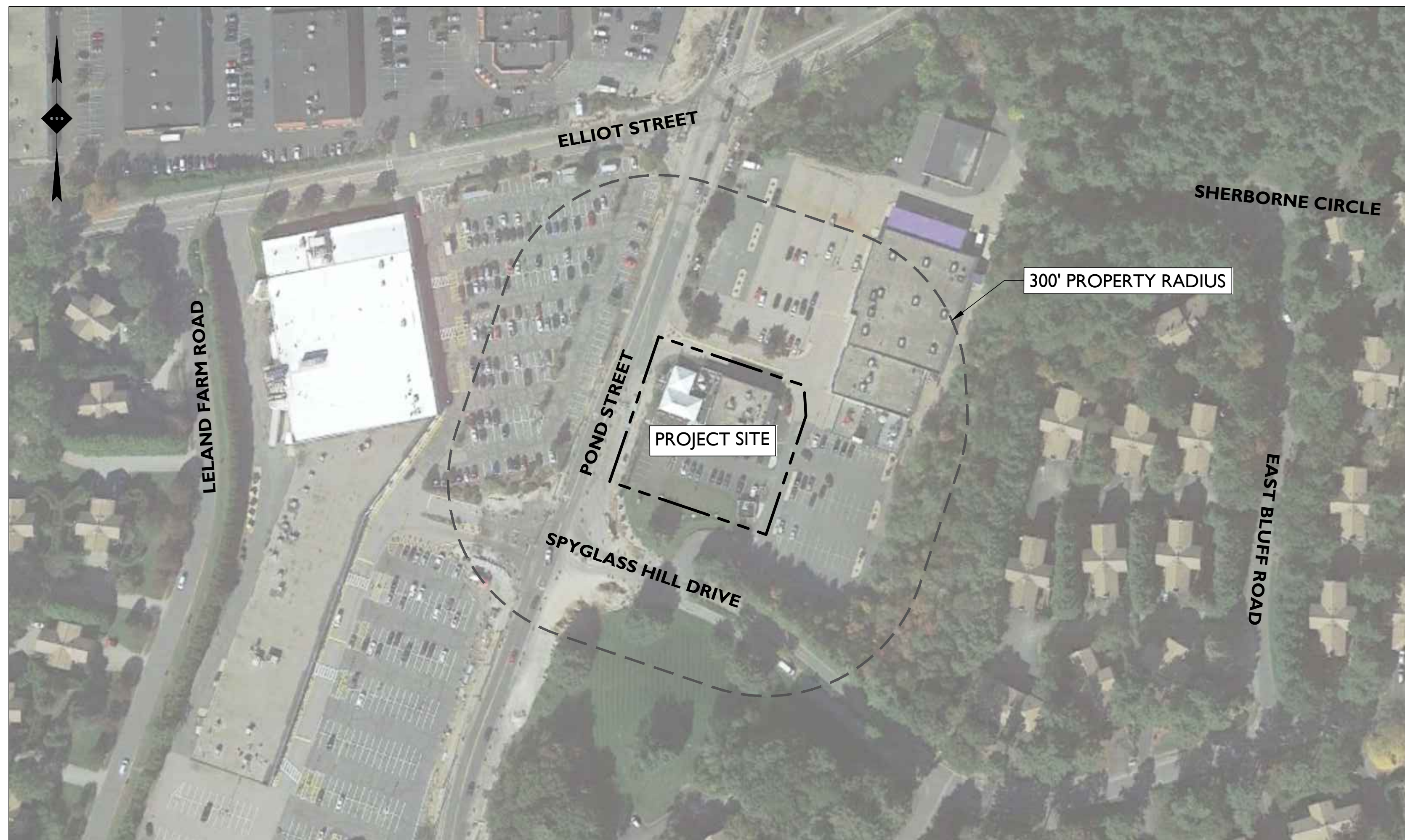


CHASE



SITE IMPROVEMENT PLAN

PARCEL ID: 26-209-00-000
 320 POND STREET
 TOWN OF ASHLAND, MIDDLESEX COUNTY, MASSACHUSETTS



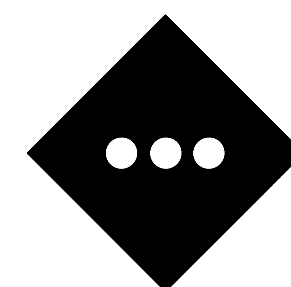
SOURCE: GOOGLE EARTH PRO DATED 5/3/2023

AERIAL MAP

SCALE: 1" = 100'±



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PLAN REFERENCE MATERIALS:

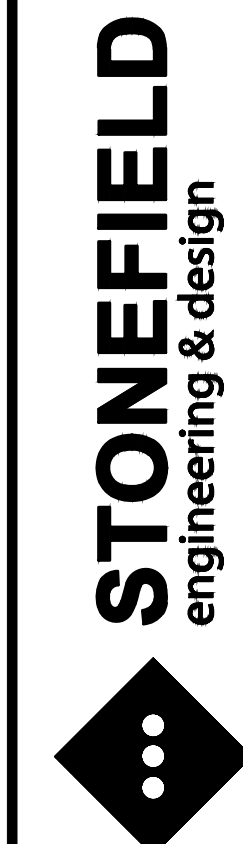
- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - PROPERTY PARTIAL TOPOGRAPHIC SURVEY BY CONTROL POINT ASSOCIATES, INC., DATED 6/26/2023.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO, DATED 5/3/2023.
 - TOWN OF ASHLAND ZONING BY-LAW, DATED 6/12/2021.
 - TOWN OF ASHLAND ZONING MAP, DATED 5/2/2018.
 - TOWN OF ASHLAND TAX MAP, DATED 9/6/2017.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS & DEMOLITION PLAN	C-2
SITE & GRADING PLAN	C-3
LIGHTING PLAN	C-4
LANDSCAPING PLAN	C-5 & C-6
CONSTRUCTION DETAIL	C-7 & C-8

ISSUE	DATE	BY	DESCRIPTION
04	02/07/2024	AB	REVISED TRASH ENCLOSURE LOCATION
03	01/08/2024	JV	REVISED LANDSCAPING PLAN
02	10/31/2023	JV	ISSUED FOR MUNICIPAL RESUBMISSION
01	10/10/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION

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SITE IMPROVEMENT PLAN



PROPERTY ID: 26-209-00-000
 320 POND STREET
 TOWN OF ASHLAND
 MIDDLESEX COUNTY, MASSACHUSETTS



JOSHUA H. KLINE, P.E.
 MASSACHUSETTS LICENSE No. 53936
 LICENSED PROFESSIONAL ENGINEER



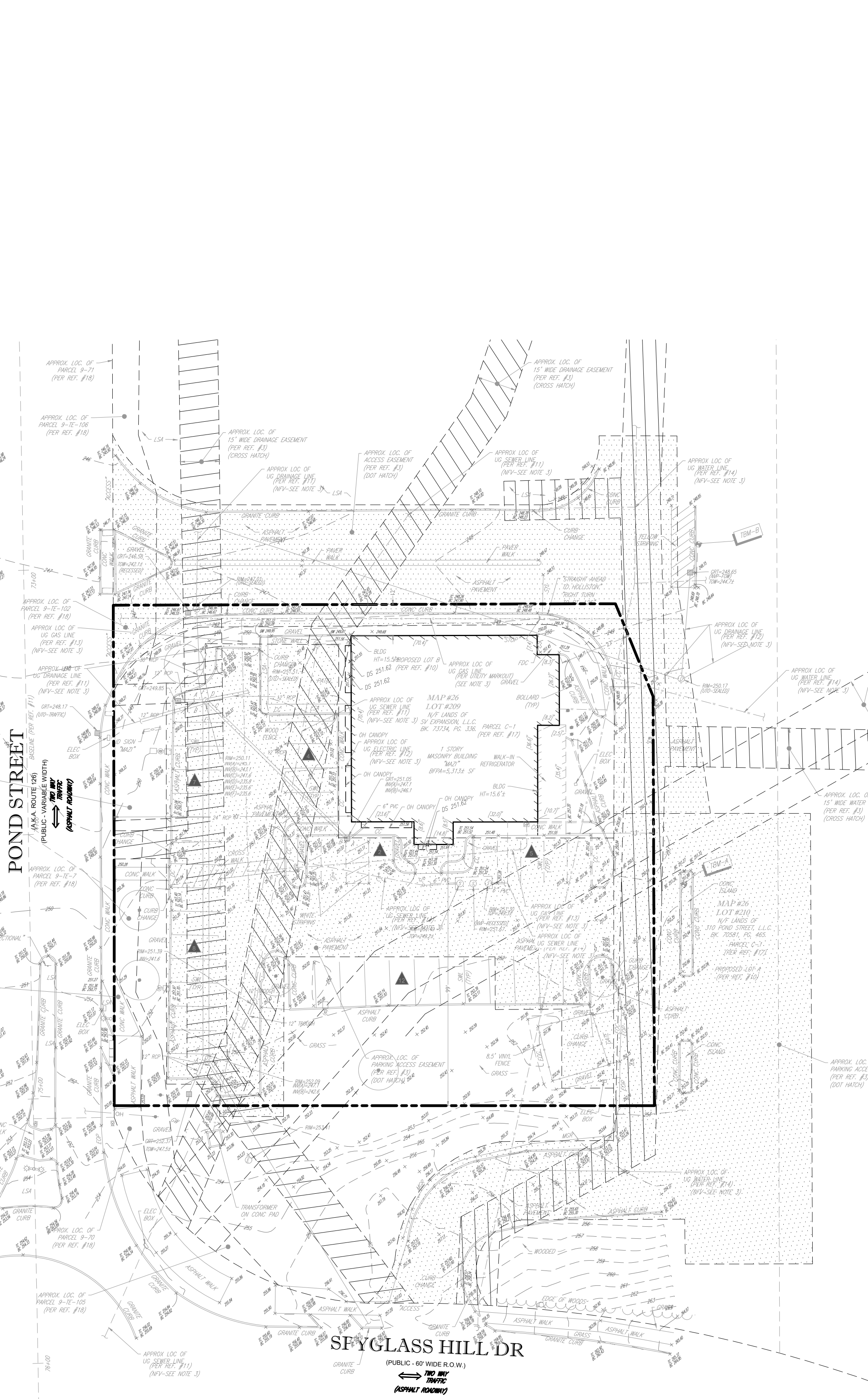
SCALE: AS SHOWN PROJECT ID: BOS-230025

TITLE:
COVER SHEET

DRAWING:
C-1

SURVEY NOTES:

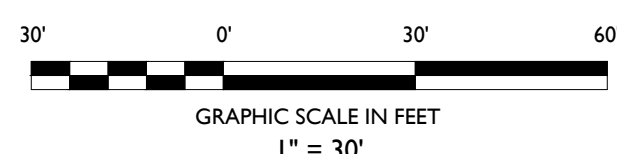
1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



SYMBOL	DESCRIPTION
---	EXISTING CONTOUR
•	EXISTING SPOT ELEVATION
—	EXIST. TOP OF CURB ELEVATION
—	EXIST. BOTTOM OF CURB ELEVATION
—	EXIST. FINISHED FLOOR ELEVATION
—	EXIST. DOOR SILL ELEVATION
—	OVERHEAD WIRES
—	APPROX. LOC. UNDERGROUND GAS LINE
—	SUBSURFACE UTILITY QUALITY LEVEL C
—	DEPRESSED CURB
—	WATER VALVE
—	ELECTRIC METER
—	GAS METER
—	SANITARY/SEWER MANHOLE
—	CATCH BASINS
—	CLEAN OUT
—	MONITORING WELL
—	UTILITY POLE/LIGHT POLES/SOLAR PANEL
—	TRAFFIC SIGNAL
—	PAINTED ARROWS
—	DETECTABLE WARNING PAD
—	METAL COVERS
—	SIGN
—	DOUBLE SIGN
—	BOLLARD
—	U-BOLLARD
—	METAL GUIDE RAIL
—	AREA LIGHT
—	PARKING SPACE COUNT
—	BUILDING FOOTPRINT AREA
—	BUILDING
—	CHAIN LINK FENCE
—	DEPRESSED CURB
—	EDGE OF CONC.
—	EDGE OF PAVEMENT
—	HEIGHT
—	LANDSCAPED AREA
—	METAL COVER
—	SOLID WHITE LINE
—	TYPICAL
—	UNDER GROUND
—	UNKNOWN TERMINUS



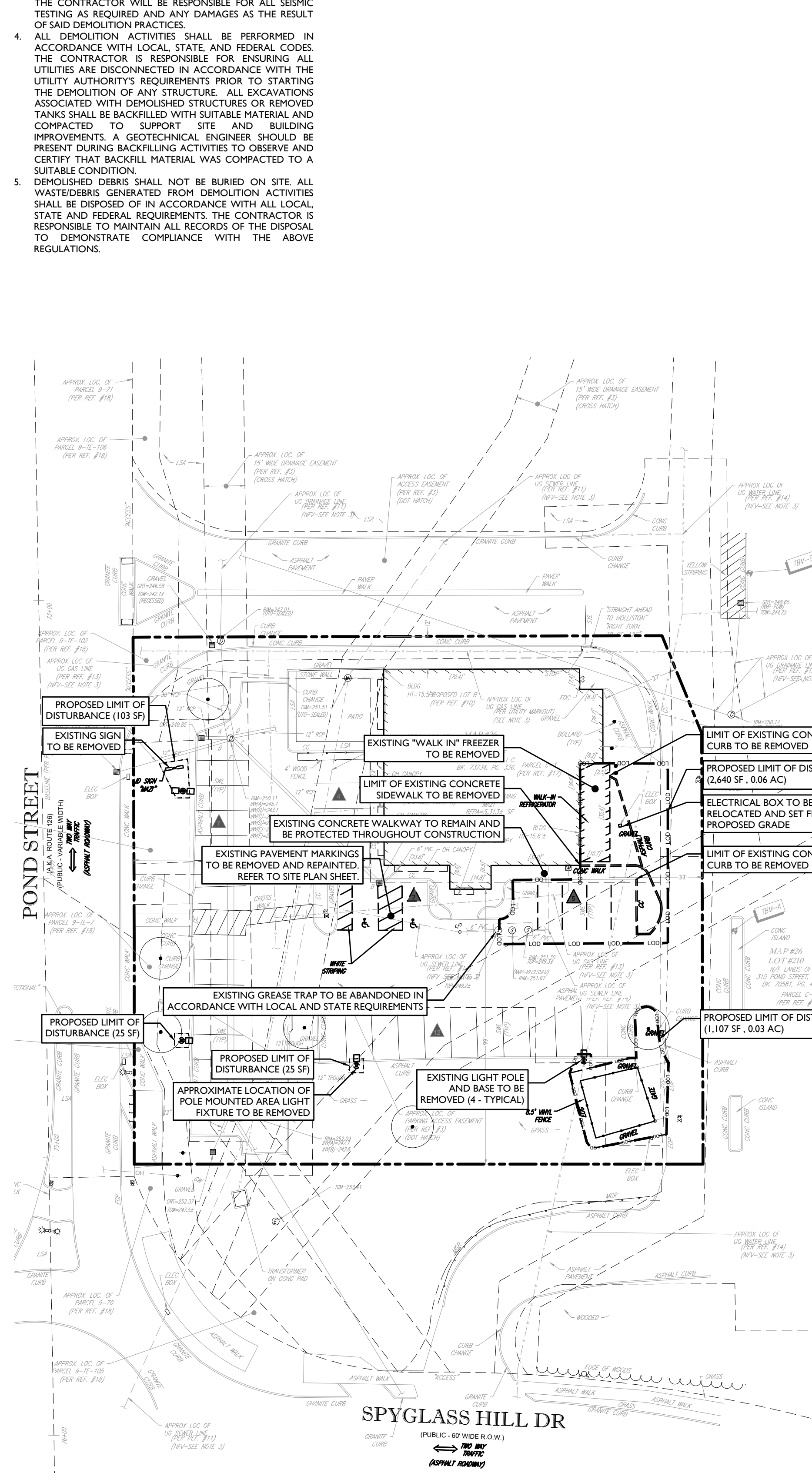
Know what's below
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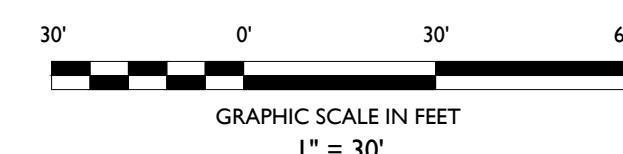
DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

ALL SITE FEATURES ON THIS PLAN ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE



DEMOLITION PLAN SHEET

EXISTING CONDITIONS PLAN SHEET

ISSUE	DATE	BY	DESCRIPTION
04	02/07/2024	AB	REVISED TRASH ENCLOSURE LOCATION
03	01/08/2024	JV	REVISED LANDSCAPING PLAN
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CHASE
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MASSACHUSETTS LICENSE No. 53936
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 30' PROJECT ID: BOS-230025
TITLE: EXISTING CONDITIONS & DEMOLITION PLAN
DRAWING: C-2

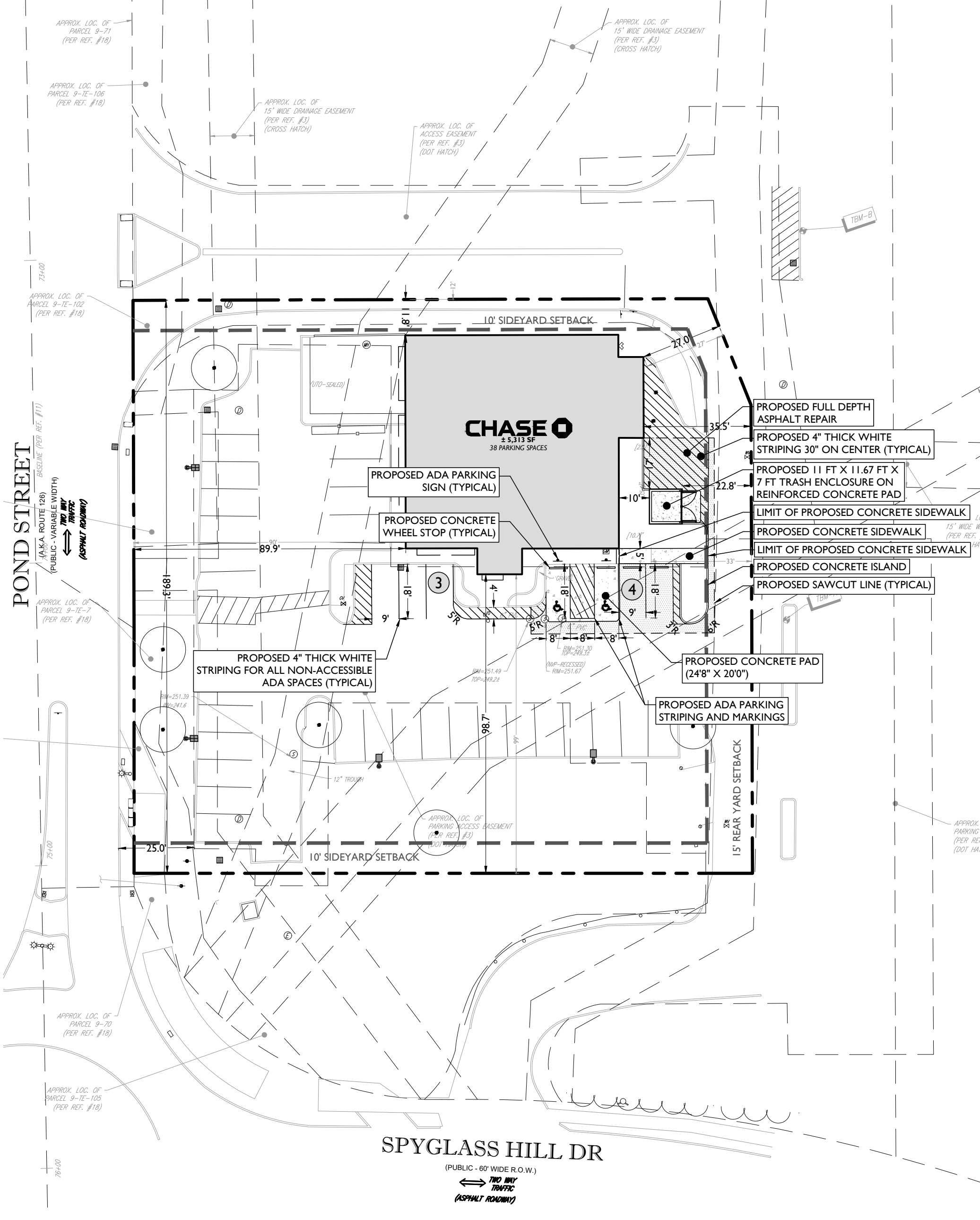
LAND USE AND ZONING			
PARCEL ID: 26-209-00-000			
HIGHWAY COMMERCE (CH) - POND STREET MIXED USE OVERLAY DISTRICT (PSMUOD)			
PROPOSED USE			
BANK, FINANCIAL INDUSTRY		PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	30,000 SF (0.69 AC)	38,333 SF (0.88 AC)	NO CHANGE
MINIMUM LOT FRONTAGE (*)	150 FT	189.3 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK (*)	NA	89.9 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK (*)	10 FT	11.8 FT	NO CHANGE
MINIMUM REAR YARD SETBACK (*)	15 FT	35.5 FT	NO CHANGE
MAXIMUM BUILDING HEIGHT	5 STORIES	15.5 FT	NO CHANGE

(*) ANY DEVELOPMENT PROPOSED UNDER THE PSMUOD BYLAW IS NOT SUBJECT TO THE REGULATIONS OF THE UNDERLYING ZONING DISTRICT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.1.2	REQUIRED PARKING: 1 SPACE PER 200 FT GROSS FLOOR AREA 1 SPACE PER EMPLOYEE (1 SPACE PER 200 SF X 4,970 SF = 25 SPACES) (1 SPACE PER EMPLOYEE X 5 EMPLOYEES = 5 SPACES)	38 SPACES

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.3.5	SIGN CONSTRUCTION REQUIREMENTS: ALL WALL SIGNS REQUIRE A REMOVABLE BACKING ALL SIGNS SHALL BE MAINTAINED IN GOOD REPAIR	COMPLIES
§ 5.3.7	MAXIMUM SIGN REQUIREMENTS: 1 SIGN FIXED TO BUILDING PER BUILDING ENTRANCE SECONDARY SIGNS ARE 50% OF MAXIMUM SIGN AREA	DOES NOT COMPLY
§ 5.3.8	SIGN PLACEMENT: NO SIGNS SHALL BE PLACED IN A REQUIRED SIDE OR REAR YARD SIGNS SHALL NOT EXCEED THE HEIGHT OF THE BUILDING	COMPLIES
§ 5.3.9	MAXIMUM TOTAL SIGN AREA: 2 SF PER 1 FT OF LOT FRONTAGE (2 X 189.9 FT = 379.8 SF)	COMPLIES 132 SF
§ 5.3.14(2)	WALL SIGN REQUIREMENTS: MAXIMUM NUMBER: 1 MAXIMUM AREA: LESS THAN 150 SF OR 15% OF WALL AREA	2 SIGNS (W) COMPLIES
§ 5.3.14(3)	FREESTANDING SIGN REQUIREMENTS: MAXIMUM AREA: 60 SF MAXIMUM HEIGHT: 30 FT	58 SF 17 FT

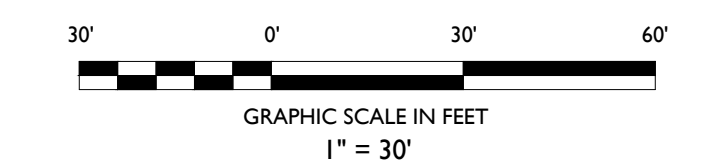
(W) WAIVER



SITE PLAN SHEET

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
○	PROPOSED SIGNS
■	PROPOSED BUILDING
■	PROPOSED CONCRETE
■	PROPOSED AREA LIGHT
---	PROPOSED BUILDING DOORS

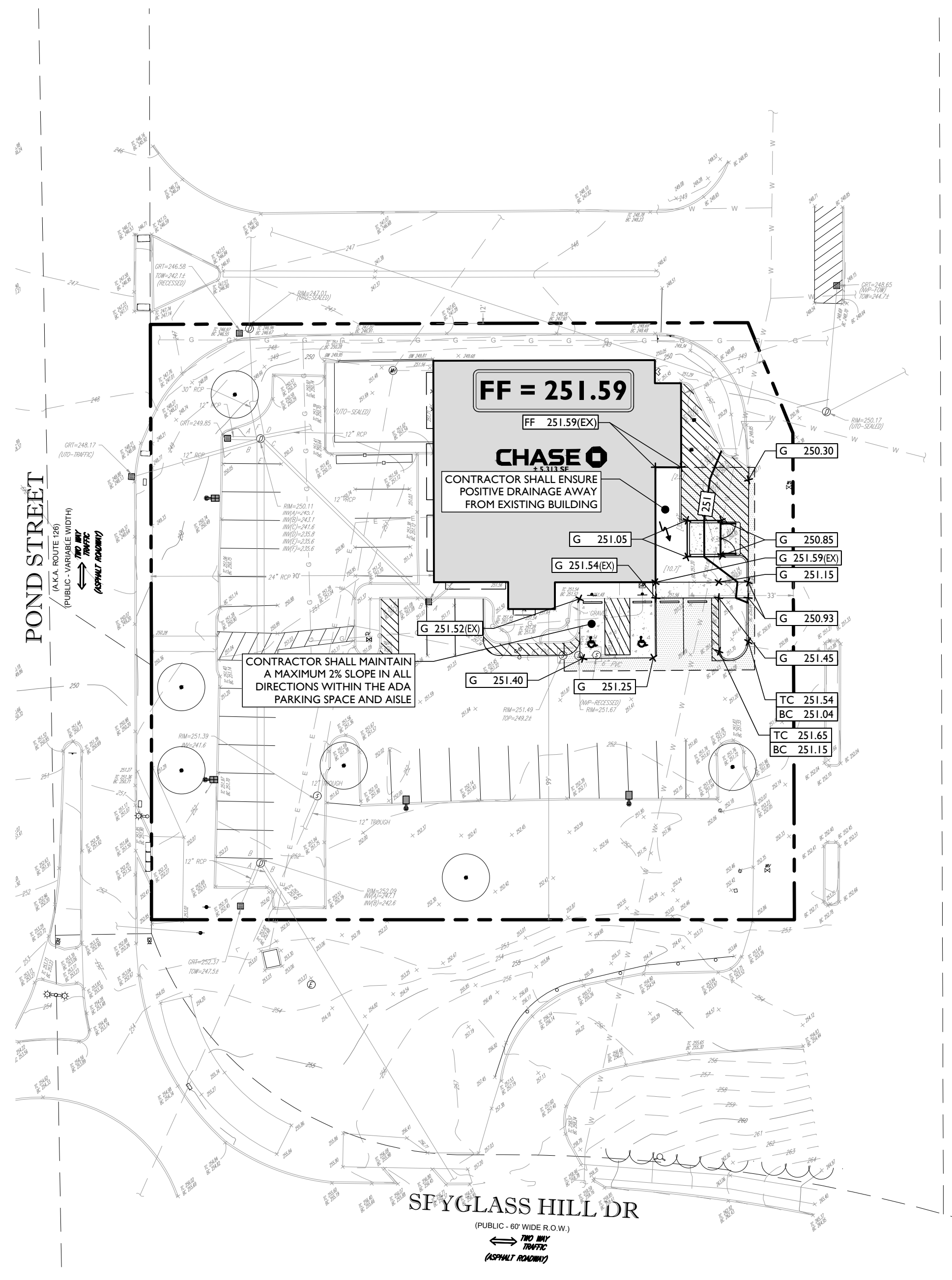
- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW, STONEFIELD ENGINEERING & DESIGN, LLC. WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC. BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



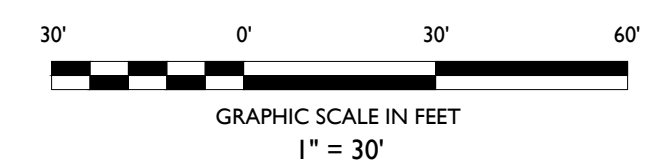
- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SLUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT



GRADING PLAN SHEET



REVISION	DATE	BY	DESCRIPTION
01	10/10/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION
02	10/31/2023	JV	ISSUED FOR MUNICIPAL RESUBMISSION
03	01/08/2024	JV	REVISED LANDSCAPING PLAN
04	02/07/2024	AB	REVISED TRASH ENCLOSURE LOCATION

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SITE IMPROVEMENT PLAN

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PROPOSED BANK

PROPERTY ID: 26-209-00-000
320 POND STREET
TOWN OF ASHLAND
MIDDLESEX COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 53936
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-230025

TITLE:
SITE & GRADING PLAN

DRAWING:
C-3

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	2	EVOLVE COMPACT (EACL) AREA LIGHT - 120 WATTS, 4K	ASYMMETRIC WIDE (TYPE III)	0.90	GE CURRENT	EACL01_F3AW740...ELS-EA C-ABL-BLCK.IES
	B	2	EVOLVE COMPACT (EACL) AREA LIGHT - 120 WATTS, 4K	ASYMMETRIC FORWARD (TYPE IV)	0.90	GE CURRENT	EACL01_F4AF740...ELS-EAC -ABL-BLCK.IES
	C	8	C-LITE CUTOFF LED WALL PACK	DOWNLIGHT	0.90	C-LITE	C-WP-B-RDC-10L-40K-DB.IES
	D	4	LANTERNA 9004 LED, WALL MOUNTED CYLINDER	DOWNLIGHT	0.90	COOPER LIGHTING	9004-WI(RV.RJ)-LED4080-FWT-LI-U NV (1).IES

STANDARD CHASE BANK ATM / AHD REQUIREMENTS	
REQUIRED	PROPOSED
MINIMUM 10 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	17.1
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	2.0
MINIMUM 2 FOOTCANDLES AT FACE OF FRONT DOOR EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE WITHIN PATH OF ACCESS	2.0

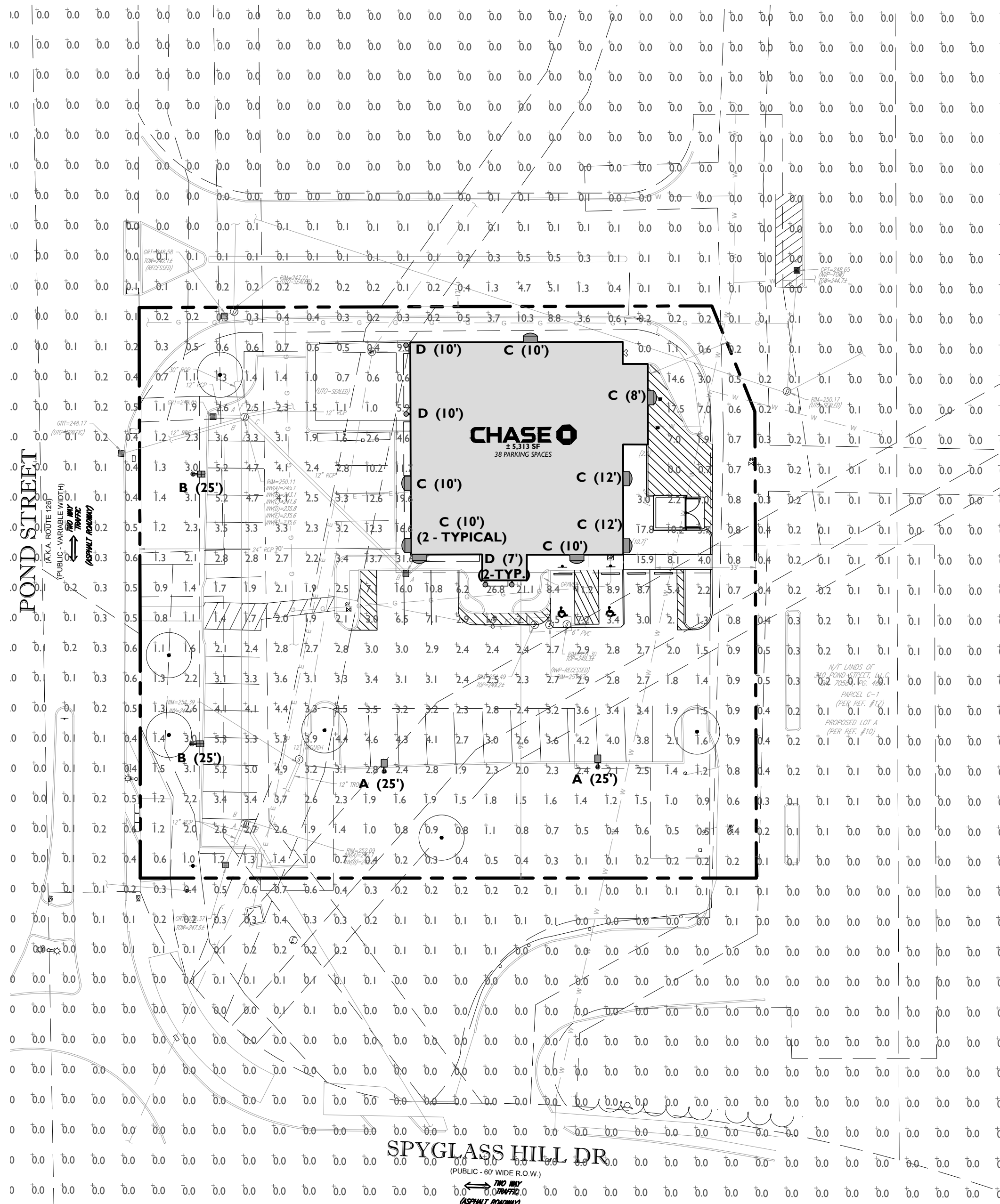
GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

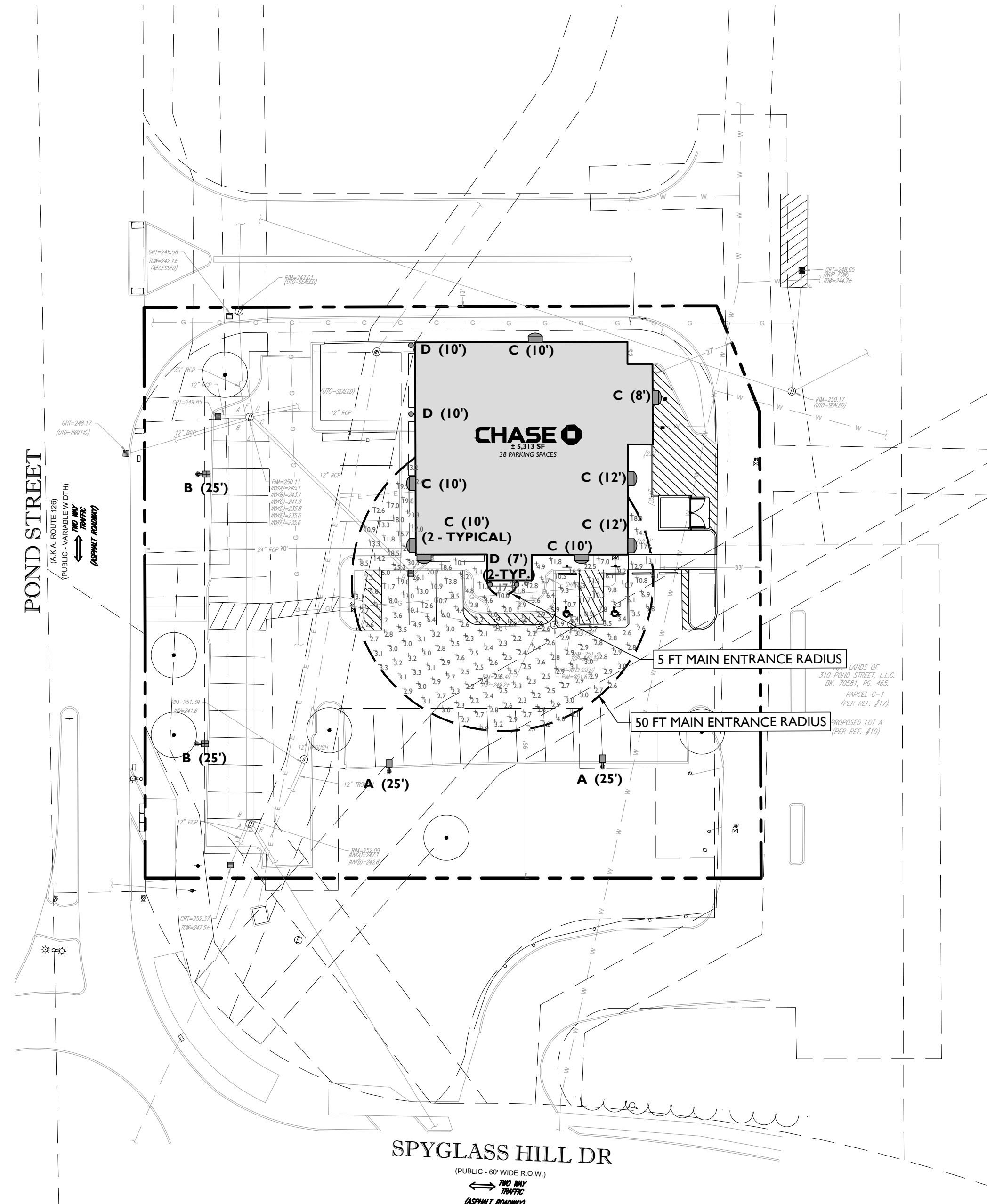
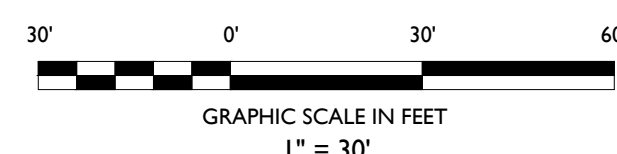
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DESCRIPTION

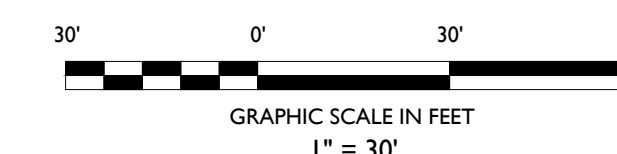
- A (XX') PROPOSED CALCULATION AREA
- XX PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
- PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
- PROPOSED BUILDING MOUNTED LIGHT
- PROPOSED CANOPY LIGHT
- PROPOSED POLE MOUNTED LIGHT



LIGHTING ANALYSIS AT GRADE



LIGHTING ANALYSIS AT 36" ABOVE GRADE



REVISION	DATE	BY	DESCRIPTION
04	02/07/2024	AB	REVISED TRASH ENCLOSURE LOCATION
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01	10/10/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION

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120 Washington Street, Suite 201, Salem, MA 01970
Phone 617.203.2076

CHASE
PROPOSED BANK

SITE IMPROVEMENT PLAN

PROPERTY ID: 26-209-000-000
320 POND STREET
TOWN OF ASHLAND
MIDDLESEX COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 53936
LICENSED PROFESSIONAL ENGINEER

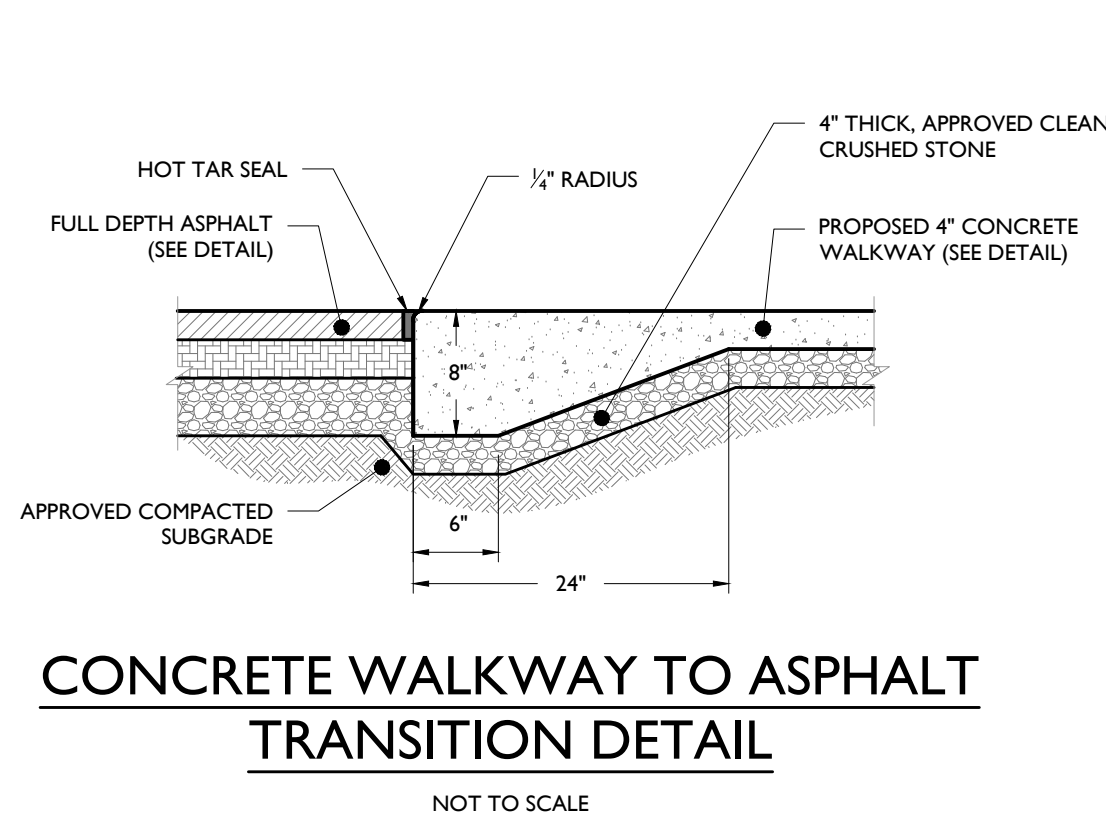
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: BOS-230025

TITLE:
LIGHTING PLAN

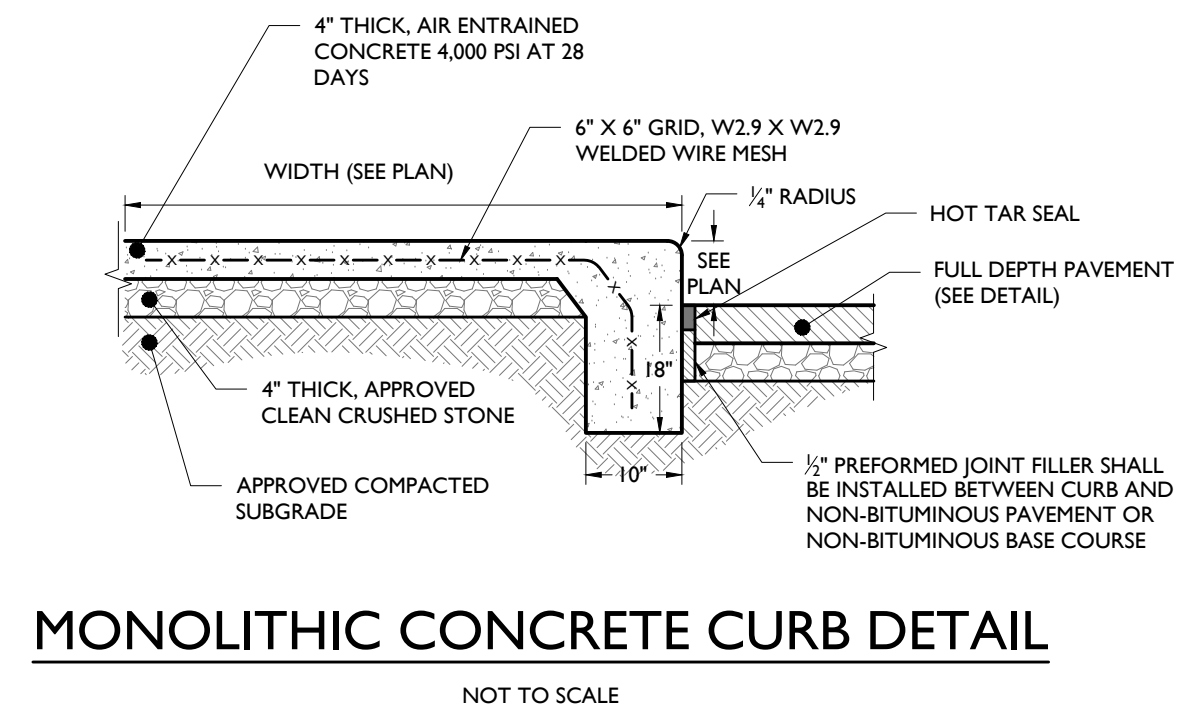
DRAWING:
C-4

24/07/2024 09:52:30 AM 230025 CONSET FILE: 130 POND STREET, ASHLAND, INC\001\PROJECTS\04-LIGHTING



CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

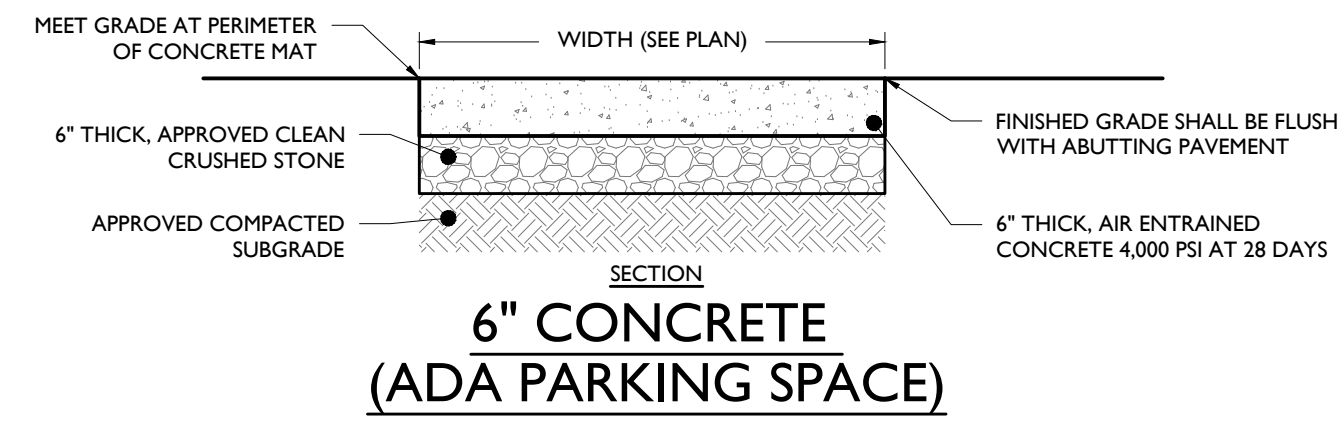


MONOLITHIC CONCRETE CURB DETAIL

NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.

2

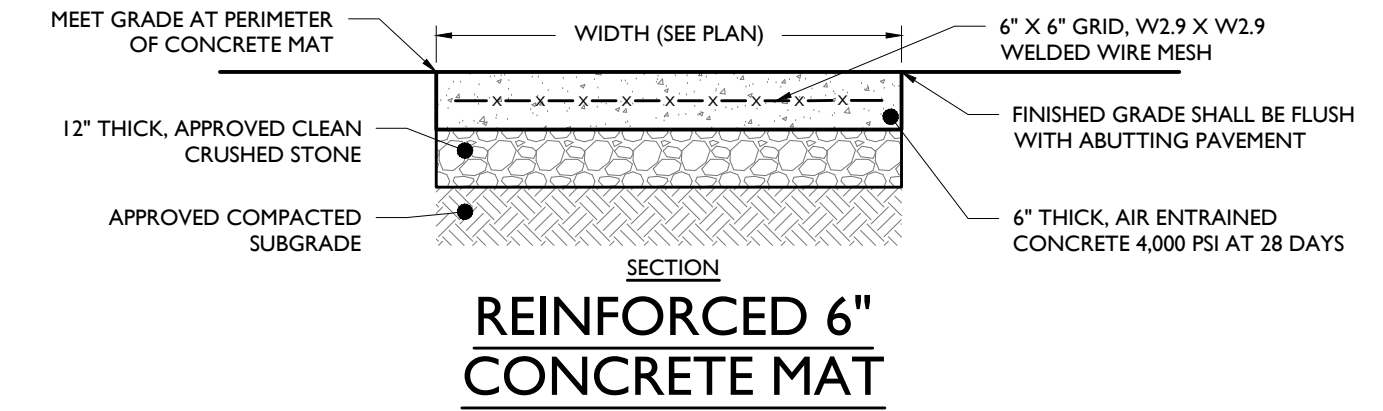


6" CONCRETE (ADA PARKING SPACE)

NOT TO SCALE

- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

3

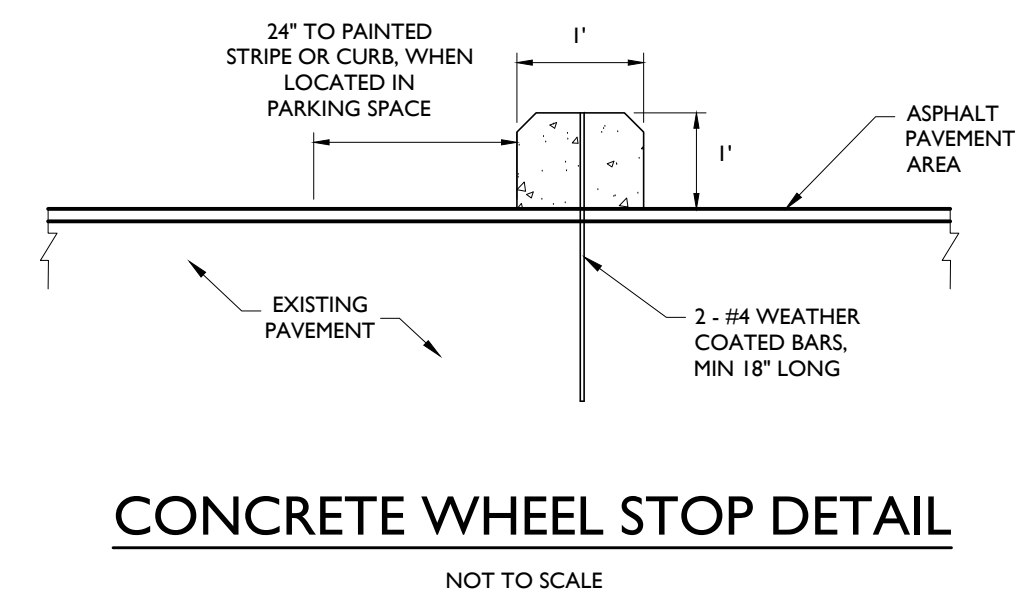


REINFORCED 6" CONCRETE MAT

NOT TO SCALE

- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

4

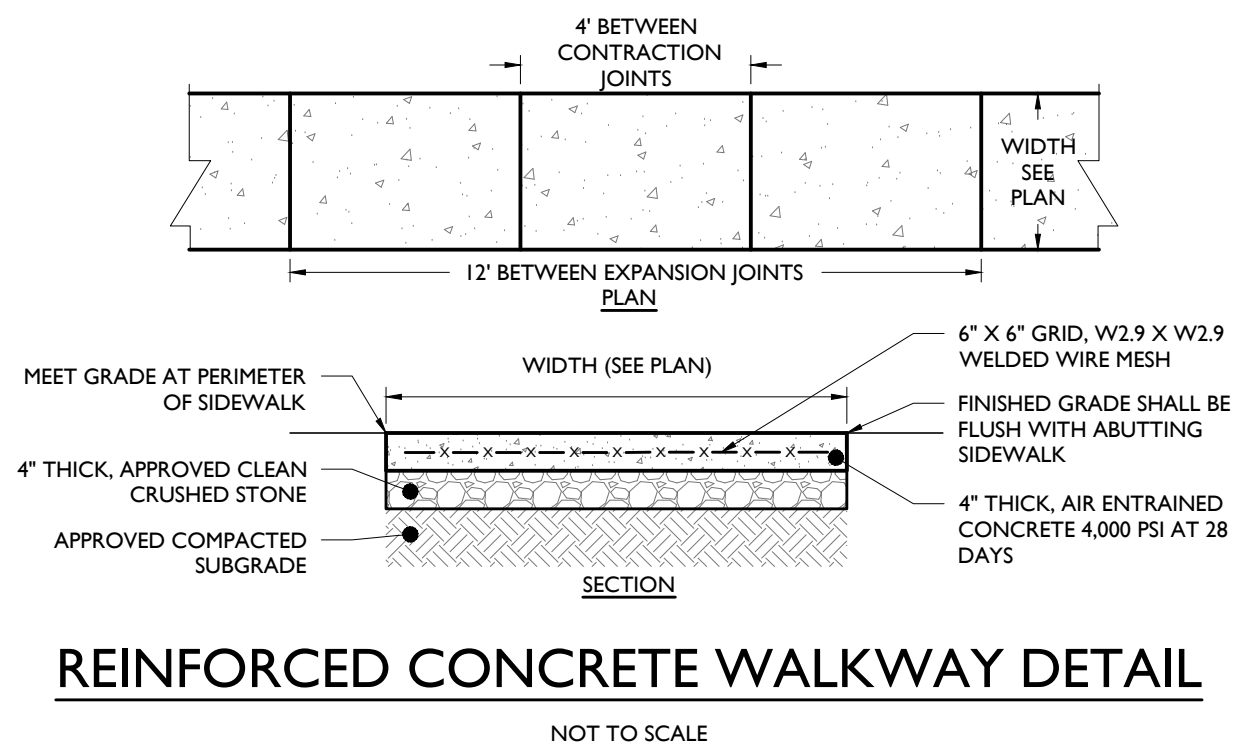


CONCRETE WHEEL STOP DETAIL

NOT TO SCALE

- NOTES:
1. ON CONCRETE PAVEMENT, SECURE WHEEL STOP WITH EPOXY BONDING AGENT.
 2. WHEEL STOP SHALL BE 6' LONG.
 3. WHEEL STOP SHALL BE PREFABRICATED CONCRETE.

5

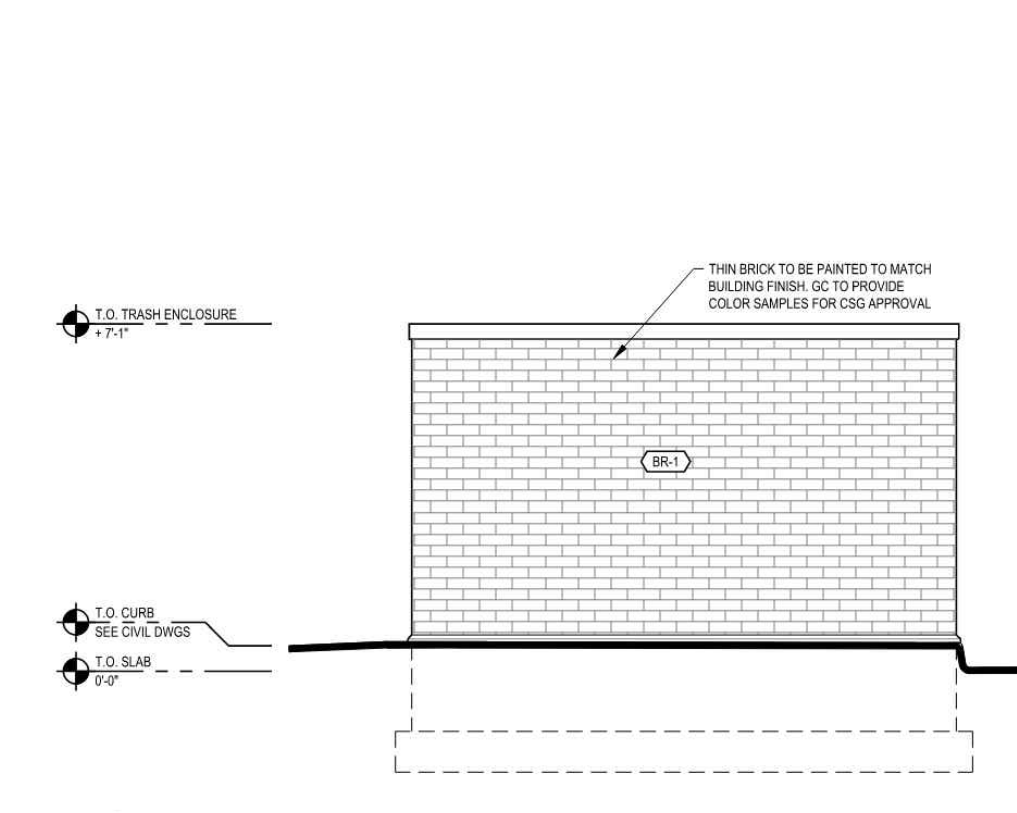


REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

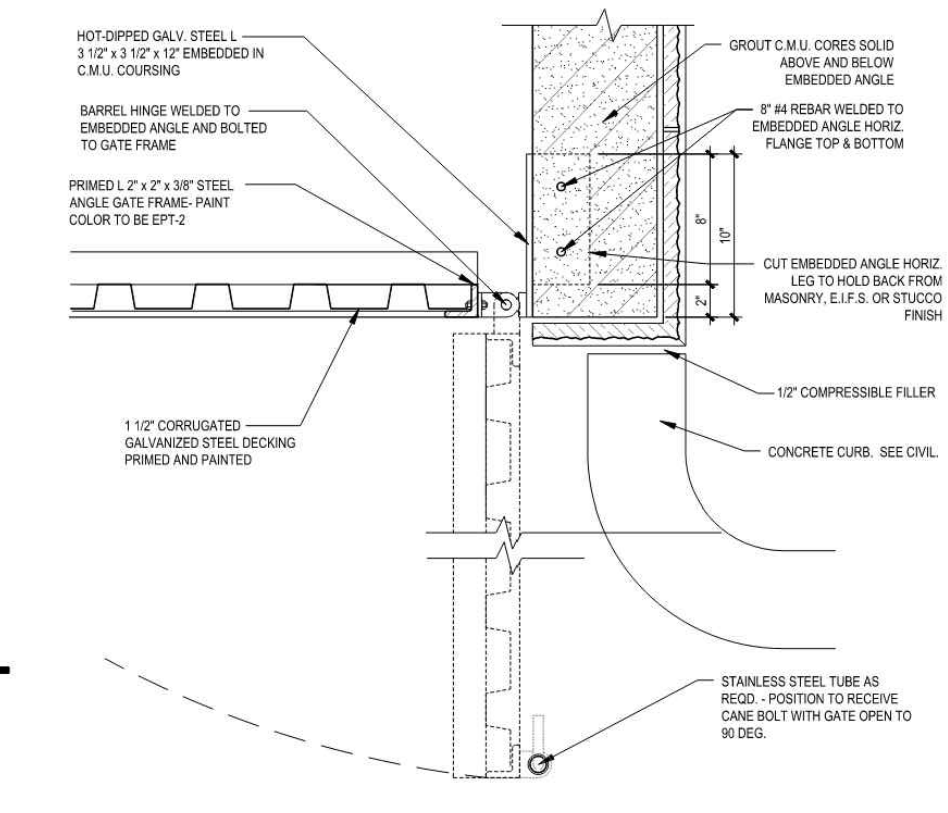
- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

6



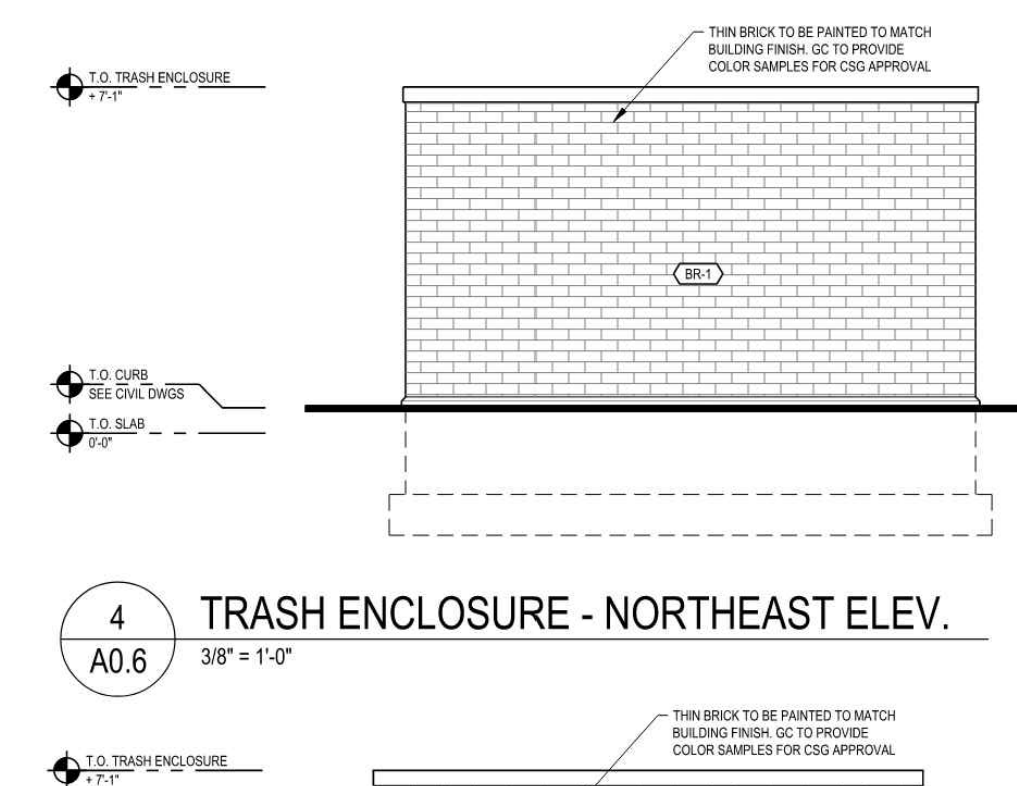
5 TRASH ENCLOSURE - NORTHWEST ELEV.

A0.6 3/8" = 1'-0"



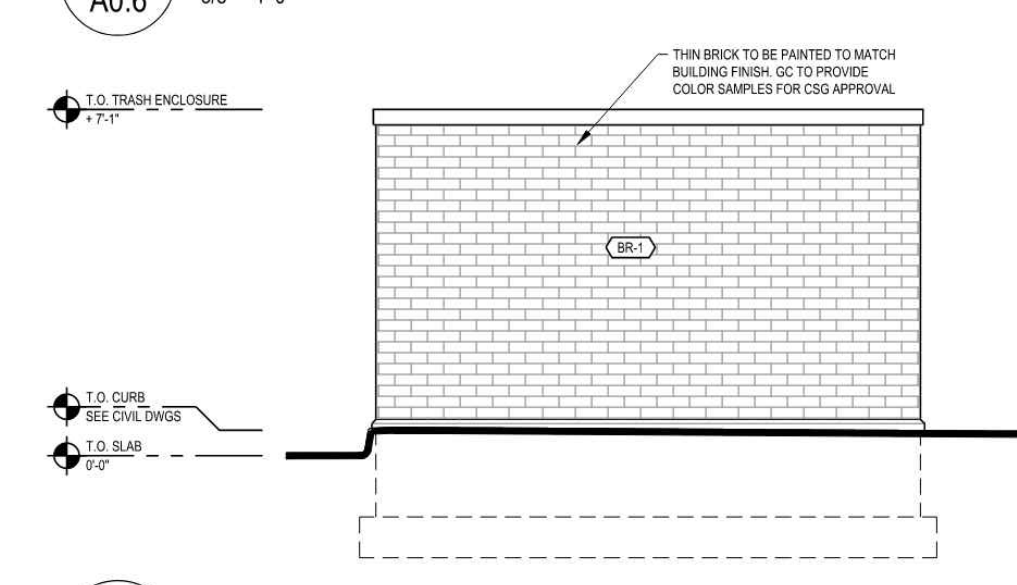
7 TRASH ENCLOSURE - CORNER DETAIL

A0.6 1 1/2" = 1'-0"



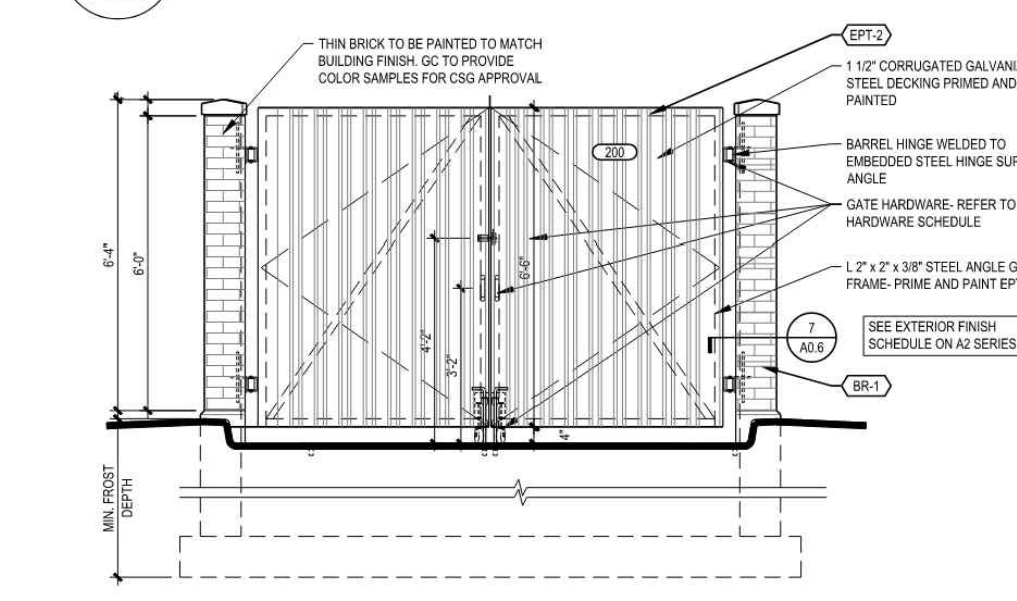
4 TRASH ENCLOSURE - NORTHEAST ELEV.

A0.6 3/8" = 1'-0"



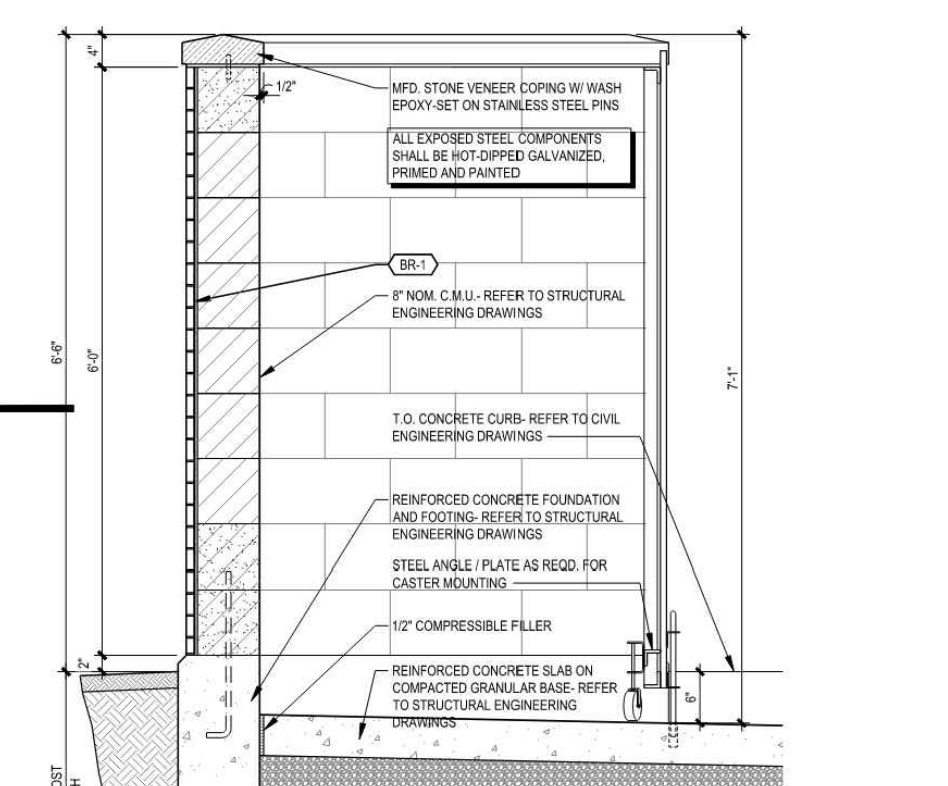
3 TRASH ENCLOSURE - SOUTHEAST ELEV.

A0.6 3/8" = 1'-0"



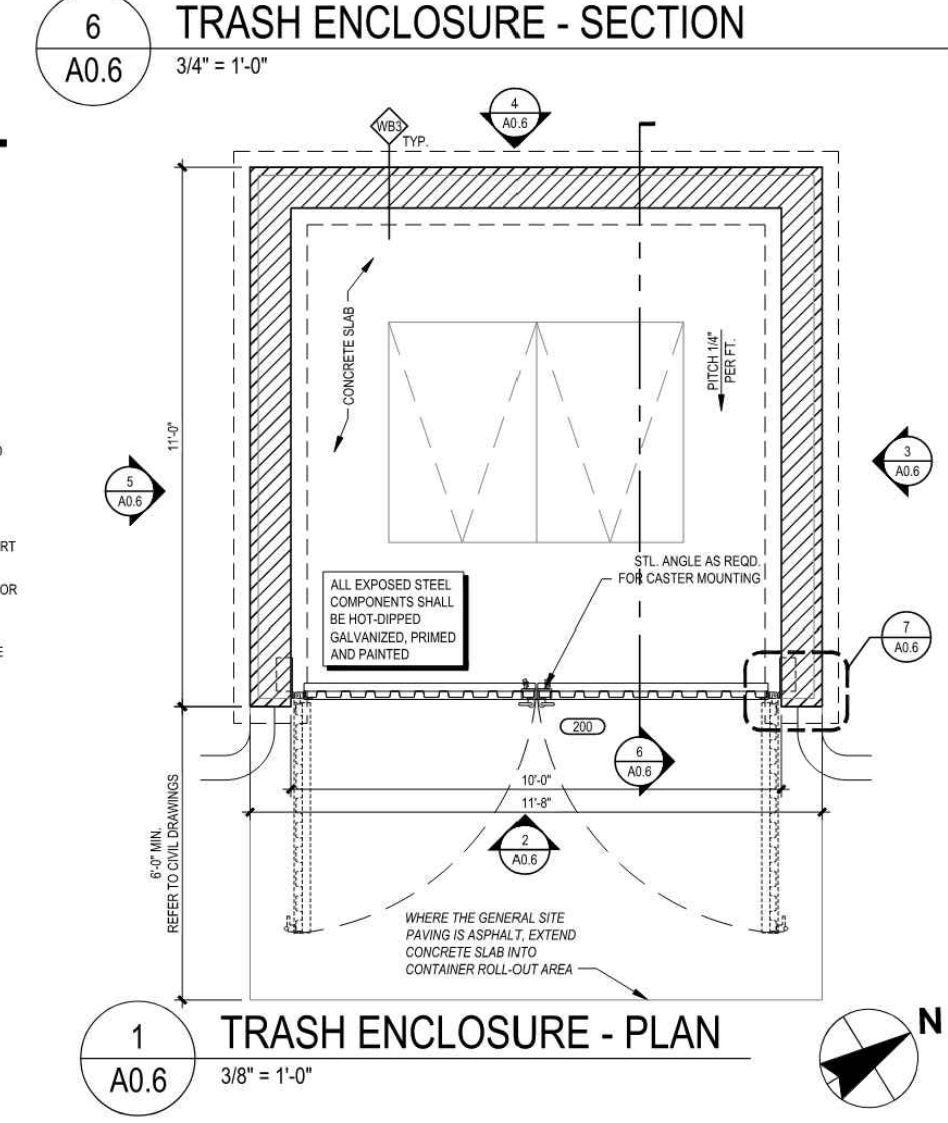
2 TRASH ENCLOSURE - SOUTHWEST ELEV.

A0.6 3/8" = 1'-0"



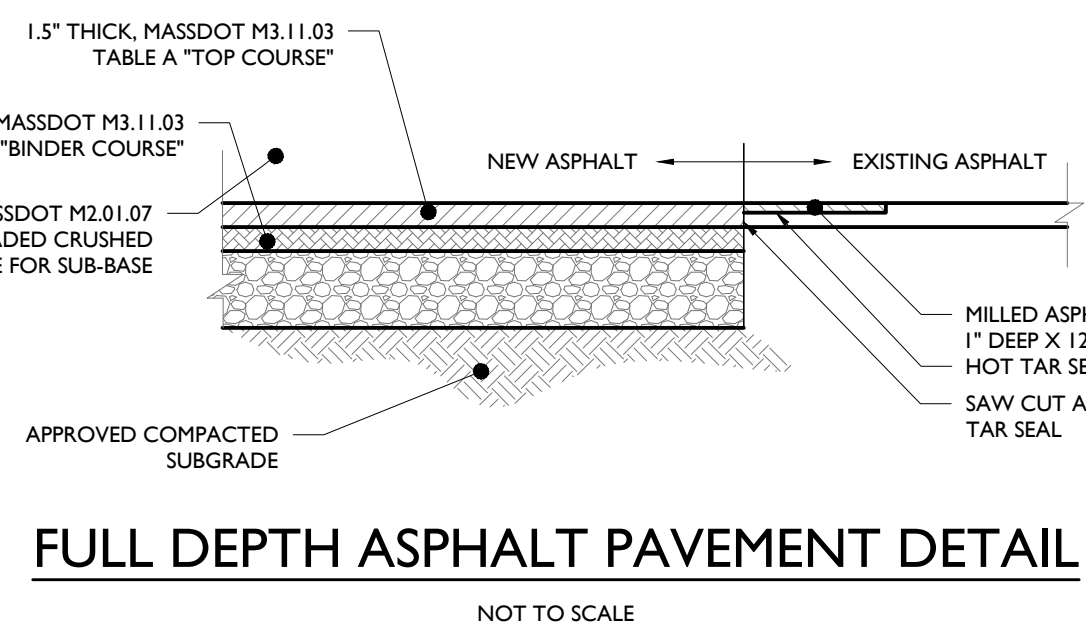
6 TRASH ENCLOSURE - SECTION

A0.6 3/4" = 1'-0"



1 TRASH ENCLOSURE - PLAN

A0.6 3/8" = 1'-0"

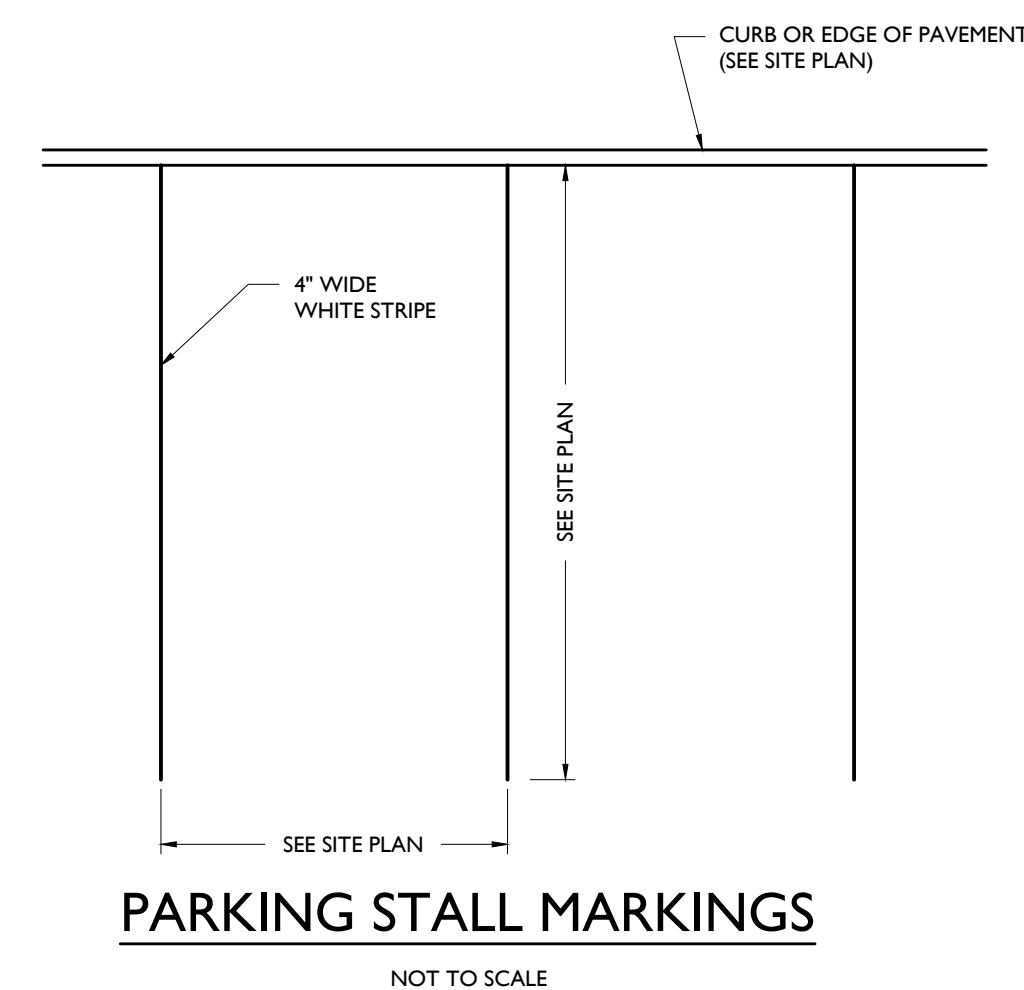


FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

- NOTE:
1. HMA MIX AND GRAVEL SHALL CONFORM TO STOUGHTON DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.

7



PARKING STALL MARKINGS

NOT TO SCALE

- PAVEMENT STRIPING & MARKINGS NOTES:
1. ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
 2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
 4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
 5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.

10



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

- NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.

9

REVISION	DATE	BY	DESCRIPTION
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MASSACHUSETTS LICENSE No. 53936
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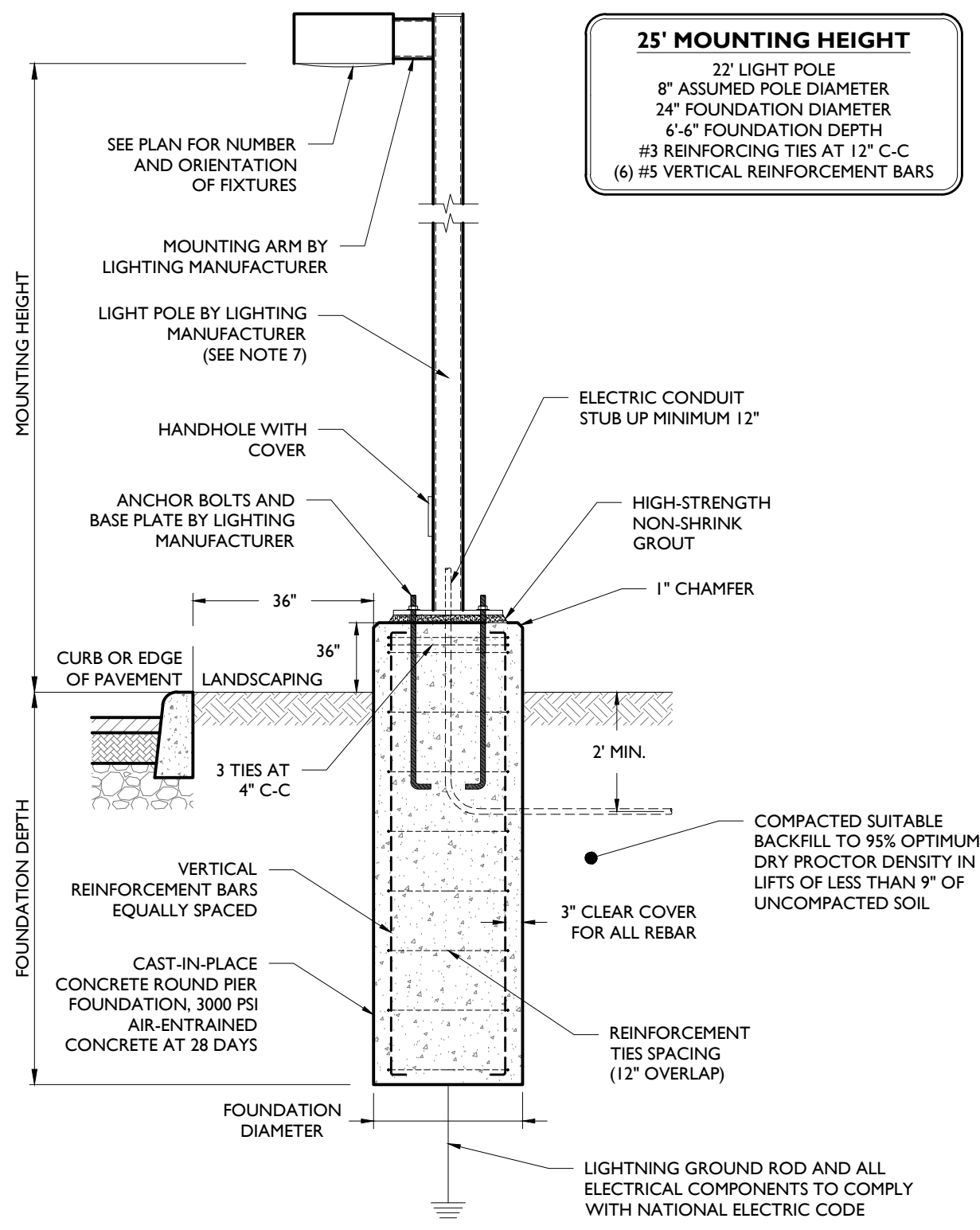
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SCALE: AS SHOWN PROJECT ID: BOS-230025

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-7

Z:\PROJECTS\2023\230025\230025.DWG CONJ.EYR 1/23/2024 11:52:00 AM 11/23/2024 11:52:00 AM 11/23/2024 11:52:00 AM



- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF. SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANSIS/ASCE 7-93.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ALL BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

Ordering Number Logic
 Evolve® Compact Low Wattage Area Light (EACL)

Project name: _____
 Date: _____
 Type: _____

EACL 01 7 C1

PRODUCT	DESCRIPTION	WATTAGE	OPTICAL DISTRIBUTION	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
1	Evolve	10-150W	120° Beam	3000K	0-10V	None	Standard	Black	None
2	Evolve	10-150W	120° Beam	4000K	0-10V	None	Standard	Black	None
3	Evolve	10-150W	120° Beam	5000K	0-10V	None	Standard	Black	None
4	Evolve	10-150W	120° Beam	3000K	0-10V	None	Standard	White	None
5	Evolve	10-150W	120° Beam	4000K	0-10V	None	Standard	White	None
6	Evolve	10-150W	120° Beam	5000K	0-10V	None	Standard	White	None

AREA LIGHT FIXTURE 'A' & 'B' SPECIFICATION

NOT TO SCALE

TYPE	WATTAGE	OPTICAL DISTRIBUTION	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
A1	2000	3000	21	35	0-10V	None	Black	None
A2	2000	3000	21	35	0-10V	None	White	None
B1	4000	5000	30	35	0-10V	None	Black	None
B2	4000	5000	30	35	0-10V	None	White	None

C-WP-B-RDC Series
 Cutoff LED Wall Pack
 Replaces up to 400W PSMH

OFF THE WALL SAVINGS
 Our cLus listed C-Lite Cutoff LED Wall Pack delivers up to 21,000 lumens and is available in 4000K and 5000K. It is dimmable. For maximum energy savings, and comes with a 5-year limited warranty. It also comes with a DLC Premium 5.1 Listing.

- PRODUCT SPECIFICATIONS**
- OVERVIEW**
- Initial Delivered Lumens: 1500 - 21,000 Lumens
 - CRI > 70
 - CCT: 4000K, 5000K
 - Mounting height: 12 - 25 feet
 - Input Power: 12W/22W/47W/77W/144W
 - Dimmable: Yes, 0-10V
 - Operating Temperature Range: -40°F to 104°F (-40°C to 40°C)
 - Estimated L70 Lifetime @ 25°C: 100,000 hours
 - Power Factor > 0.9
 - Total Harmonic Distortion < 20%
 - Limited Warranty: 5 Years*
 - Replaces up to 400 PSMH

FEATURES	RECOMMENDED USE	INPUT VOLTAGE
Replaces up to 400W PSMH	Security	Universal (120V through 277V Operation)
4kV Surge suppression	Perimeter	
Contractor friendly install	Commercial	

ORDERING INFORMATION
 Example: C-WP-B-RDC-IL-40K-DB

C-WP	B	RDC	IL	40K	DB
PRODUCT	SERIES	TYPE	LUMEN PACKAGE	CCT	COLOR
C-WP	B	RDC (Poland Cutoff)	IL 5000L 12W 20L 20,500L (4000K), 3000L 5000K 22W 6L 5000L (4000K), 6000L 5000K 47W	40K (Neutral White)	DB (Dark Bronze)

CERTIFICATIONS: UL, DLC, ETL, 5 YEAR WARRANTY

AREA LIGHT FIXTURE 'C' SPECIFICATIONS

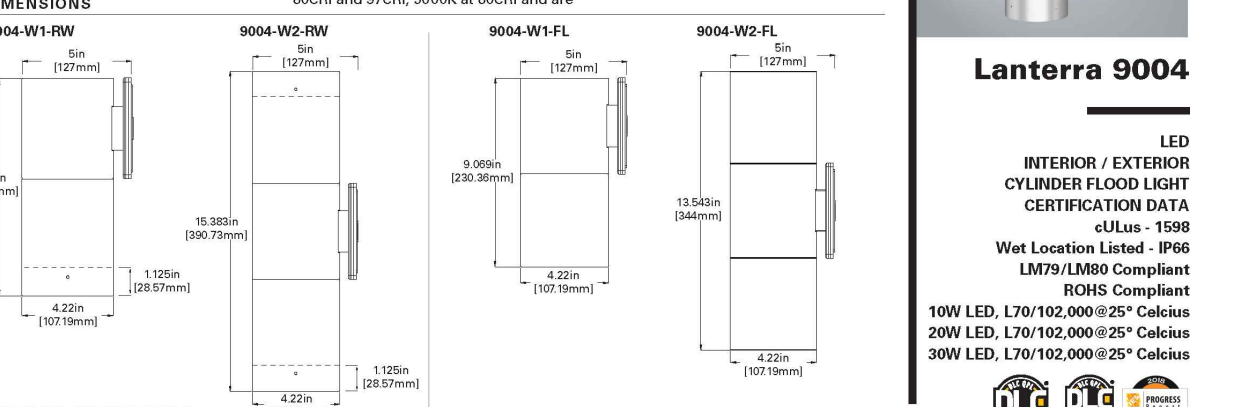
NOT TO SCALE

TYPE	WATTAGE	OPTICAL DISTRIBUTION	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
C1	2000	3000	21	35	0-10V	None	Black	None

Lumiere

DESCRIPTION
 Lanterns 9004-W1 (Up or Down) and 9004-W2 (Up or Down) are 4.25" C.D., line voltage cylinder fixtures with dimmable LED. The luminaire comes in various mounting, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch boxes. The luminaire also comes with various field replaceable optics. It also comes with various lens, louvers and colors or diffusers. Many, which can combine up to two at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

- SPECIFICATION FEATURES**
- Material:** Housing, head and mounting stem are precision-machined from corrosion resistant 6061-T6 aluminum.
 - Finish:** Fixtures constructed from 6061-T6 aluminum are double protected by an RDC's complete chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.
 - Head:** Hood is removable and accepts up to two internal accessories at once (lenses, louvers and filters) to achieve multiple lighting effects. Wind holes prevents water and mineral stains to deliver optimal performance. Light from collecting on the lens, even in the straight up position. The flush lens design reduces future length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.
 - Electrical:** Long life LED system coupled with electronic driver (120V/277V/50/60Hz) is compatible with TRIAC (Trailing Edge), ETV (Forward phase) and 0-10V dimming to deliver optimal performance. Light can be dimmed from 10% to 100% while maintaining constant CCT. It will operate in 30°C to 50°C unless noted otherwise. The driver incorporates surge protection. LEDs are available in 2700K, 3000K, 3500K or 4000K and 5000K at 80CRI and 90CRI and are available in 4000K and 5000K.



ORDERING INFORMATION

SERIES	DIRECTION	HOOD	LED CCT & CA	REPLACEMENT	REPLACEMENT	FINISH	LIGHT LEVEL	VOLTAGE	MOUNTING	OPTIONS
9004	Up or Down	Standard	3000K, 4000K, 5000K	Standard	Standard	Black, White	12, 20, 30	120V, 277V	Surface Mount, Pole Mount	None

AREA LIGHT FIXTURE 'D' SPECIFICATIONS

NOT TO SCALE

TYPE	WATTAGE	OPTICAL DISTRIBUTION	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
D1	2000	3000	21	35	0-10V	None	Black	None

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SITE IMPROVEMENT PLAN

CHASE
 PROPOSED BANK

PROPERTY ID: 26-209-00-000
 320 FOND STREET
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 LICENSED PROFESSIONAL ENGINEER

STONEFIELD
 engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-230025

TITLE: CONSTRUCTION DETAILS

DRAWING: C-8