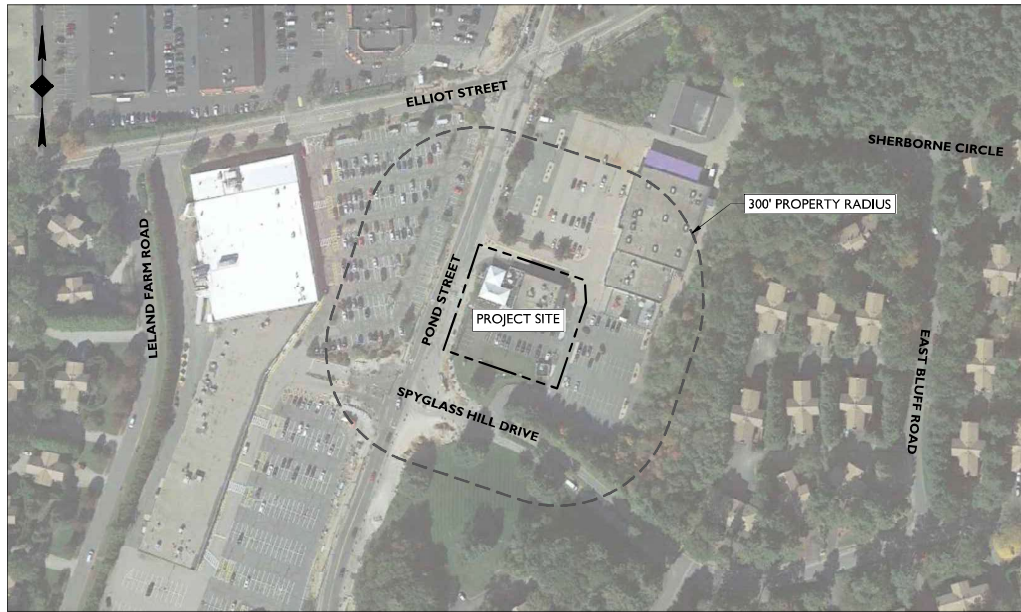


CHASE

SITE IMPROVEMENT PLAN

PARCEL ID: 26-209-00-000
 320 POND STREET
 TOWN OF ASHLAND, MIDDLESEX COUNTY, MASSACHUSETTS



SOURCE: GOOGLE EARTH PRO DATED 5/9/2023

AERIAL MAP

SCALE: 1" = 100'±



Know what's below
 Call before you dig.



STONEFIELD
 engineering & design

Rutherford, NJ · New York, NY · Salem, MA
 Princeton, NJ · Tampa, FL · Detroit, MI
 www.stonefieldeng.com

120 Washington Street, Suite 201, Salem, MA 01970
 Phone 617.203.2076

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - PROPERTY PARTIAL TOPOGRAPHIC SURVEY BY CONTROL POINT ASSOCIATES, INC., DATED 4/26/2023.
 - AERIAL MAP, OBTAINED FROM GOOGLE EARTH PRO, DATED 5/2/2023.
 - TOWN OF ASHLAND ZONING BY-LAW, DATED 4/12/2021.
 - TOWN OF ASHLAND ZONING MAP, DATED 4/2/2018.
 - TOWN OF ASHLAND TAX MAP, DATED 9/6/2017.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS & DEMOLITION PLAN	C-2
SITE & GRADING PLAN	C-3
LIGHTING PLAN	C-4
LANDSCAPING PLAN	C-5 & C-6
CONSTRUCTION DETAIL	C-7 & C-8

ISSUE	DATE	BY	DESCRIPTION
05	01/13/2024	JV	REVISED PER PLANNING BOARD COMMENTS
04	07/07/2024	AB	REVISED TRASH ENCLOSURE LOCATION
03	01/08/2024	JV	REVISED LANDSCAPING PLAN
02	10/11/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION
01	10/10/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
 engineering & design

Rutherford, NJ · New York, NY · Salem, MA
 Princeton, NJ · Tampa, FL · Detroit, MI
 www.stonefieldeng.com
 120 Washington Street, Suite 201, Salem, MA 01970
 Phone 617.203.2076

SITE IMPROVEMENT PLAN

CHASE
 PROPOSED BANK

PROPERTY ID: 26-209-00-000
 TOWN OF ASHLAND
 MIDDLESEX COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
 MASSACHUSETTS LICENSE NO. 57918
 LICENSE PROFESSIONAL ENGINEER

STONEFIELD
 engineering & design

SCALE: AS SHOWN PROJECT ID: 805-19031

TITLE: COVER SHEET

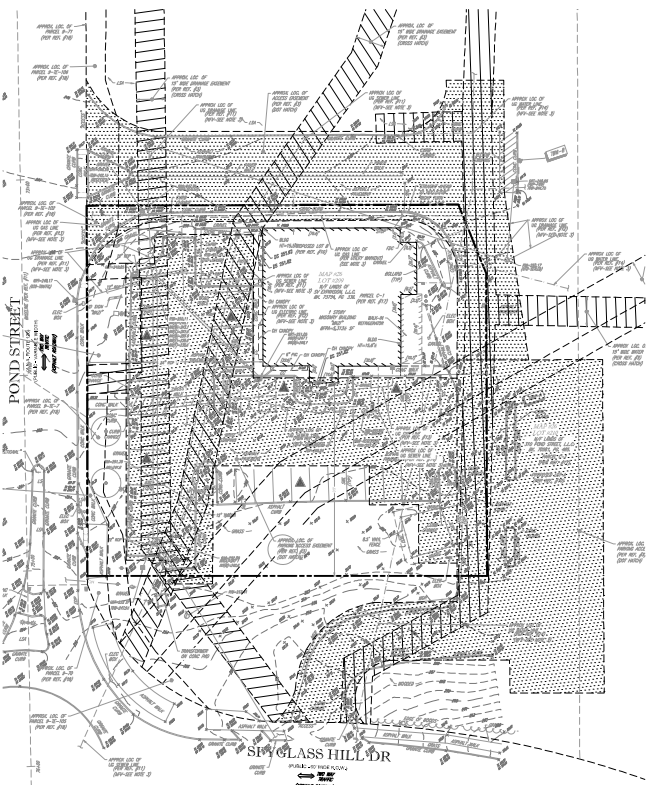
DRAWING:

C-1

SURVEY NOTES

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THE PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND VERIFY IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SYMBOL	DESCRIPTION
	EXISTING CONTOUR
	EXISTING SPOT ELEVATION
	EXIST. TOP OF CURB ELEVATION
	EXIST. BOTTOM OF CURB ELEVATION
	EXIST. FINISHED FLOOR ELEVATION
	EXIST. DOOR SILL ELEVATION
	OVERHEAD MIRES
	APPROX. LOC. UNDERGROUND GAS LINE
	SUBSURFACE UTILITY QUALITY LEVEL C
	DEPRESSED CURB
	WATER VALVE
	ELECTRIC METER
	GAS METER
	SANITARY/SEWER MANHOLE
	CATCH BASINS
	CLEAN OUT
	MONITORING WELL
	UTILITY FOLDAHEAD POLYSOLAR PANEL
	TRAFFIC SIGNAL
	PAINTED ARROWS
	DETECTABLE WALKING PAD
	METAL COVERS
	SEEN
	DOUBLE SIGN
	ROLLARD
	USABOLLARD
	METAL GUIDE RAIL
	AREA LIGHT
	PARKING SPACE COUNT
	BUILDING FOOTPRINT AREA
	BUILDING
	CHAIN LINK FENCE
	DEPRESSED CURB
	EDGE OF CONC.
	EDGE OF PAVEMENT
	HIGHT
	LANDSCAPED AREA
	METAL COVER
	SOLID WHITE LINE
	TYPICAL
	UNDER GROUND
	UNKNOWN TERMINUS



EXISTING CONDITIONS PLAN SHEET

811
Know what's below
Call before you dig.

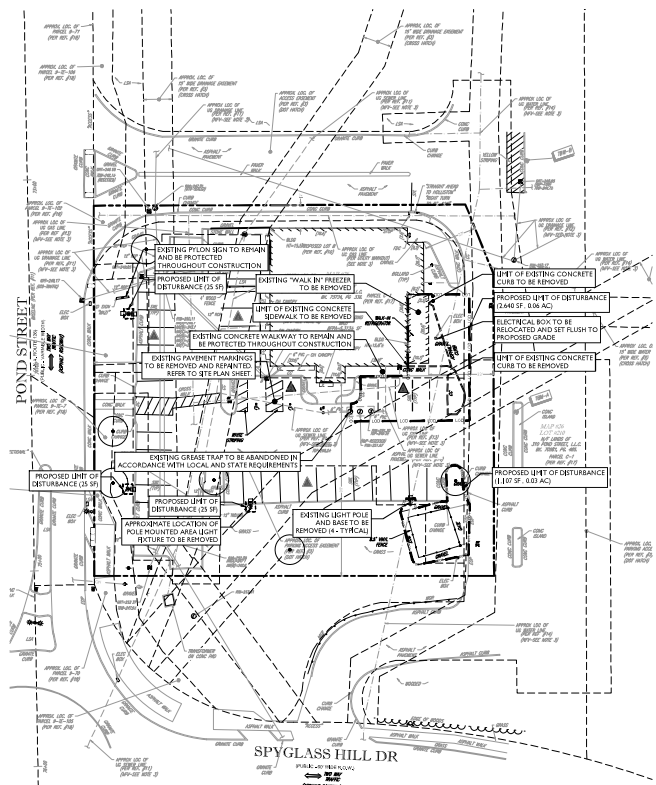
30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE REQUIREMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHOD OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WITHIN GOVERNMENT JURISDICTION. BEFORE THE START OF ANY DEMOLITION PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICE.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUFFICIENT MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SATISFACTORY CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTEWATER GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.

ALL SITE FEATURES ON THIS PLAN ARE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

SYMBOL	DESCRIPTION
	FEATURE TO BE REMOVED / DEMOLISHED
	LIMIT OF DISTURBANCE



DEMOLITION PLAN SHEET

30' 0' 30' 60'
GRAPHIC SCALE IN FEET
1" = 30'

ISSUE	DATE	BY	DESCRIPTION
05	01/12/2024	JV	REMOVED PER PLANNING BOARD COMMENTS
04	07/07/2024	AB	REMOVED TRASH ENCLOSURE LOCATION
03	01/08/2024	JV	REMOVED LANDSCAPING PLAN
02	03/10/2024	JV	ISSUED FOR MUNICIPAL REVIEW/REVISION
01	08/19/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone: 617.293.2076

SITE IMPROVEMENT PLAN

CHASE BANK
PROPOSED BANK

PROPERTY ID: 242709-00090
TOWN OF ASTLAND
MIDDLESEX COUNTY, MASSACHUSETTS

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: 805-210013
TITLE: EXISTING CONDITIONS & DEMOLITION PLAN
DRAWING: **C-2**

LAND USE AND ZONING			
HIGHWAY COMMERCE (CH) - FOND STREET MIXED USE OVERLAY DISTRICT (FSMUD)			
PROPOSED USE	PERMITTED USE	REQUIRED	PROPOSED
SMALL FINANCIAL INDUSTRY	PERMITTED USE		
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	30,000 SF (0.45 AC)	28,732 SF (0.42 AC)	NO CHANGE
MINIMUM LOT FRONTAGE (F)	150 FT	139.3 FT	NO CHANGE
MINIMUM FRONT YARD SETBACK (Y)	N/A	18 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK (S)	10 FT	11.8 FT	NO CHANGE
MINIMUM REAR YARD SETBACK (R)	11 FT	35.5 FT	NO CHANGE
MINIMUM BUILDING HEIGHT	5 STOREYS	15.5 FT	NO CHANGE

(F) ANY DEVELOPMENT PROPOSED UNDER THE FSMUD BYLAW IS NOT SUBJECT TO THE REGULATIONS OF THE UNDERLYING ZONING DISTRICT

SIGNAGE REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
15.3.3	SIGN CONSTRUCTION REQUIREMENTS ALL WALL SIGNS REQUIRE A REMOVABLE BACKING ALL SIGNS SHALL BE MOUNTED IN GOOD REPAIR	COMPLIES
15.3.7	MAXIMUM SIGN REQUIREMENTS FOR SIGNS TO BE LOCATED AT BUILDING ENTRANCE SECONDARY SIGNS ARE 50% OF MAXIMUM SIGN AREA	DOES NOT COMPLY
15.3.8	NO SIGNS SHALL BE PLACED IN A REQUIRED SIDE OR REAR YARD SIGNS SHALL NOT EXCEED THE HEIGHT OF THE BUILDING	COMPLIES
15.3.9	MINIMUM SIGN AREA 7.5% PER FT ² OF LOT FRONTAGE (2.5 PER FT ² OF SIGN AREA)	COMPLIES 10.5%
15.3.14(i)	WALL SIGN REQUIREMENTS MAXIMUM NUMBER OF SIGN AREAS LESS THAN 50% OF WALL AREA	3 SIGN (W)
15.3.14(j)	PULLEST AND SIGN REQUIREMENTS MAXIMUM AREA OF SIGN MAXIMUM HEIGHT 30 FT	58 SF 17 FT

(W) WAIVER

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
15.1.1	REQUIRED PARKING SPACE PER EMPLOYEE (1 SPACE PER EMPLOYEE X 4,000 SF = 31 SPACES) (1 SPACE PER EMPLOYEE X 5 EMPLOYEES = 5 SPACES)	38 SPACES

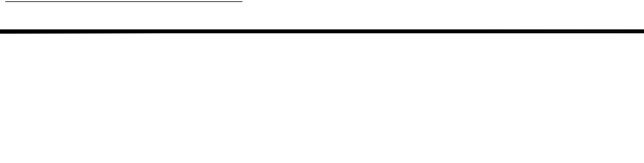
SYMBOL DESCRIPTION

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED SIGN
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED AREA LIGHT
	PROPOSED BUILDING DOORS

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY AND RECONCILE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS LAYOUT ETC) PRIOR TO INITIATING THE IMPROVEMENTS WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDUSTRY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY, INSURANCE AND LIMITS OF CONSEQUENTIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THE PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE PERMITS AND METHODS OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK, WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET AT ALL IMPROVEMENTS TO THE MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE LOCATION OF WORK.
7. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PROTECT DATA AND OTHER REQUIRED SUBMITTALS FOR REVIEW, STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REQUESTED WITHIN THE PLAN SET.
8. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. THE CONTRACTOR IS REQUIRED TO RESTORE ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING ORDINANCES AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET CLOSING PERMITS.
9. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY SUPERVISOR TO BE ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
10. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THE PLAN SET.

SITE PLAN SHEET



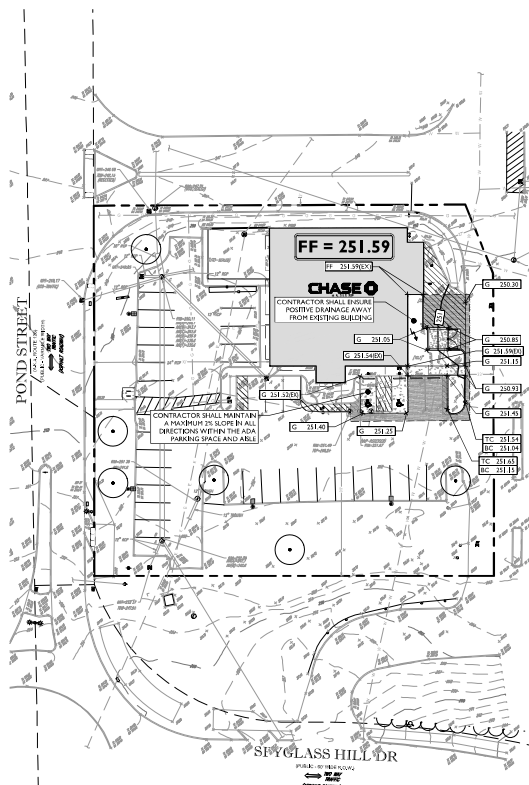
GRADING NOTES

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DEPOSITED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DECONTAMINATION PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DEPOSITOR OF DEWATERED GROUNDWATER. ALL SOIL BROUGHT TO THE SITE SHALL BE CERTIFIED CLEAN FILL CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHIELDING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE FINISHING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL VERIFY ALL STAMPOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC FOR REVIEW AND APPROVAL PRIOR TO POURING CONCRETE.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADES IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AGENCY REGULATIONS.
5. MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.5%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET FOR PROJECTS WHERE BASEMENT IS PROPOSED. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA. SPECIAL CONSTRUCTION METHODS SHALL BE USED TO PREVENT WATER INTRUSION INTO THE PUBLIC STEAM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STEAM SEWER SYSTEM AUTHORITY.

ADA NOTES

1. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACE AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SEWAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GOVERNMENT.
3. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 1.00% RUNNING SLOPE AND A MAXIMUM OF 1.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO INSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE BUT ARE NOT LIMITED TO THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALKWAY AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 48 INCHES BY 48 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MINIMUM 0.33% RUNNING SLOPE AND A MAXIMUM 1.00% CROSS SLOPE ON ANY CURB RAMP ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLEAMS SHALL NOT HAVE A SLOPE GREATER THAN 1:60. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, CURB RAMP FLEAMS SHALL NOT HAVE A SLOPE GREATER THAN 0.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP, CURB RAMP FLEAMS SHALL NOT BE MORE THAN 4 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMP WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT BE MORE THAN 30 IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RISES. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A 1/8" SUBSTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL INSURE THAT THE TOP 1/2" INCH CHANGE IN LEVEL IS BEVELLED WITH A SLOPE NOT STEEPER THAN 1:10 VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
9. THE CONTRACTOR SHALL INSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.

SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADE SPOT
	PROPOSED TOP OF CURB
	PROPOSED FLUSH CURB SPOT



GRADING PLAN SHEET

NO.	DATE	BY	DESCRIPTION
05	01/23/24	JV	REVISION PER PLANNING BOARD COMMENTS
04	01/07/24	AB	REVISION TASTI ENCLOSURE LOCATION
03	01/08/24	JV	REVISION LANDSCAPING PLAN
02	10/12/23	JV	ISSUED FOR MUNICIPAL REVIEW/REVISION
01	10/19/23	JV	ISSUED FOR MUNICIPAL SUBMISSION
			ISSUE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone: 617.293.2076

SITE IMPROVEMENT PLAN

CHASE
PROPOSED BANK

PROPERTY ID: 2420940000
PROJECT ID: 2420940000
TOWN OF ASHLAND
WINDHAM COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 59716
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: 2420940000

TITLE: SITE & GRADING PLAN

DRAWING: C-3

PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	2	EVOLVE COMPACT (EACL) AREA LIGHT - 120 WATTS 4K	ASYMMETRIC WIDE (TYPE B)	0.90	GE CURRENT	EACL01_E3AM740_...E15EA GABU-RECHES
	B	2	EVOLVE COMPACT (EACL) AREA LIGHT - 120 WATTS 4K	ASYMMETRIC FORWARD (TYPE IV)	0.90	GE CURRENT	EACL01_E3AM740_...H15EAC MABU-RECHES
	C	8	CLITE CUTOFF LED WALL PACK	DOWNLIGHT	0.90	CLITE	CLITE400C-16-19-2018
	D	4	LANTERNA 900 LED WALL MOUNTED CYLINDER	DOWNLIGHT	0.90	COOPER LIGHTING	900A/900W/90-LED/900-19V-14J NY (LUS)



STANDARD CHASE BANK ATM / AHD REQUIREMENTS		
REQUIREMENT	REQUIRED	PROPOSED
MINIMUM 10 FOOT CANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	17.1	17.1
MINIMUM 3 FOOT CANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE	3.0	3.0
MINIMUM 3 FOOT CANDLES AT FACE OF FRONT DOOR EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS MEASURED 36" ABOVE GRADE WITHIN PATH OF ACCESS	2.0	2.0

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DIRECTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE LIGHTING LEVELS DIRECTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED OTHERWISE WITHIN THE PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT SHIELDING DEPENDS (LED): 0.90
 - HIGH REFLECTIVE SURFACE: 0.70
 - METAL HAZARD: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING PRIOR TO THE START OF CONSTRUCTION OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICES TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

SYMBOL

A (XXX)

XX

DESCRIPTION

PROPOSED CALCULATION AREA (PROUNTING HEIGHT)

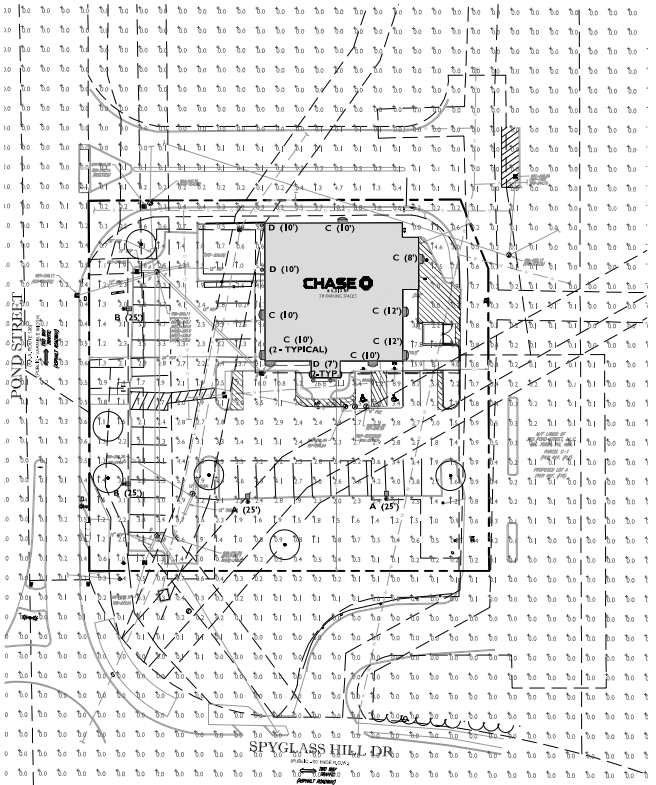
PROPOSED LIGHTING FIXTURE (PROUNTING HEIGHT)

PROPOSED LIGHTING INTENSITY (FOOT-CANDLES)

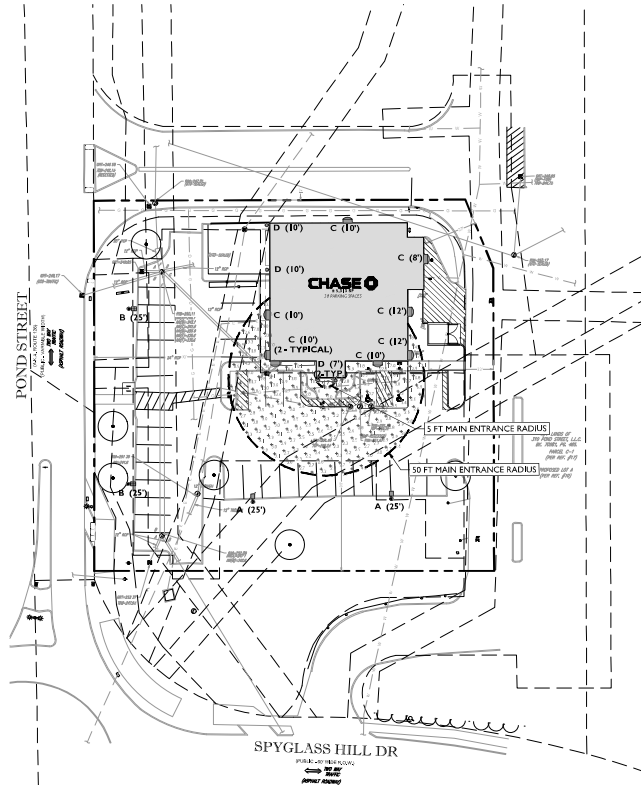
PROPOSED BUILDING MOUNTED LIGHT

PROPOSED CANOPY LIGHT

PROPOSED POLE MOUNTED LIGHT



LIGHTING ANALYSIS AT GRADE



LIGHTING ANALYSIS AT 36" ABOVE GRADE



NO.	DATE	ISSUE	DESCRIPTION
05	01/13/2024	IV	REVISION PER PLANNING BOARD COMMENTS
04	01/07/2024	AB	REVISION TASTI ENCLOSURE LOCATION
03	01/08/2024	IV	REVISION LANDSCAPING PLAN
02	10/13/2023	IV	ISSUED FOR MUNICIPAL REVIEW/REVISION
01	10/18/2023	IV	ISSUED FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefielddesign.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone: 617.293.2076

SITE IMPROVEMENT PLAN

CHASE
PROPOSED BANK

PROPERTY ID: 262-09-00000
TOWN OF ASHLAND
PULASKI COUNTY, MASSACHUSETTS

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 53716
LICENSED PROFESSIONAL ENGINEER

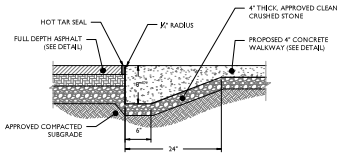
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: 805-210013
TITLE:

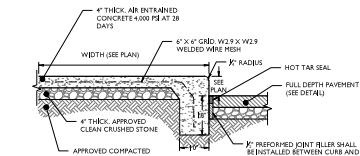
LIGHTING PLAN

DRAWING:

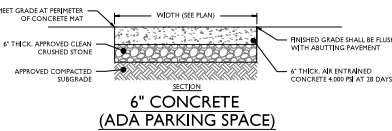
C-4



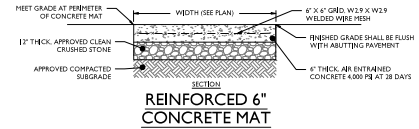
CONCRETE WALKWAY TO ASPHALT TRANSITION DETAIL
NOT TO SCALE



MONOLITHIC CONCRETE CURB DETAIL
NOT TO SCALE



6" CONCRETE (ADA PARKING SPACE)
NOT TO SCALE

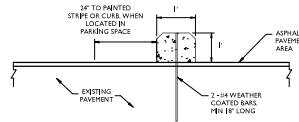


REINFORCED 6" CONCRETE MAT
NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-POLYMERIZED BUTYRATED JOINT FILLER RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.

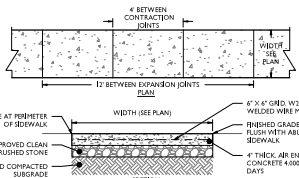
- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-POLYMERIZED BUTYRATED JOINT FILLER RECESSED 1/2" FROM THE SURFACE.
 2. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 8' INTERVALS.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 1/2" CHAMFER.

- NOTES:
1. 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-POLYMERIZED BUTYRATED JOINT FILLER RECESSED 1/2" FROM THE SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 2. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 8' INTERVALS.
 3. CONCRETE SHALL RECEIVE BROOM FINISH.
 4. ALL EXPOSED CORNERS TO HAVE 1/2" CHAMFER.



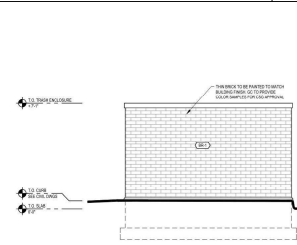
CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

- NOTES:
1. ON CONCRETE PAVEMENT, SECURE WHEEL STOP WITH EPOXY BONDING AGENT.
 2. WHEEL STOP SHALL BE 4' LONG.
 3. WHEEL STOP SHALL BE PREFABRICATED CONCRETE.

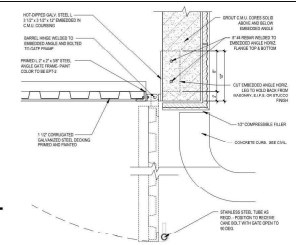


REINFORCED CONCRETE WALKWAY DETAIL
NOT TO SCALE

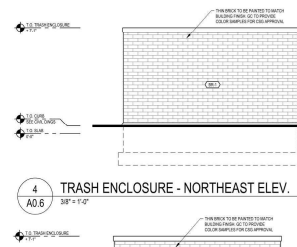
- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-POLYMERIZED BUTYRATED JOINT FILLER RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. SURROUNDING JOINTS SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



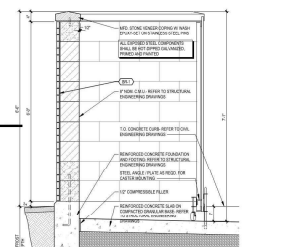
TRASH ENCLOSURE - NORTHWEST ELEV.
3'8" x 4'0"



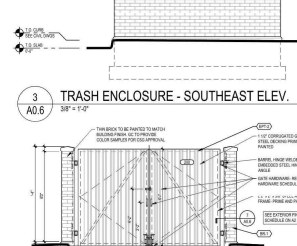
TRASH ENCLOSURE - CORNER DETAIL
3'8" x 4'0"



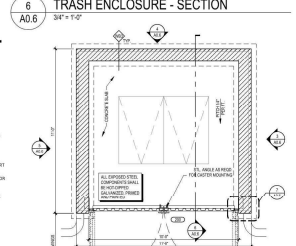
TRASH ENCLOSURE - NORTHEAST ELEV.
3'8" x 4'0"



TRASH ENCLOSURE - SECTION
3'8" x 4'0"



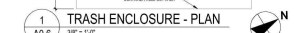
TRASH ENCLOSURE - SOUTHEAST ELEV.
3'8" x 4'0"



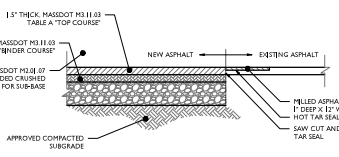
TRASH ENCLOSURE - SOUTHWEST ELEV.
3'8" x 4'0"



TRASH ENCLOSURE - PLAN
3'8" x 4'0"

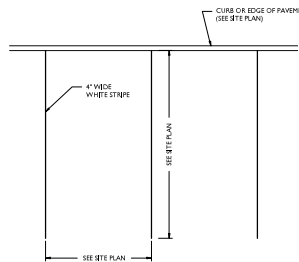


TRASH ENCLOSURE - PLAN
3'8" x 4'0"



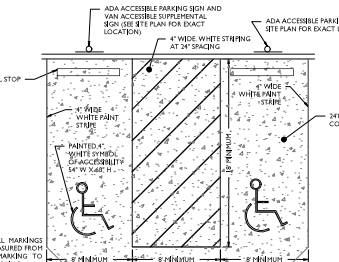
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

- NOTE:
1. HMA PAVEMENT SHALL CONFORM TO STOUTINGTON DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.



PARKING STALL MARKINGS
NOT TO SCALE

- PAVEMENT STRIPING & MARKINGS NOTES:
1. ALL STRIPING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
 2. ALL PROPOSED STRIPING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
 4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
 5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, REE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, DO NOT ENTER BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.



ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

- NOTE:
1. PARKING STALL MARKINGS ARE TO BE PROVIDED FROM CENTER OF MARKING TO CENTER OF MARKING.

ISSUE	DATE	BY	DESCRIPTION
05	01/13/2024	AB	REVISION PER PLANNING BOARD COMMENTS
04	07/07/2024	AB	REVISION TRASH ENCLOSURE LOCATION
03	01/08/2024	AB	REVISION LANDSCAPING PLAN
02	01/08/2024	JV	ISSUED FOR MUNICIPAL REVIEW/REVISION
01	10/10/2023	JV	ISSUED FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Rutherford, NJ • New York, NY • Salem, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

120 Washington Street, Suite 201, Salem, MA 01970
Phone: 617.293.2076

SITE IMPROVEMENT PLAN

CHASE
PROPOSED BANK

PROPERTY ID: 242-09-04-00-00
TOWN OF ASHLAND
PUBESQUE COUNTY, MASSACHUSETTS

STONEFIELD
engineering & design

JOSHUA H. KLINE, P.E.
MASSACHUSETTS LICENSE NO. 59716
LICENSED PROFESSIONAL ENGINEER

SCALE: AS SHOWN PROJECT ID: 805-33003
TITLE: CONSTRUCTION DETAILS
DRAWING: C-7

