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2017 DEC 19 AM 9:02

GENERAL NOTES:

- 1) ANY REVISIONS, VERTICAL OR HORIZONTAL, TO THIS PLAN MUST BE APPROVED, IN WRITING, BY THIS OFFICE
- 2) IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING ALL AMENDMENTS, ALL CONTRACTORS, BUILDERS AND DRAIN LAYERS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL "DIG-SAFE" AT 1 888-344-7233
- 3) THIS PLAN INCLUDES SITE FEATURES VISIBLE ON THE DATE OF THE TOPOGRAPHICAL SURVEY IT SHOULD NOT BE CONSIDERED AS A COMPLETE SURVEY OF SUBSURFACE STRUCTURES OR UTILITIES. THE OWNER/CONTRACTOR/ DRAIN LAYER IS RESPONSIBLE FOR IDENTIFYING ANY SUCH FEATURES PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHOULD BE REPORTED TO THE DESIGNER FOR CONSIDERATION PRIOR TO THE START OF CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR ANY COSTS OR DELAYS ASSOCIATED WITH THE EXISTENCE OF SUCH SUBSURFACE FEATURES
- 4) THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE SITE PLAN DIMENSIONS AND BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF THE SITE WORK WHICH MAY BE AFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE, IF NECESSARY
- 5) NO HYDROLOGY AND STORMWATER ANALYSIS WAS UNDERTAKEN AS PART OF THE PREPARATION OF THIS SITE PLAN, CONTRACTOR TO ADHERE TO GOOD ENGINEERING PRACTICES
- 6) ALL GRADING SHALL BE PERFORMED IN A MANNER TO PREVENT ADVERSE IMPACTS TO ADJUTING PROPERTY OWNERS
- 7) THE PROPOSED EROSION CONTROL MEASURES ARE TO BE STAKED IN PLACE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS

UTILITY NOTES:

- 1) ALL SITE WORK SHALL MEET OR EXCEED THE SPECIFICATIONS PREPARED FOR THIS PROJECT AND SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS
- 2) THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING, PROVIDE POSITIVE DRAINAGE FLOW AS REQUIRED
- 3) THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS. THE CONTRACTOR SHALL MAKE ALL NOTIFICATIONS REQUIRED FOR INSPECTIONS OF ELEMENTS OF THE PROPOSED SITE CONSTRUCTION, WHERE NECESSARY
- 4) PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN. ANY DISCREPANCIES NOT ALLOWING PITCH SHALL BE REPORTED TO THE DESIGNER PRIOR TO COMPLETING WORK
- 5) CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES, IF ANY, FROM EXCESSIVE LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES WILL BE RESTORED TO ORIGINAL CONDITION AS SOON AS POSSIBLE
- 6) DURING CONSTRUCTION OF THE INFILTRATION CHAMBER SYSTEM THE OPEN EXCAVATION SHALL BE PROTECTED FROM ON SITE SEDIMENTS FROM STORM RUNOFF. ADDITIONALLY RUNOFF SHALL BE DIRECTED AWAY FROM THE UNDERGROUND SYSTEM WHILE THE EXCAVATION IS OPEN. IN THE EVENT THAT THE EXCAVATION IS COMPROMISED BY SEDIMENT, THE SEDIMENTS SHALL BE REMOVED AND THE BOTTOM OF THE EXCAVATION RESTORED WITH SCARIFICATION. ANY CRUSHED STONE COMPROMISED BY THE INTRODUCTION OF SEDIMENTS SHALL BE REMOVED AND REPLACED.
- 7) NO CONSTRUCTION VEHICLE TRAFFIC IS ALLOWED WITHIN THE RIP RAP INFILTRATION SYSTEM EXCAVATION.
- 8) ALL AREAS DISTURBED BY THE CONTRACTOR BEYOND THE PROJECT LIMITS SHALL BE RESTORED AT NO ADDITIONAL COST TO THE OWNERS

LANDSCAPE NOTES:

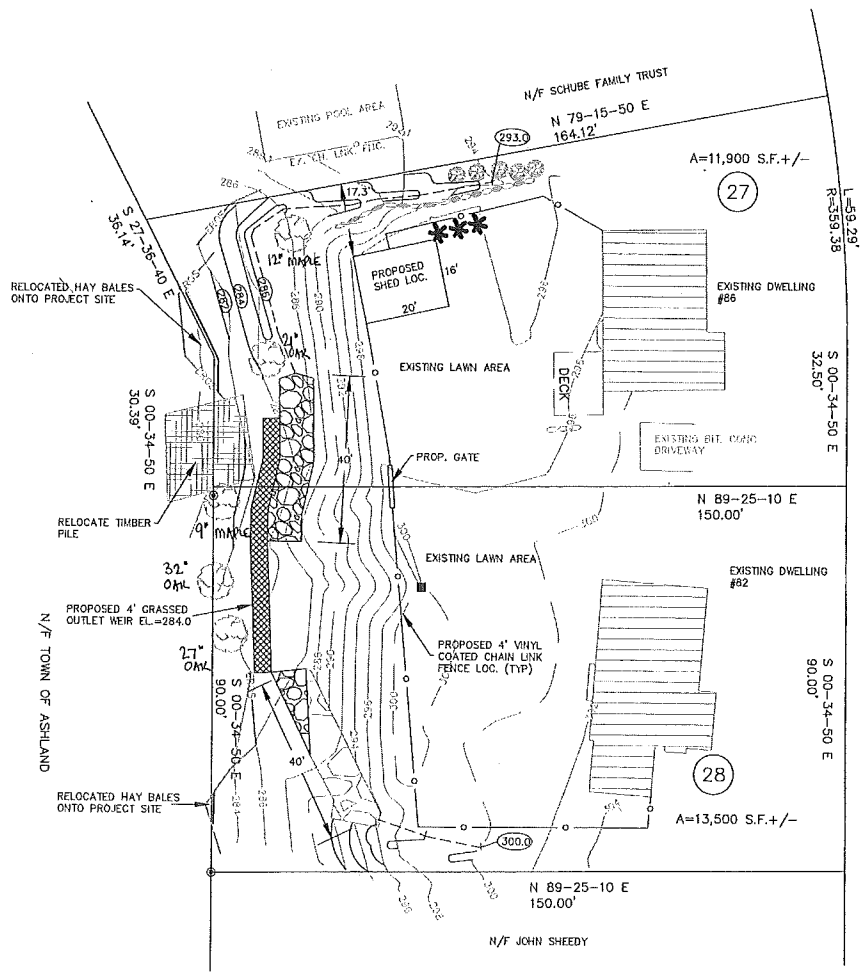
- 1) ALL DISTURBED AREAS ARE TO BE GRADED IN ACCORDANCE WITH THE DESIGN PLANS. INCLUDING TOPSOIL SPREAD TO A MINIMUM DEPTH OF SIX INCHES, AFTER SETTLING, ON ALL SLOPES AND FILLS ARE PROPERLY SEED AND SUBGRADE HAS BEEN APPROVED.
- 2) THE CONTRACTOR SHALL FURNISH TOPSOIL. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL AND PRODUCTIVE TOP SOIL OF GOOD CLAY-LOAM TYPE. IT SHALL BE FREE OF WEED SEEDS, ROOTS, STICK, OR OTHER DELETERIOUS MATERIAL. TOPSOIL SHALL NOT BE APPLIED IN A WET CONDITION
- 3) PROTECT NEW TOPSOIL, GRADED AND OR SEED AREAS FROM TRAFFIC
- 4) REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED OR RUTTED AREAS TO THE SPECIFIED GRADE
- 5) ALL DISTURBED AREAS ARE TO BE LOAMED AND SEED WITH A SEED MIXTURE APPROPRIATE FOR THE SITE CONDITIONS
- 6) GRASSED WEIR TO BE MONITORED AND ANY WASHOUTS REPAIRED AND STABILIZED. ONCE VEGETATION IS ESTABLISHED WEIR IS TO BE MOWED OR NEED WACKED PERIODICALLY TO DISCOURAGE THE GROWTH OF WOODY VEGETATION (MINIMUM TWICE DURING GROWING SEASON)

CONSTRUCTION SEQUENCE:

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
 STAKE LIMITS OF WORK AND INSTALL EROSION AND SEDIMENTATION CONTROL BARRIERS, IN ACCORDANCE WITH DESIGN PLANS
 INSTALL PROPOSED SWALE AT LOCATION SPECIFIED ON DESIGN PLANS
 INSTALL GRASSED SWALE TO SUBGRADE CONDITION TO PROVIDE EMERGENCY SILTATION TRAP IN THE EVENT OF SUDDEN STORM
 INSTALL RIP RAP INFILTRATION AREA AND AREA OUTLET IN ACCORDANCE WITH SITE DESIGNS
 INSTALL CHAIN LINK SAFETY FENCE IN LOCATION SPECIFIED ON DESIGN PLANS
 COMPLETE STABILIZATION ACTIVITIES, PLAN LANDSCAPE MATERIAL PLACEMENT AND REINSTALL STOCKPILED MATERIALS, IF NECESSARY
 REMOVAL OF SOIL EROSION CONTROL MEASURES
 MONITOR SITE CONDITIONS UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH VEGETATION

NOTES:

- 1) PLAN REFERENCES: PLAN #502 OF 1953
- 2) DEED REFERENCES: BOOK 62423 PAGE 374
BOOK 58596 PAGE 439
- 3) PLAN REFERS TO ASHLAND ZONE DISTRICT "RA"



HILDALE ROAD
(PUBLIC 40' WIDE)

ZONING:

DISTRICT: "RA"
 30,000 S.F. MIN. AREA
 150' MIN. FRONTAGE
 40' FRONT YARD SETBACK MIN.
 10' SIDE YARD SETBACK MIN.
 30' REAR YARD SETBACK MIN.

LEGEND:

- (28) LOT NUMBER
- WOODEN HUB SET
- IRON PIPE FOUND
- STONE WALL
- TIMBER STORAGE AREA
- EXISTING STRUCTURE
- EXISTING SHRUB
- EXISTING STONE AREA
- EXISTING DECIDUOUS TREE
- EXISTING CONTOUR ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED SHRUB
- PROPOSED RIP-RAP INFILTRATION
- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR ELEVATION
- PROPOSED GRASS CHANNEL

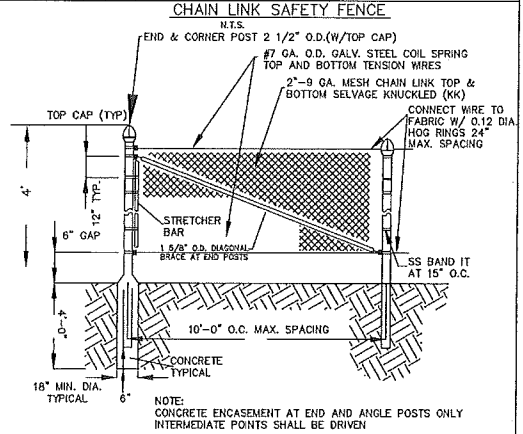
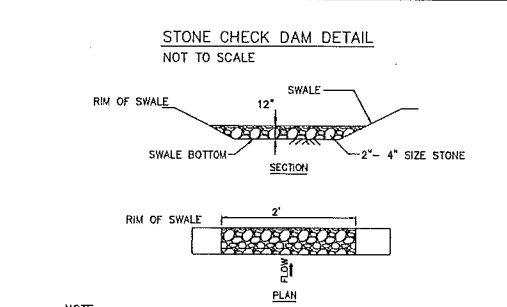
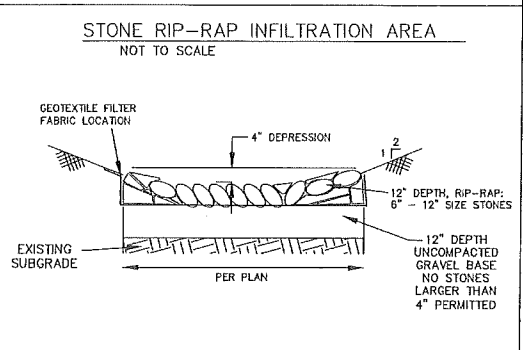
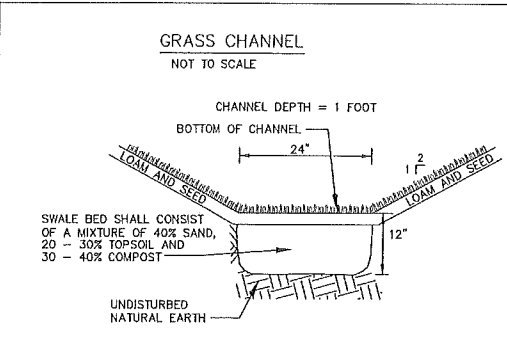
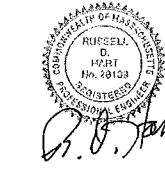
SHEET 1 OF 1 #5916

82-86 HILDALE ROAD
 ASHLAND MA
 PARCEL ID: 09-321 AND 09-3221
 SITE PLAN OF LAND
 PREPARED FOR: RUTH LACROIX
 86 HILDALE ROAD
 ASHLAND MA

J.D. MARQUEDANT & ASSOCIATES INC.
 LAND SURVEYING
 6 WALCOTT STREET HOPKINTON MA
 PHONE: 508-435-4145 FAX: 508-435-0157

SCALE: 1"=20' DATE: OCT. 23, 2017 DRAWN BY: CHECKED BY:

NO.	DATE	DESCRIPTION	BY



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