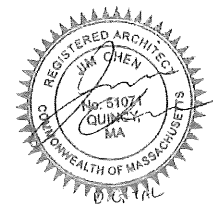




1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

General Notes



STAMPED BY: JIM CHEN, AIA, NCARB

No.	Revision/Issue	Date
5	AREA REVISION	10/30/17
4	HEIGHT REVISION	10/13/17
3	PARKING REVISION	9/21/17
2	PLANS REVISION	8/10/17
1	SETBACK REVISION	8/7/17

Firm Name and Address

730 HANCOCK STREET
QUINCY, MA 02170
TEL: (617) 642-2882
EMAIL: JIM.CHEN5408@GMAIL.COM

Project Name and Address

SINGLE RESIDENCE
NEW CONSTRUCTION
10 WAUSHAKUM AVENUE
ASHLAND, MA 02119

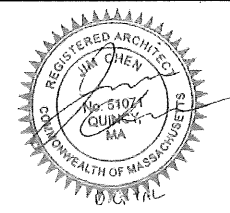
Project	1716	Sheet	A-5
Date	03/01/2017		
Scale	As Noted		

RECEIVED
 NOV 30 2017
 ASHLAND PLANNING



1 PROPOSED RIGHT ELEVATION
1/4" = 1'-0"

General Notes



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No.	Revision/Issue	Date
5	AREA REVISION	10/30/17
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2	PLANS REVISION	8/10/17
1	SETBACK REVISION	8/7/17

Firm Name and Address

730 HANCOCK STREET
QUINCY, MA 02170
TEL: (617) 542-2882
EMAIL: JIM.CHEN5408@GMAIL.COM

Project Name and Address

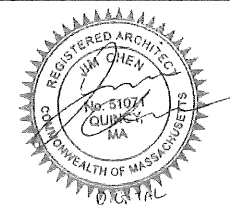
SINGLE
RESIDENCE
NEW CONSTRUCTION
10 WAUSHAKUM AVENUE
ASHLAND, MA 02119

Project	1716	Sheet	A-6
Date	03/01/2017	Scale	
As Noted			



1 PROPOSED LEFT ELEVATION
1/4" = 1'-0"

General Notes



STAMPED BY: JIM CHEN, AIA, NCARB

No.	Revision/Issue	Date
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2	PLANS REVISION	8/10/17
1	SETBACK REVISION	8/7/17

Firm Name and Address

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QUINCY, MA 02170
TEL: (617) 642-2882
EMAIL: JIM.CHEN548@GMAIL.COM

Project Name and Address

SINGLE
RESIDENCE
NEW CONSTRUCTION
10 WAUSHAKUM AVENUE
ASHLAND, MA 02119

Project	1716	Sheet	A-7
Date	03/01/2017	Scale	
As Noted			



1 PROPOSED REAR ELEVATION
1/4" = 1'-0"

General Notes



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No.	Revision/Issue	Date
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Firm Name and Address

730 HANCOCK STREET
QUINCY, MA 02170
TEL: (617) 642-2882
EMAIL: JIM.CHEN548@GMAIL.COM

Project Name and Address

**SINGLE RESIDENCE
NEW CONSTRUCTION**
10 WAUSHAKUM AVENUE
ASHLAND, MA 02119

Project	1716	Sheet	A-8
Date	03/01/2017	Scale	
As Noted			

UNDERGROUND SEWER

WAUSHAKUM AVENUE

UNDERGROUND SEWER

(PUBLIC - 40' WIDE - WAY)

EDGE OF TRAVELLED WAY

23'-15/8"

WATER GATE

45.00'

MASSACHUSETTS COORDINATE
& LAND COURT CASE #42958

30'-0" FRONT YARD SETBACK

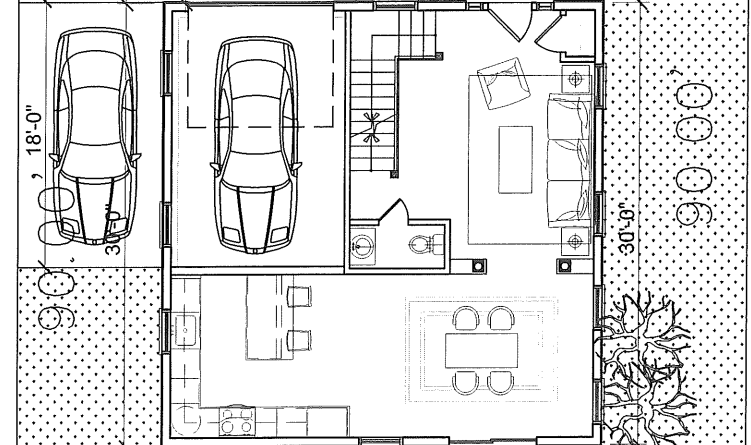
DRIVEWAY ASPHALT PAVEMENT

10'-0" SIDE S.B.

10'-0" SIDE S.B.

LOT 66

LOT 64



HUB

LOT 65
4,500± S.F.

#8
1.5 STORY
W/F

LOT 74

LOT 73

LAND COURT CASE 42958A
LOT 72

FENCE

1 SITE PLAN
3/32" = 1'-0"

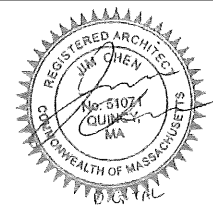
1 STORY

SECTION IV: DIMENSIONAL REGULATIONS	
PROPERTY	10 WAUSHAKUM AVENUE
ZONING DISTRICT:	HIGHWAY COMMERCE CH
PARCEL ID:	014/016.0-0139-0000.0
LOT AREA:	+/- 4,500 SQUARE FEET

ALLOW PRINCIPAL BUILDING OR USE:	SINGLE-FAMILY DWELLING	
	'REQUIRED'	'PROPOSED'
MINIMUM LOT SIZE:	30,000 SQ.FT.	+/- 4,500 SQ.FT.
MINIMUM LOT FRONTAGE:	150 FEET	50 FEET
MINIMUM FRONT YARD SETBACK	30 FEET	30 FEET
MINIMUM SIDE YARD SETBACK	10 FEET	10 FEET
MINIMUM REAR YARD SETBACK	30 FEET	30 FEET
MAX. HEIGHT & STORIES/FT.	3 STORIES/35 FEET	2 STORY/25 FEET - 11.25 INCH
No. OF PARKING SPACE	2 SPACE	2 SPACE

BUILDING AREA		1,537 SQ.FT. LIVING AREA
BASEMENT FLOOR:	671 SQ.FT. (MECHANICAL/STORAGE)	
FIRST FLOOR:	671 SQ.FT.	
SECOND FLOOR:	866 SQ.FT.	
ATTIC FLOOR:	0 SQ.FT. (STORAGE)	

General Notes



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No.	Revision/Issue	Date
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1	SETBACK REVISION	8/7/17

Firm Name and Address

JC ARCHITECT
 730 HANCOCK STREET
 QUINCY, MA 02170
 TEL: (617) 642-2882
 EMAIL: JIM.CHEN5408@GMAIL.COM

Project Name and Address

**SINGLE RESIDENCE
NEW CONSTRUCTION**
 10 WAUSHAKUM AVENUE
 ASHLAND, MA 02119

Project 1716 Sheet

Date 03/01/2017

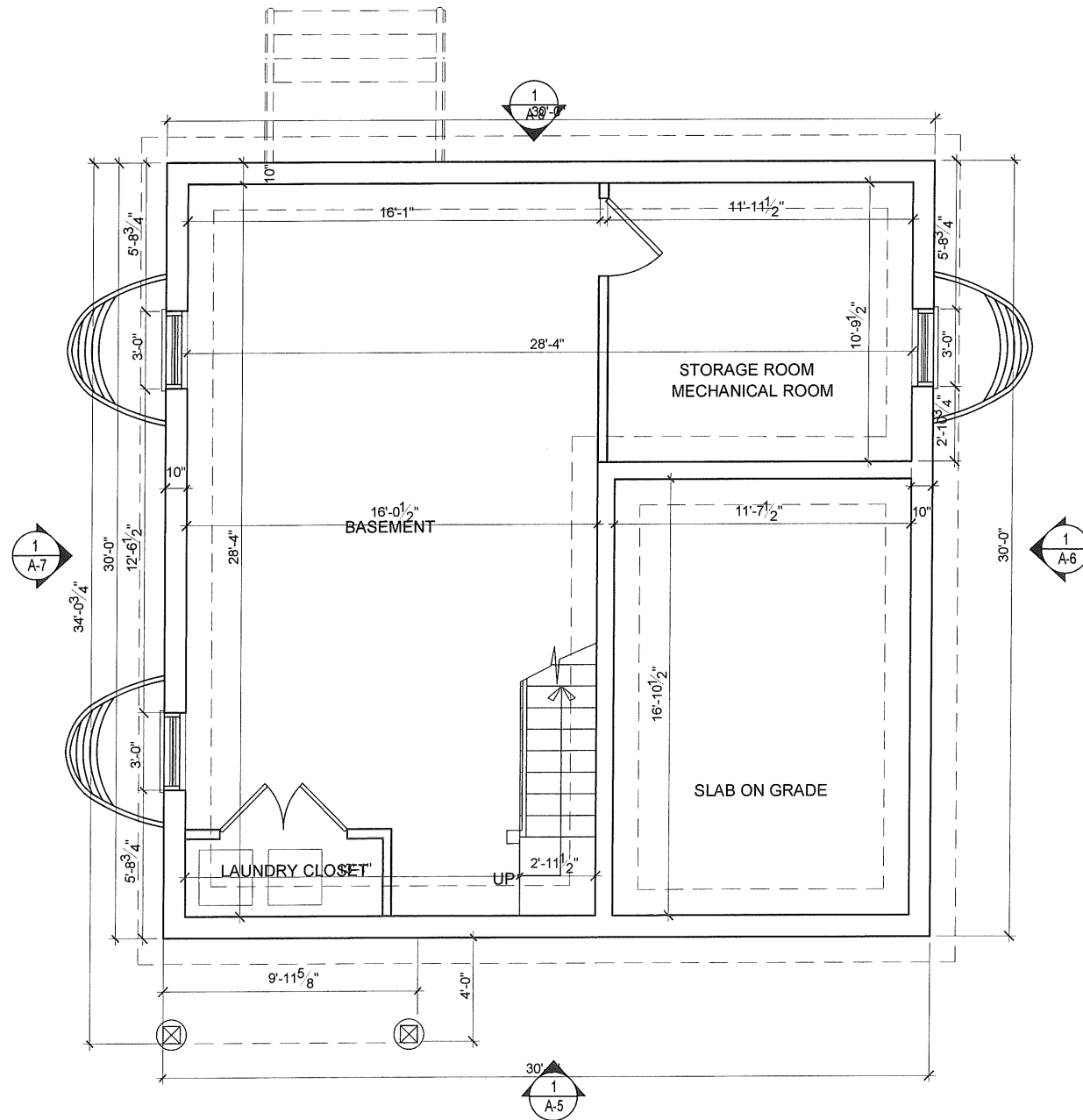
Scale As Noted

L-1

- ⊙ SD SMOKE DETECTOR
- ⊙ CO CARBON MONOXIDE DETECTOR
- ▽ WALL TYPES
- △ WINDOW TYPES
- ⊕ DOOR TYPES

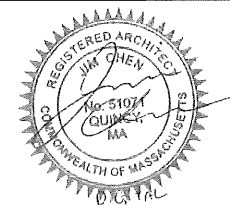
PROPOSED DWELLING AREA:

BASEMENT FLOOR: 671 SF (STORAGE)
 FIRST FLOOR: 671 SF (EXC. 207 SF GARAGE)
 SECOND FLOOR: 866 SF
 ATTIC FLOOR: 0 SF (STORAGE)
 TOTAL LIVING AREA: 1,537 GSF LIVING AREA



1 PROPOSED BASEMENT PLAN
 1/4" = 1'-0"

General Notes



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No.	Revision/Issue	Date
5	AREA REVISION	10/30/17
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2	PLANS REVISION	8/10/17
1	SETBACK REVISION	8/7/17

Firm Name and Address

JC ARCHITECT
 730 HANCOCK STREET
 QUINCY, MA 02170
 TEL: (517) 642-2882
 EMAIL: JIM.CHEN5408@GMAIL.COM

Project Name and Address

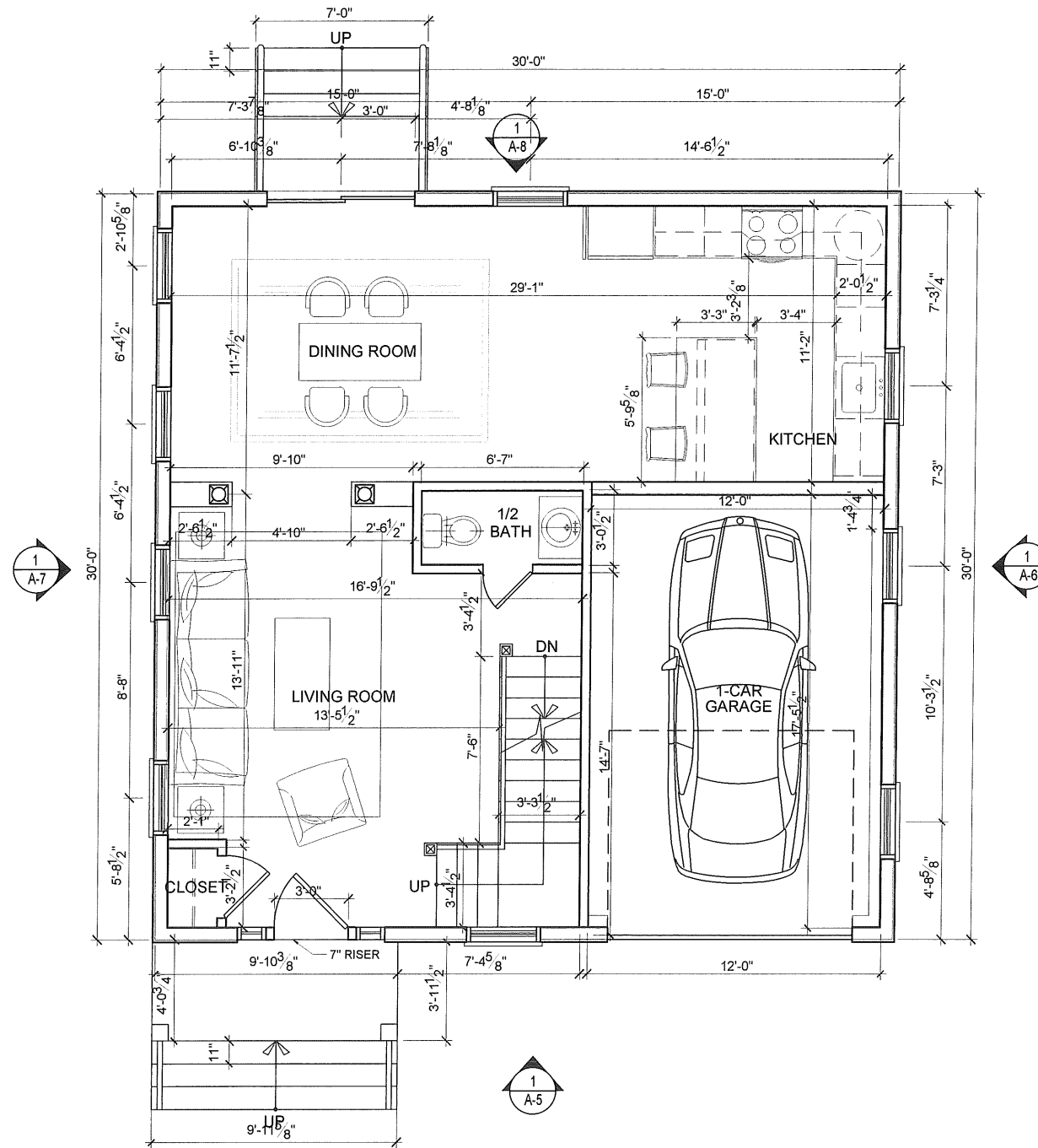
SINGLE RESIDENCE NEW CONSTRUCTION
 10 WAUSHAKUM AVENUE
 ASHLAND, MA 02119

Project	1718	Sheet	A-1
Date	03/01/2017		
Scale	As Noted		

- Ⓢ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR
- ▽ WALL TYPES
- Ⓐ WINDOW TYPES
- Ⓛ DOOR TYPES

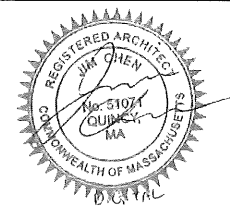
PROPOSED DWELLING AREA:

BASEMENT FLOOR: 671 SF (STORAGE)
 FIRST FLOOR: 671 SF (EXC. 207 SF GARAGE)
 SECOND FLOOR: 866 SF
 ATTIC FLOOR: 0 SF (STORAGE)
TOTAL LIVING AREA: 1,537 GSF LIVING AREA



1 PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

General Notes








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1	SETBACK REVISION	8/7/17

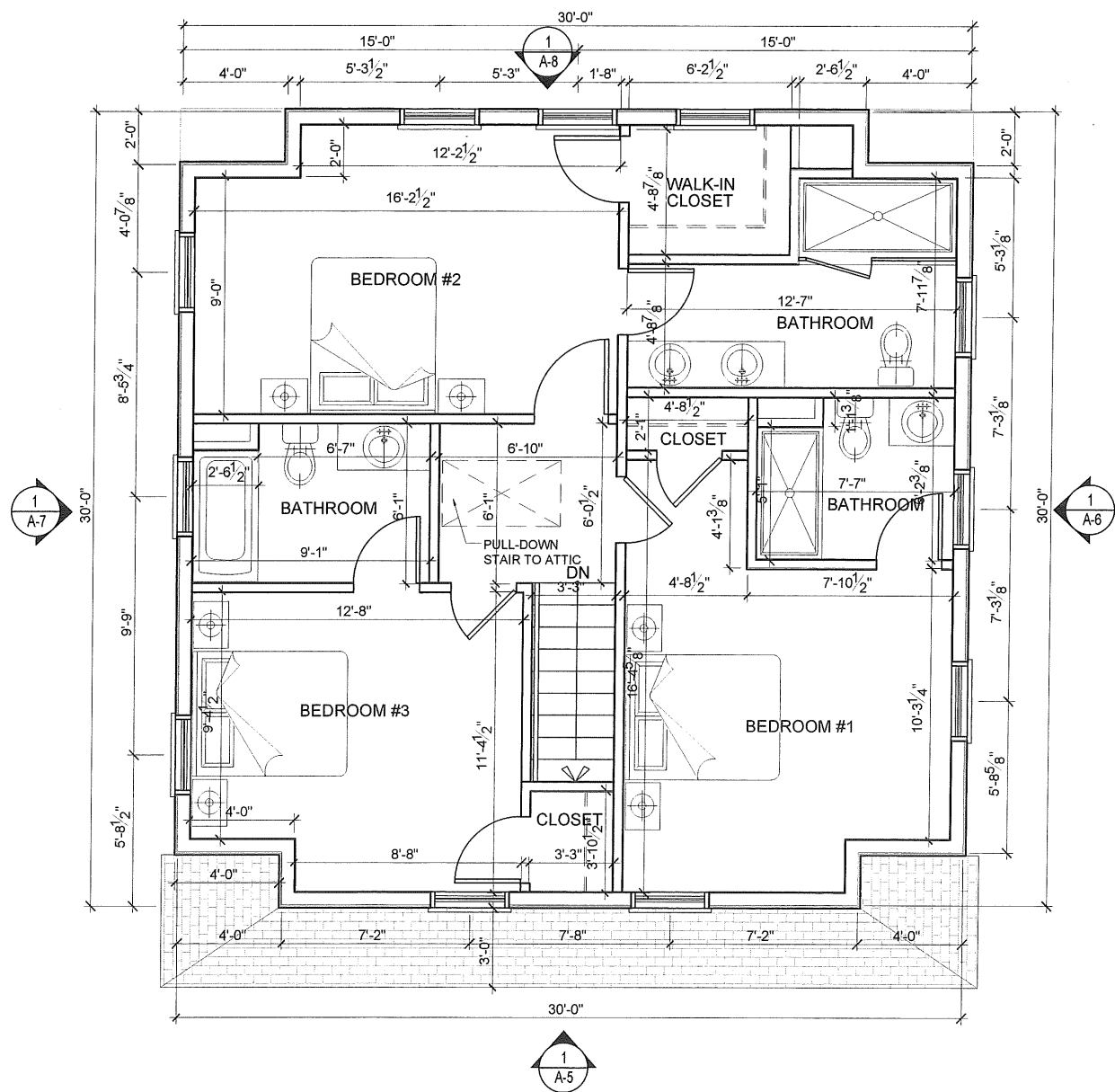
JC ARCHITECT
 730 HANCOCK STREET
 QUINCY, MA 02170
 TEL: (617) 642-2882
 EMAIL: JIM.CHEN5408@GMAIL.COM

SINGLE RESIDENCE NEW CONSTRUCTION
 10 WAUSHAKUM AVENUE
 ASHLAND, MA 02119

Project	1716	Sheet	A-2
Date	03/01/2017	Scale	
As Noted			

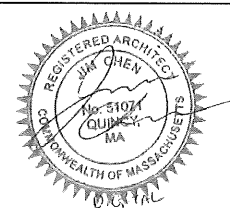
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  WALL TYPES
-  WINDOW TYPES
-  DOOR TYPES

PROPOSED DWELLING AREA:
 BASEMENT FLOOR: 671 SF (STORAGE)
 FIRST FLOOR: 671 SF (EXC. 207 SF GARAGE)
 SECOND FLOOR: 866 SF
 ATTIC FLOOR: 0 SF (STORAGE)
TOTAL LIVING AREA: 1,537 GSF LIVING AREA



1 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

General Notes



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JC ARCHITECT
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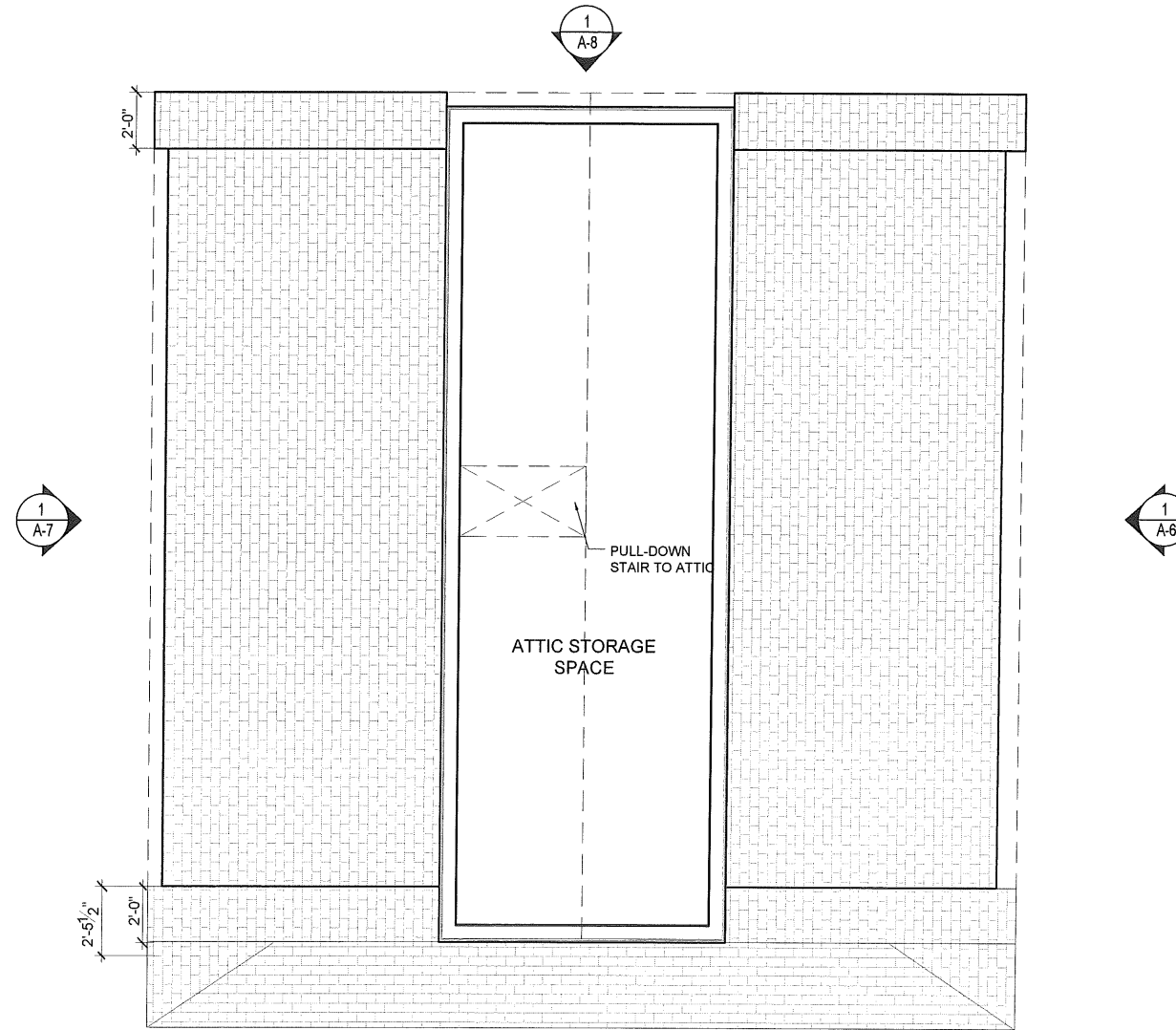
SINGLE RESIDENCE NEW CONSTRUCTION
 10 WAUSHAKUM AVENUE
 ASHLAND, MA 02119

Project	1716	Sheet	A-3
Date	03/01/2017	Scale	
As Noted			

- ⊙ SD SMOKE DETECTOR
- ⊙ CO CARBON MONOXIDE DETECTOR
- △ WALL TYPES
- ⊙ A WINDOW TYPES
- ⊙ I DOOR TYPES

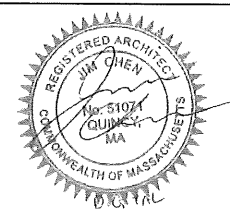
PROPOSED DWELLING AREA:

BASEMENT FLOOR: 671 SF (STORAGE)
 FIRST FLOOR: 671 SF (EXC. 207 SF GARAGE)
 SECOND FLOOR: 866 SF
 ATTIC FLOOR: 0 SF (STORAGE)
 TOTAL LIVING AREA: 1,537 GSF LIVING AREA



1 PROPOSED ATTIC FLOOR PLAN
 1/4" = 1'-0"

General Notes



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5	AREA REVISION	10/30/17
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Firm Name and Address

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 730 HANCOCK STREET
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 TEL: (617) 642-3882
 EMAIL: JIM.CHEN548@GMAIL.COM

Project Name and Address

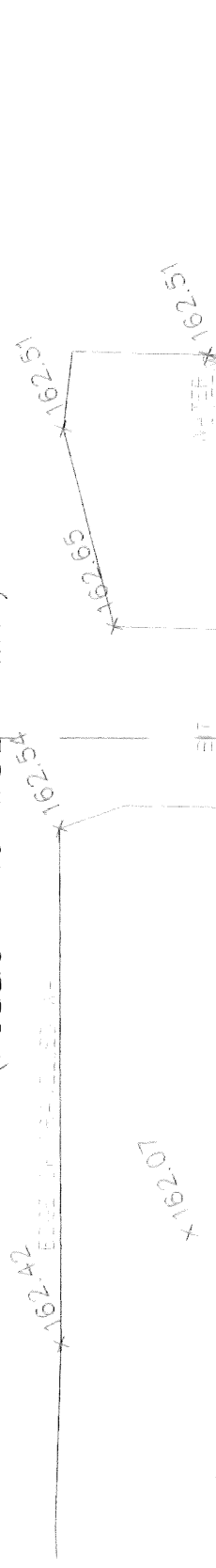
SINGLE RESIDENCE NEW CONSTRUCTION
 10 WAUSHAKUM AVENUE
 ASHLAND, MA 02119

Project	1716	Sheet	A-4
Date	03/01/2017		
Scale	As Noted		

*THE LOCATION OF EXISTING & PROPOSED UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY & NOT FOR CONSTRUCTION.

WAUSHAKUM AVENUE

(PUBLIC - 40' WIDE - WAY)



MASSACHUSETTS COORDINATE SYSTEM (NAD 83)
& LAND COURT CASE #42958

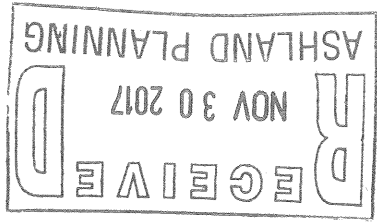
LEGEND

- BASE BITUMINOUS
- CONC CONCRETE
- ELEV ELEVATION
- FF FIRST FLOOR
- N/F NOW OR FORMERLY
- PK MASONRY NAIL
- S.F. SQUARE FEET(SQ.FT.)
- W/F WOOD FRAME
- X12.34 SPOT ELEVATION
- 1.2'- PROPOSED SETBACK

PROPOSED COVERAGE:

- 900±S.F. HOUSE
- 873±S.F. DRIVE/PARKING
- 1,773±S.F.

PROPOSED LOT COVERAGE 39.4%



RECORD OWNER(S):

WALDIR DACOSTA
DEED REFERENCE: BOOK 69078 PAGE 558
MIDDLESEX COUNTY REGISTRY OF DEEDS
(SOUTHERN DISTRICT)

TO WALDIR DACOSTA & TOWN OF ASHLAND I.S.D.I. I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT:

THIS PLAN SHOWS THE RESULTS OF AN INSTRUMENT SURVEY OF THE PREMISES BY ME USING A LEICA TS 12 TOTAL STATION ON APRIL, 2017.

NOTE:

- 1.) ALL OVERHANGS, UTILITIES, TREES, FENCES & LANDSCAPING ARE NOT SHOWN.
- 2.) ELEVATIONS SHOWN REFERS TO N.G.V.D. 1988.
- 3.) ZONING ANALYSIS, SITE ENGINEERING BY OTHERS*.
- 4.) SEE PLANS DATED 3/1/17 & 10/30/17 BY JIM CHEN A.I.A. FOR CONSTRUCTION. GOODNESS OF FIT, ADEQUACY OF DETAIL SOLE RESPONSIBILITY OF CONTRACTOR.
- 5.) THE ADDRESS IS CURRENTLY ZONED: COMMERCIAL HIGHWAY (CH) IN THE POND STREET MIXED USE OVERLAY DISTRICT.

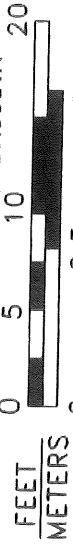
ZONING: COMMERCIAL HIGHWAY (CH)

PROPOSED RESIDENCE CERTIFIED PLOT PLAN

OF
IN
#10 WAUSHAKUM AVENUE

ASHLAND, MASS.
(MIDDLESEX COUNTY)

SCALE: 1"=10' NOVEMBER 13, 2017
PREPARED FOR: WALDIR DACOSTA



DENNY LAND SURVEYING & ENGINEERING
51 PARK DRIVE (617) 437-7993 BOSTON, MASS.

THE PREMISES DOES NOT LIE IN AN AREA OF SPECIAL FLOOD HAZARD AS DEFINED BY THE FLOOD INSURANCE RATE MAP #250 17C 0518F, EFFECTIVE 7/7/2014.

REVISED PER AHJ 10/30/17 BUILDING AREA
REVISED PER AHJ 9/21/17 PARKING LAYOUT
REVISED PER AHJ 8/11/17 SHOW WATER & SEWER UTILITIES
REVISED 8/7/17 SETBACKS REVISED

