

ZONING SUMMARY CHART
RAIL TRANSIT DISTRICT (RTD)'B, D & E' &
PHOTOVOLTAIC INSTALLATIONS OVERLAY DISTRICT (PIOD)

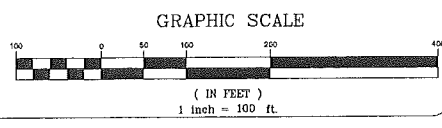
ITEM	REQUIRED	PROPOSED
FRONT YARD SETBACK (MIN)	10'	134'
SIDE YARD SETBACK (MIN)	15'	1095'
REAR YARD SETBACK (MIN)	25'	**NA

* SETBACKS BASED ON PIOD SECTION 8.3.7 OF THE ASHLAND ZONING BY-LAW.
** REAR YARD SET BACK NOT APPLICABLE DUE TO THE SOLAR SYSTEM BEING BORDERED ON THE NORTHERN AND SOUTHERN SIDES BY EXISTING ROADWAYS (MEGUNKO RD AND MBTA ACCESS RD)

LEGEND:

PROPERTY LINE	—
WETLAND	~~~~~
WETLAND BUFFER 25'	~~~~~
WETLAND BUFFER 50'	~~~~~
WETLAND BUFFER 100'	~~~~~
EQUIPMENT PAD	▭
EXISTING LANDFILL VENT WITH 10' BUFFER	⊙
FULL SIZE SOLAR PANEL	▭
HALF SIZE SOLAR PANEL	▭

NOTES:
ARRAY 1: 606 STRINGS
ARRAY 2: 203 STRINGS
ARRAY 3: 152 STRINGS



REV	DATE	DESCRIPTION

APPLICANT/OWNER:
CITIZENS ENERGY CORPORATION
88 BLACK FLACON AVENUE
CENTER LOBBY, SUITE 243
BOSTON, MA 02210

PROJECT:
SOLAR ARRAY
ASHLAND, MA

PROJECT NO. 2356-01 DATE: 08-16-2017
SCALE: 1" = 100' DWG. NAME: C2356-01 LINEWORK
DESIGNED BY: SMW CHECKED BY: PLC

PREPARED BY:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com

10 MAIN STREET
LAKEVILLE, MA 02847-1674
TEL: (508) 928-1010
FAX: (508) 928-6309

WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

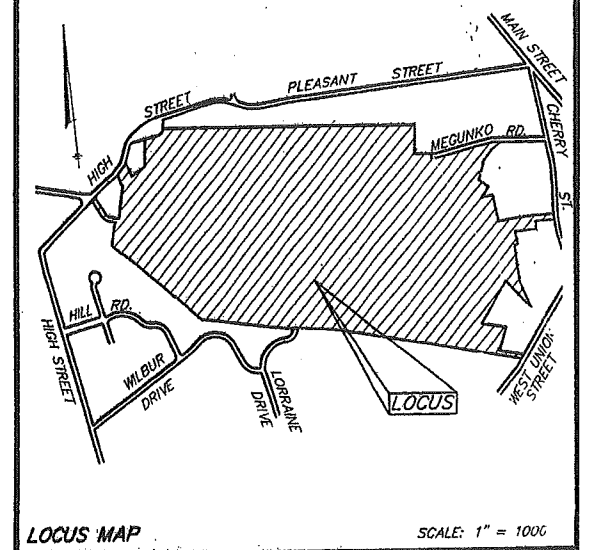
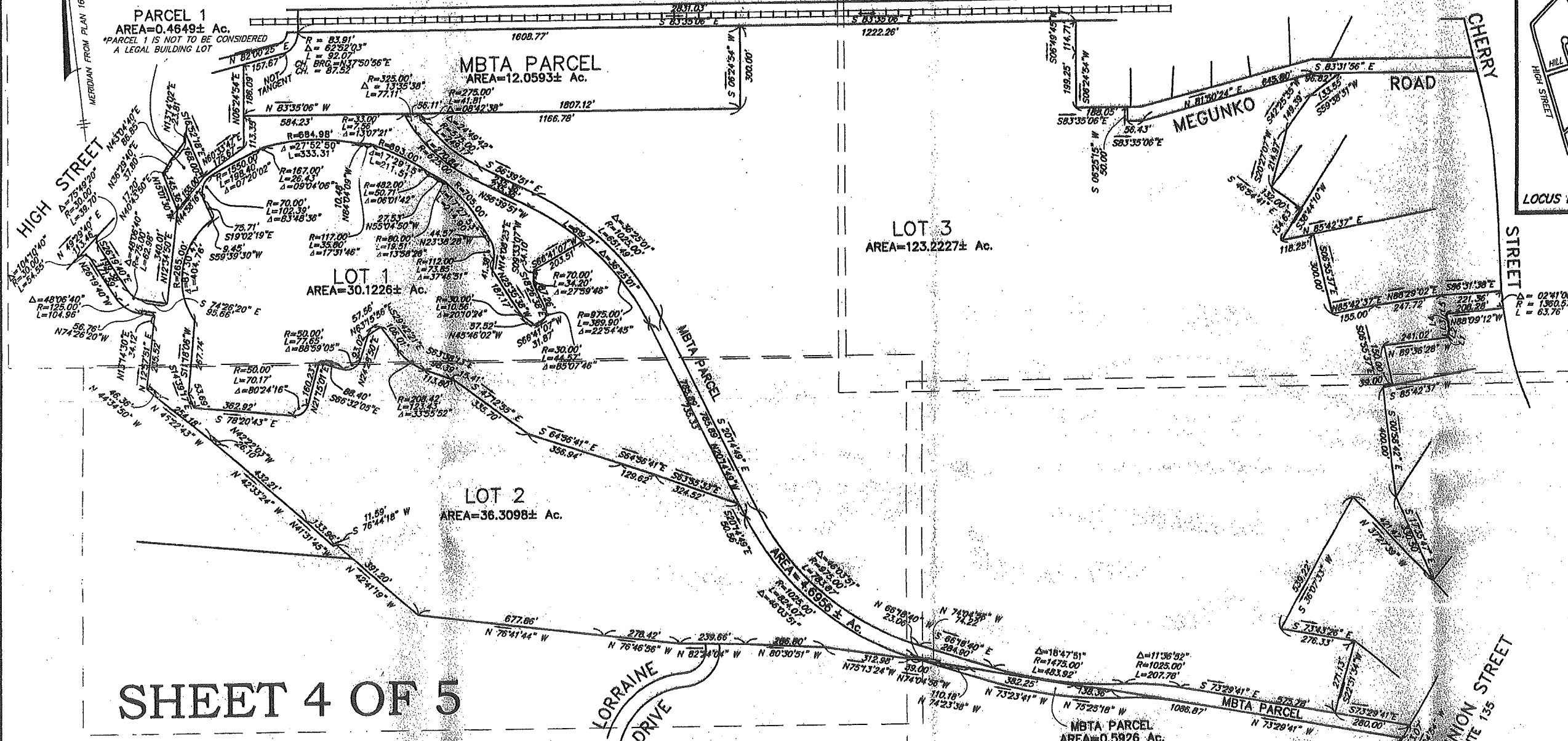
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENT/CLIENTS REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS ON MAGNETIC MEDIA FOR HIS/HER INFORMATION AND USE FOR SPECIFIC APPLICATION TO THIS PROJECT. DUE TO THE POTENTIAL THAT THE MAGNETIC INFORMATION MAY BE MODIFIED UNINTENTIONALLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORITY ON THE MAGNETIC MEDIA. PRINTED REPRESENTATIONS OF THE DRAWINGS AND SPECIFICATIONS ISSUED SHALL BE THE ONLY RECORD COPIES OF ALLEN & MAJOR ASSOCIATES, INC.'S WORK PRODUCT.

DRAWING TITLE:
CONCEPTUAL GROUND MOUNT SOLAR FARM

SHEET No.
C-1

SHEET 2 OF 5

SHEET 3 OF 5



- NOTES:**
- 1) LOTS 1 AND 2 SHOWN HEREON HAVE FRONTAGE ON THE MBTA ROADWAY SHOWN HEREON AS MBTA PARCELS A, B, C AND D.
 - 2) TAKINGS BY MBTA SHOWN HEREON AS "MBTA PARCEL X" AND EASEMENTS SHOWN AS "EASEMENT PARCEL A-XX" WERE CREATED VIA AN EMINENT DOMAIN FEE AND EASEMENT TAKING RECORDED AS DEED BOOK 31919, PAGE 503. SAID TAKING WAS FILED AT THE LAND COURT AS DOCUMENT #1152264 AND NOT REGISTERED VIA SUBDIVISION PLAN.
 - 3) BUILDINGS, PAVEMENT, WOOD ROADS, TRAILS AND EDGE OF WATER SHOWN HEREON WAS OBTAINED FROM PHOTOGRAMMETRIC METHODS BY COL-EAST, INC. FROM PHOTOGRAPHS TAKEN ON NOV 29, 2000 AND MEET NATIONAL MAP ACCURACY STANDARDS.
 - 4) LIMITS OF BORDERING VEGETATED WETLANDS SHOWN HEREON WERE DELINEATED BY OTHERS AND FIELD LOCATED BETWEEN DECEMBER 2000 AND JANUARY 2001.
 - 5) NO UNDERGROUND UTILITIES WERE PART OF THIS SURVEY.
 - 6) PORTIONS OF VARIOUS WOOD ROADS SHOWN HEREON MAY NO LONGER EXIST DUE TO THE CONSTRUCTION WITHIN THE MBTA PARCELS.
 - 7) PARCEL 1 SHOWN HEREON IS NOT TO BE CONSIDERED A LEGAL BUILDING LOT.
 - 8) INGRESS AND EGRESS FROM THE RAIL TRANSIT DISTRICT TO HIGH STREET (EXCEPT FOR EMERGENCY INGRESS AND EGRESS) IS PROHIBITED PURSUANT TO THE TERMS OF A CERTAIN COVENANT DATED JUNE 20, 2000 GRANTED BY THE PROPERTY OWNERS TO THE TOWN OF ASHLAND WHICH COVENANT WAS RECORDED WITH THE MIDDLESEX (SOUTHERN DISTRICT) REGISTRY OF DEEDS ON JUNE 20, 2000 AS INSTRUMENT NO. 508.

- REFERENCES:**
- | | |
|--|-------------------|
| DEED BOOK 17726 PAGE 42-49 | PLAN 1911 OF 1986 |
| DEED BOOK 16025 PAGE 1 | PLAN 165 OF 1981 |
| DEED BOOK 17314 PAGE 117 | PLAN 984 OF 1986 |
| DEED BOOK 14220 PAGE 507 | PLAN 258 OF 1983 |
| DEED BOOK 14217 PAGE 430 | PLAN 153 OF 1997 |
| DEED BOOK 25599 PAGE 526 | PLAN 1107 OF 1979 |
| DEED BOOK 31781, PAGE 569 | PLAN 548 OF 1978 |
| DEED BOOK 31919, PAGE 503 | PLAN 464 OF 1977 |
| (DOCUMENT # 1152264) (MBTA TAKING) | PLAN 164 OF 1978 |
| DEED BOOK 33048, PAGE 66 | PLAN 162 OF 1991 |
| | PLAN 1139 OF 2000 |
| CERT. # 162660 | L.C.C. # 6654I |
| CERT. # 178890 | L.C.C. # 6654J |
| CERT. # 203006 | L.C.C. # 6654G |
| L.C.C. 6654-S-2002-10 (DEREGISTRATION) | |

- LEGEND**
- | | |
|----------|--------------------------------------|
| DH | DRILL HOLE |
| DHCB | DRILL HOLE CONCRETE BOUND |
| DHSB | DRILL HOLE STONE BOUND |
| CTR. BK. | CENTER BACK |
| SB | STONE BOUND |
| (FD) | FOUND |
| --- | LIMIT OF BORDERING VEGETATED WETLAND |
| --- | STONE WALL |
| --- | EDGE OF WATER |
| --- | EDGE OF PAVEMENT |

SHEET 4 OF 5

SHEET 5 OF 5

MBTA EASEMENT TABLE

PARCEL #	OWNER	EASEMENT	AREA	PARCEL #	OWNER	EASEMENT	AREA	PARCEL #	OWNER	EASEMENT	AREA
A-16	ROBERT E. GAYNER	PERMANENT SLOPE EASEMENT	24,755± S.F.	A-22	HILLTOP REAL ESTATE TRUST	PERMANENT DRAINAGE EASEMENT	2,201± S.F.	A-27	RICHMOND DEVELOPMENT CORP.	PERMANENT SLOPE & DRAINAGE EASEMENT	2,853± S.F.
A-17	ROBERT E. GAYNER	PERMANENT SLOPE & DRAINAGE EASEMENT	23,153± S.F.	A-23	HILLTOP REAL ESTATE TRUST	PERMANENT DRAINAGE EASEMENT	707± S.F.	A-29	RICHMOND DEVELOPMENT CORP.	PERMANENT SLOPE & DRAINAGE EASEMENT	2,907± S.F.
A-18	ROBERT E. GAYNER	PERMANENT WETLAND EASEMENT	87,587± S.F.	A-24	HILLTOP REAL ESTATE TRUST	PERMANENT DRAINAGE EASEMENT	3,524 S.F.	A-30	RICHMOND DEVELOPMENT CORP.	PERMANENT SLOPE EASEMENT	13,305± S.F.
A-19	ROBERT E. GAYNER	PERMANENT SLOPE & DRAINAGE EASEMENT	21,371± S.F.	A-25	HILLTOP REAL ESTATE TRUST	PERMANENT SLOPE & DRAINAGE EASEMENT	27,367± S.F.	A-31	RICHMOND DEVELOPMENT CORP.	PERMANENT SLOPE & DRAINAGE EASEMENT	5,380± S.F.
A-20	ROBERT E. GAYNER	PERMANENT DRAINAGE EASEMENT	1,010± S.F.	A-26	HILLTOP REAL ESTATE TRUST	PERMANENT SLOPE & DRAINAGE EASEMENT	11,069± S.F.				
A-21	ROBERT E. GAYNER	PERMANENT SLOPE EASEMENT	18,223± S.F.	A-28	HILLTOP REAL ESTATE TRUST	PERMANENT SLOPE EASEMENT	13,133± S.F.				

ZONING:
RTD - (RAIL TRANSIT DISTRICT)

ASSESSORS:
MAP 8 BLOCK B LOTS 2,5,20,20,3A,3B, 6,6A,8M,7,7A,7B,8,8C-F,9I-L,9,9A,9B,9E, 9D,8B-1,8C1

RECORD OWNERS:
ROBERT A. GAYNER
M.C.L. DEVELOPMENT CORPORATION
HILLTOP REAL ESTATE TRUST
MASSACHUSETTS BAY TRANSPORTATION AUTHORITY

AREA TABLE:

LOT #	OWNER	PARCEL #	AREA	
LOT 1	ROBERT A. GAYNER	PARCEL 1C	1,495± Ac.	
		PARCEL 1D	10,747± Ac.	
		PARCEL 1F-1	1,048± Ac.	
		PARCEL 1F-2	0,158± Ac.	
		PARCEL 1G	6,188± Ac.	
		HILLTOP REAL ESTATE TRUST		
		PARCEL 1A	7,891± Ac.	
		PARCEL 1B	2,128± Ac.	
		PARCEL 1E	0,464± Ac.	
		TOTAL AREA LOT 1 = 30,1226± Ac.		
LOT 2	HILLTOP REAL ESTATE TRUST	PARCEL 2A	11,957± Ac.	
		PARCEL 2B	17,493± Ac.	
		PARCEL 2E	0,332± Ac.	
		PARCEL 2I	0,075± Ac.	
		ROBERT A. GAYNER		
		PARCEL 2B	0,802± Ac.	
		PARCEL 2C	1,570± Ac.	
		PARCEL 2F	2,294± Ac.	
		PARCEL 2G	1,186± Ac.	
		PARCEL 2H	0,599± Ac.	
TOTAL AREA LOT 2 = 36,3098± Ac.				
LOT 3	ROBERT A. GAYNER	PARCEL 3A	0,792± Ac.	
		PARCEL 3B	7,210± Ac.	
		PARCEL 3E	8,871± Ac.	
		PARCEL 3F	15,757± Ac.	
		PARCEL 3G	3,268± Ac.	
		PARCEL 3H	4,106± Ac.	
		PARCEL 3K	3,139± Ac.	
		PARCEL 3L	1,100± Ac.	
		PARCEL 3M	0,736± Ac.	
		PARCEL 3N	0,688± Ac.	
HILLTOP REAL ESTATE TRUST	HILLTOP REAL ESTATE TRUST	PARCEL 3C	2,862± Ac.	
		PARCEL 3D	30,145± Ac.	
		M.C.L. DEVELOPMENT CORPORATION		
		PARCEL 3I	3,586± Ac.	
		PARCEL 3J	4,210± Ac.	
		PARCEL 3O	1,000± Ac.	
		PARCEL 3P	5,792± Ac.	
		PARCEL 3Q	2,445± Ac.	
		PARCEL 3R	9,901± Ac.	
		PARCEL 3W	0,745± Ac.	
PARCEL 3X	0,575± Ac.			
TOTAL AREA LOT 3 = 123,2227± Ac.				

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

11603 *William J. Hall*
PROFESSIONAL LAND SURVEYOR

ASHLAND PLANNING BOARD

DATE: _____

PLAN OF LAND
IN
ASHLAND, MA
PREPARED FOR
J.P.I. APARTMENT DEVELOPMENT, INC.

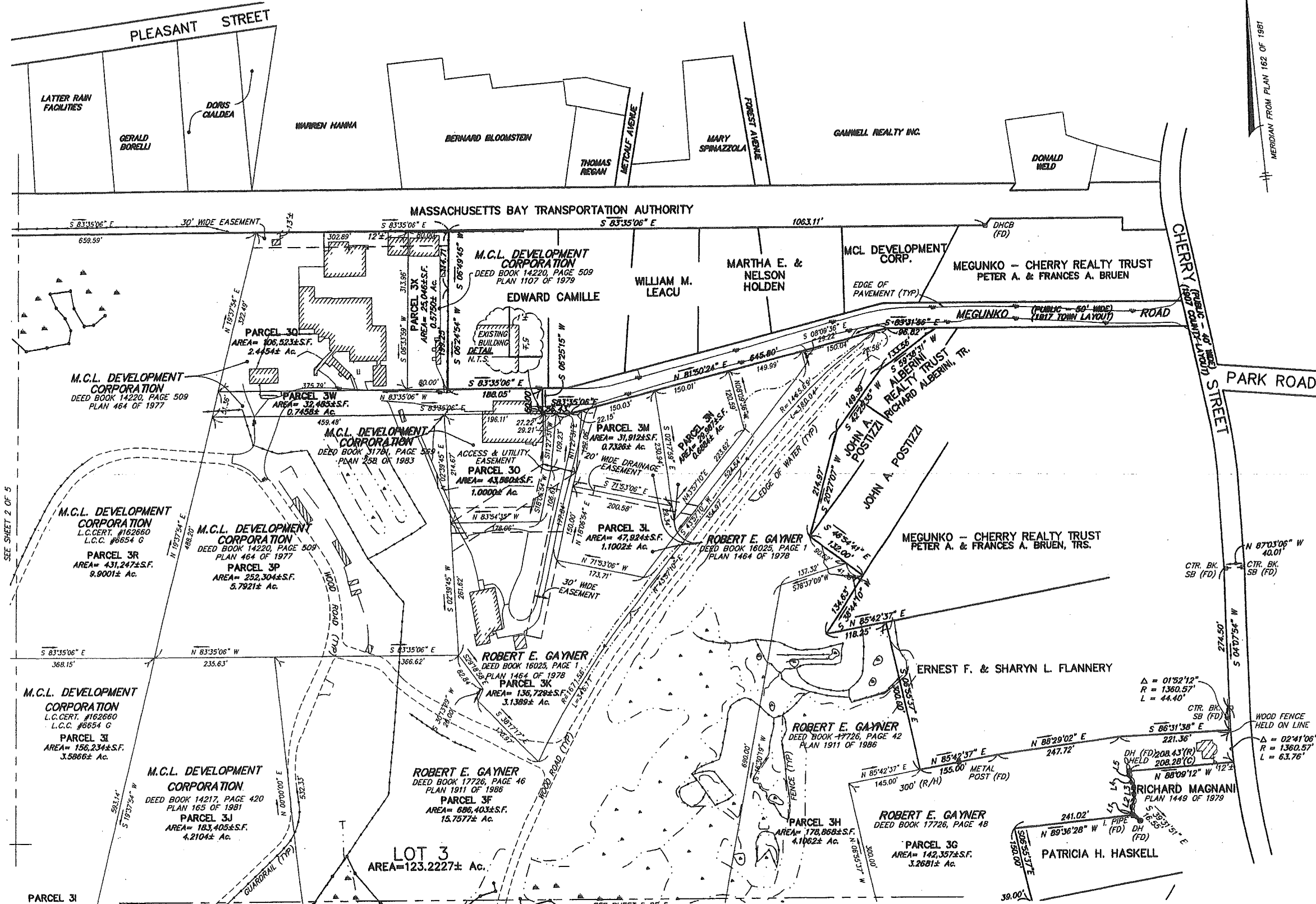
SCALE: 1" = 200'
JANUARY 8, 2003

HSA HANCOCK SURVEY ASSOCIATES, INC.
235 NEWBURY STREET, DANVERS, MASSACHUSETTS 01923
VOICE 978-777-3050 FAX 978-774-7816
www.hancockassociates.com

CHECKED BY: SRJ

SHEET 1 OF 5

7974



MERIDIAN FROM PLAN 162 OF 1981

SEE SHEET 2 OF 5

SEE SHEET 5 OF 5

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

1/8/03
DATE
W. J. J. J.
PROFESSIONAL LAND SURVEYOR

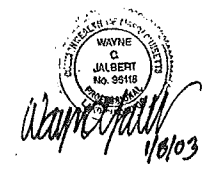
ASHLAND PLANNING BOARD

DATE: _____

LINE TABLE

STONE WALL DIMENSIONS

LINE	DIRECTION	DISTANCE
L1	S 21°40'02" E	10.18'
L2	S 19°10'55" W	26.02'
L3	S 03°33'14" W	25.71'
L4	S 22°53'08" E	12.45'
L5	S 04°39'51" E	15.54'

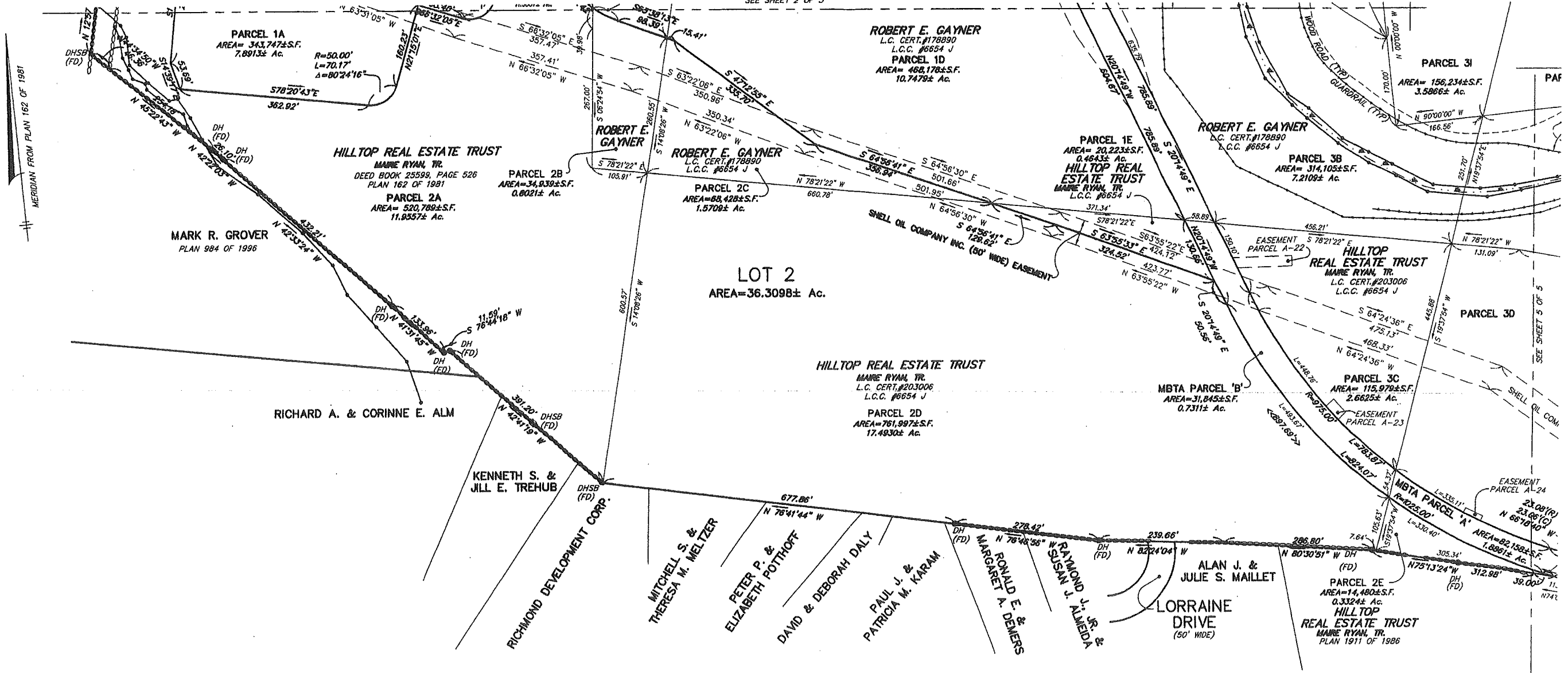


PLAN OF LAND
IN
ASHLAND, MA

PREPARED FOR
J.P.I. APARTMENT DEVELOPMENT, INC.

SCALE: 1" = 100' JANUARY 8, 2003
0 50 100 200 400

HSA HANCOCK SURVEY ASSOCIATES, INC.
235 NEWBURY STREET, DANVERS, MASSACHUSETTS 01923
VOICE 978-777-3050 FAX 978-774-7816
www.hancockassociates.com



FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

1/8/03
 DATE *Wayne J. J. Albert*
 PROFESSIONAL LAND SURVEYOR

ASHLAND PLANNING BOARD

DATE: _____

PLAN OF LAND

IN
ASHLAND, MA

PREPARED FOR
J.P.I. APARTMENT DEVELOPMENT, INC.

SCALE: 1" = 100' JANUARY 8, 2003



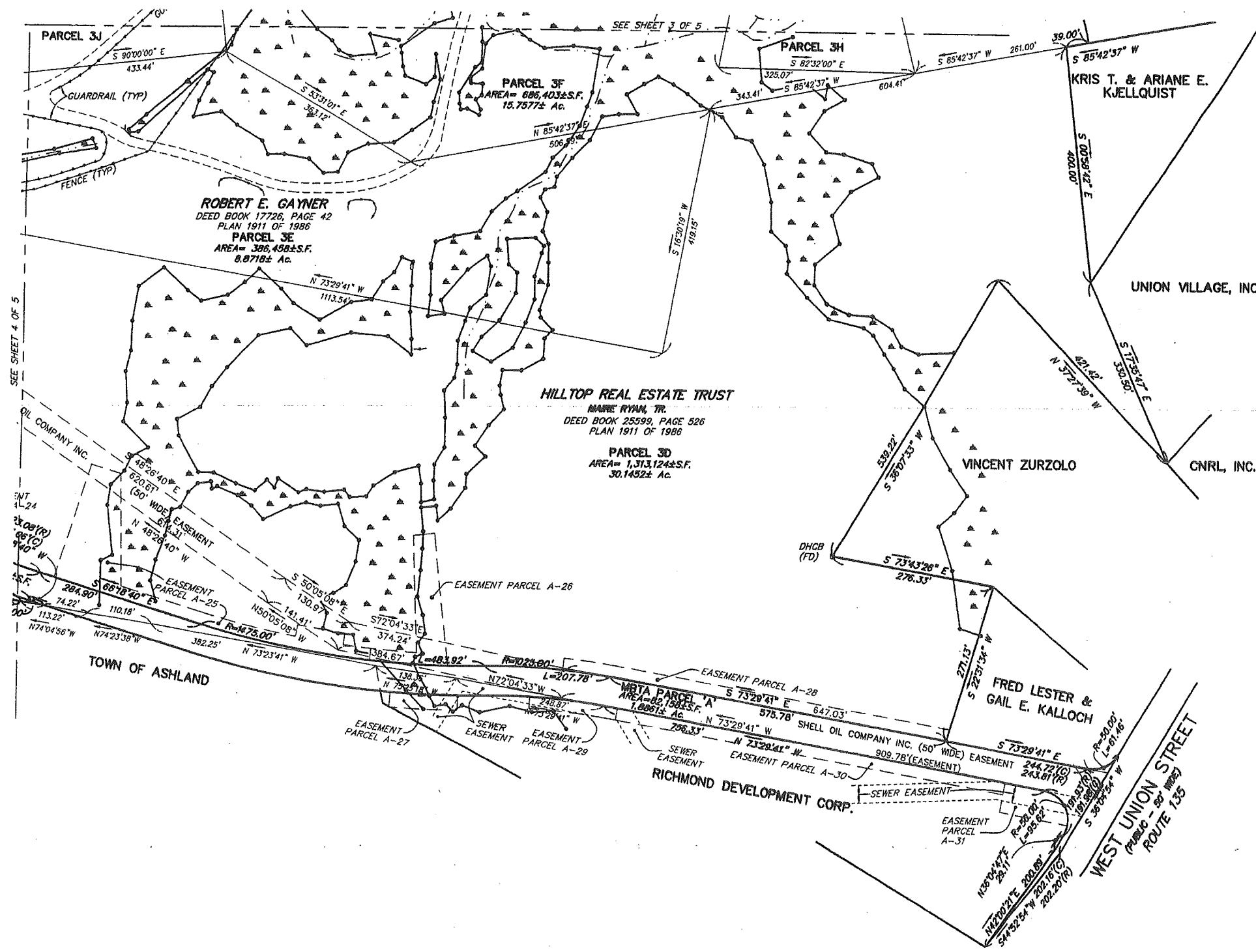
HSA HANCOCK SURVEY ASSOCIATES, INC.
 235 NEWBURY STREET, DANVERS, MASSACHUSETTS 01923
 VOICE 978-777-3050 FAX 978-774-7816
 www.hancockassociates.com



CHECKED BY: *S.R.S.*

SHEET 4 OF 5

7974



MERIDIAN FROM PLAN 162 OF 1981

FOR REGISTRY USE

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

1/8/03
 DATE *Wayne C. Jaldery*
 PROFESSIONAL LAND SURVEYOR

ASHLAND PLANNING BOARD

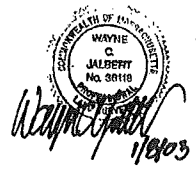
 DATE: _____

PLAN OF LAND
 IN
 ASHLAND, MA

PREPARED FOR
J.P.I. APARTMENT DEVELOPMENT, INC.

SCALE: 1" = 100' JANUARY 8, 2003
 0 50 100 200 400

HSA HANCOCK SURVEY ASSOCIATES, INC.
 235 NEWBURY STREET, DANVERS, MASSACHUSETTS 01923
 VOICE 978-777-3050 FAX 978-774-7816
 www.hancockassociates.com



CHECKED BY: S.R. SHEET 5 OF 5