE TO BE ALARMED.

**Zoning Information**

District: Residential A (RA)  
 Minimum Lot Area: 30,000 Sq. Ft.  
 Minimum Lot Frontage: 150'  
 Minimum Front Setback: 40'  
 Minimum Side Setback: 10'  
 Minimum Rear Setback: 30'