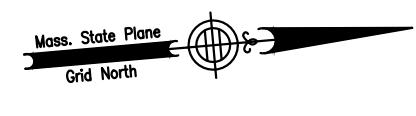


ZONING DATA

DISTRICT: HIGHWAY COMMERCE (CH)
 EXISTING USE: MINI-STORAGE WAREHOUSE FACILITY (UNDER CONSTRUCTION)
 PROPOSED USE: MIXED (RETAIL/OFFICE)
 CONSTRUCTION YARD OR LANDSCAPING BUSINESS (ALLOWED USE)

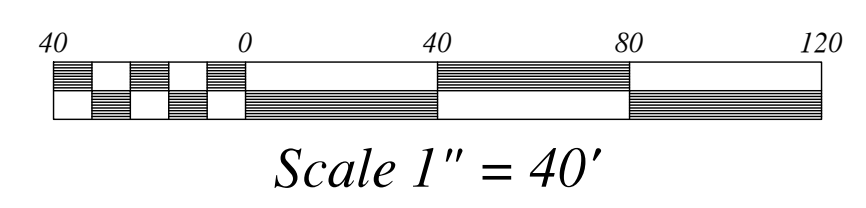
	REQUIRED	PROVIDED
LOT AREA	30,000 S.F.	378,381 S.F.
LOT FRONTAGE	150 FT	242.38 FT
LOT WIDTH	-	-
FRONT YARD	30 FT	30.1 FT
SIDE YARD	10 FT	10.5 FT
REAR YARD	30 FT	92 FT
HEIGHT	35 FT DWELLINGS	43.75 FT
	5 STORIES OTHERWISE	
MAX LOT COVERAGE (-%)		59,519 S.F. (15.7%)*
IMPERVIOUS COVERAGE		159,290 S.F. (42.0%)*

*** LOT COVERAGE AND IMPERVIOUS COVERAGE INCLUDE PHASE 1 STORAGE FACILITY AND PROPOSED STORAGE FACILITY.



PARKING SUMMARY
 PROPOSED PARKING LOT DESIGN PROVIDES FOR:
 (78) STANDARD PARKING SPACES: 9'-0" x 20'-0"
 (5) HANDICAP SPACES: 9'-0" x 20'-0"

PROPOSED PARKING:	REQUIRED
BUILDING #1 MIXED USE BUILDING	
RETAIL/OFFICE: 1 SPACE PER 180 S.F. LEASABLE FLOOR SPACE	= 56.6 SPACES
FLOORS 1 & 2 - 10,200 SF LEASABLE SPACE	
FLOOR 3 - 5,100 SF STORAGE (NO EMPLOYEES)	
BUILDING #2 (8,580 SF) CONSTRUCTION YARD OR LANDSCAPING BUSINESS	
BUILDING #3 (12,705 SF) CONSTRUCTION YARD OR LANDSCAPING BUSINESS	
33 EMPLOYEES (1 SP/1.3 EMPLOYEES)	= 25.4 SPACES
TOTALS	= 82 REQUIRED SPACES
	= 83 SPACES PROVIDED



TOWN OF ASHLAND PLANNING BOARD

SIGNATURES

APPROVAL DATE _____
 ENDORSEMENT DATE _____

RECORD OWNER:
 ASSESSOR MAP 19 LOT 67

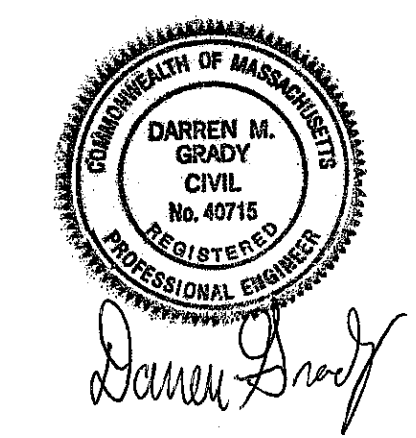
81 WEST UNION STREET LLC
 70 BARTZAK DR.
 HOLLISTON, MA 01746
 DEED BOOK 64487 PAGE 299
 PORTION OF LOT B
 BOOK 7348 PAGE 139

PLAN REFERENCES:

- 1892 COUNTY LAYOUT OF UNION STREET
- PLAN No. 1411 OF 1948
- PLAN No. 1019 OF 1963
- PLAN No. 1078 OF 1975
- PLAN No. 286 OF 1993

SHEET INDEX

SHEET	COVER
SHEET 1	COVER
SHEET 2	EXISTING CONDITIONS
SHEET 3	LAYOUT
SHEET 4	GRADING
SHEET 5	UTILITIES & DRAINAGE
SHEET 6	LANDSCAPE & LIGHTING
SHEET 7	DETAILS
SHEET 8	DETAILS
SHEET 9	DETAILS
SHEET 10	DETAILS
SHEET 11	DETAILS



Darren Grady



**PHASE 2
 SITE PLAN**

**#81 WEST UNION STREET
 ASHLAND, MASSACHUSETTS**

PREPARED FOR:
 81 WEST UNION STREET LLC
 C/O WILLIAM J. RODENHISER
 70 BARTZAK DRIVE
 HOLLISTON, MA 01746

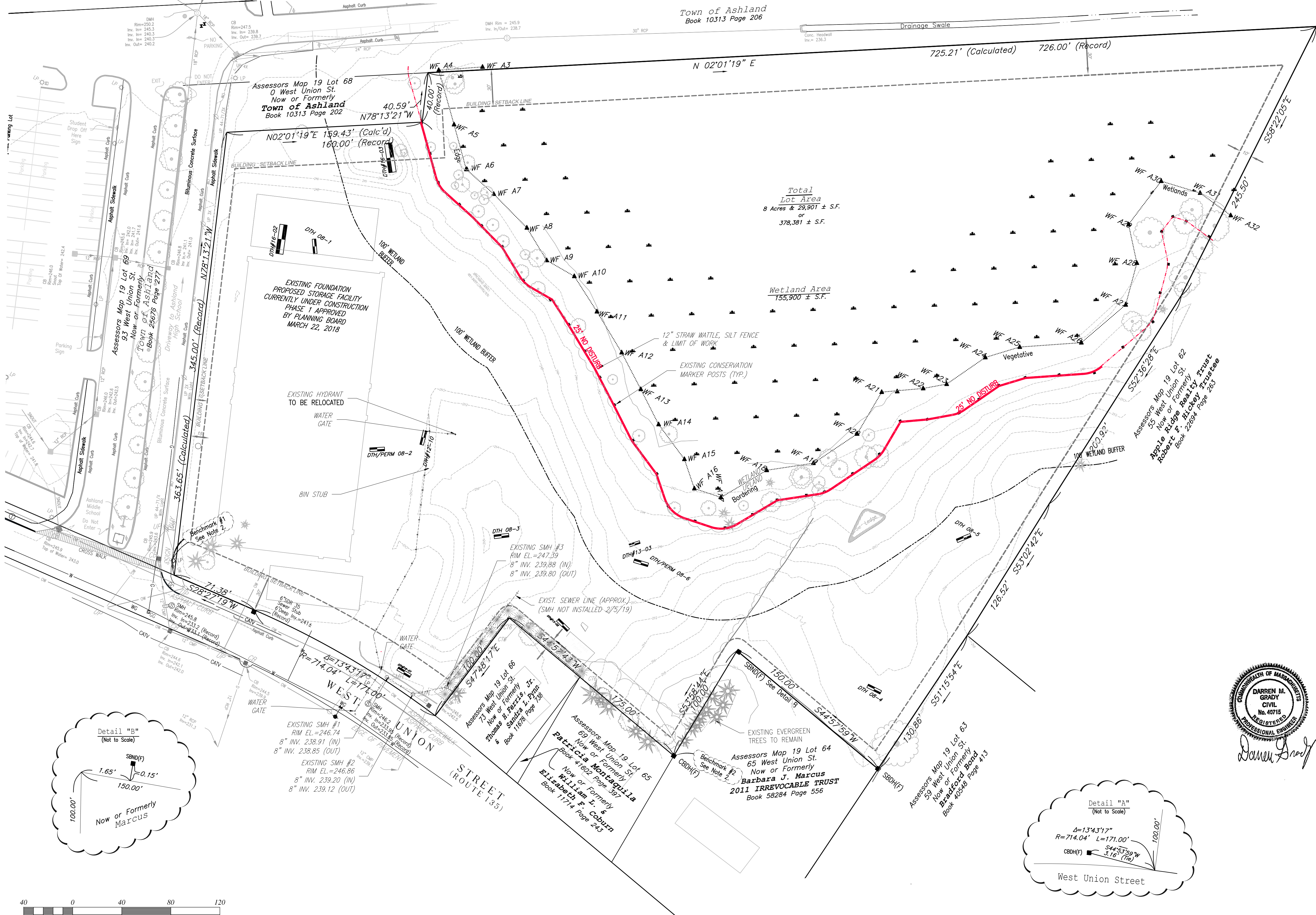
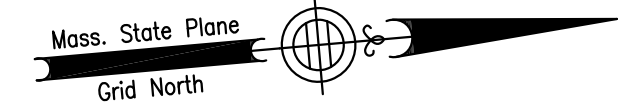
JUNE 13, 2019
 SCALE: 1"=40'
 JOB No. 18-284

GRADY CONSULTING, L.L.C.
 Civil Engineers and Land Surveyors
 71 Evergreen Street, Suite 1, Kingston, MA 02364
 Phone (781) 585-2300 Fax (781) 585-2378

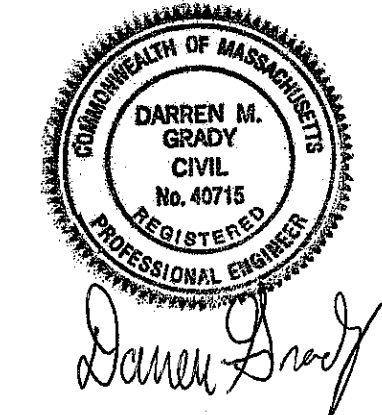
Legend

Symbols and Abbreviations Shown on This Plan

132	EXISTING CONTOUR	OW	OVERHEAD WIRES	WG	WATER GATE	CMP	CORRUGATED METAL PIPE
CATV	UNDERGROUND CABLE & TELEVISION	UP	UTILITY POLE	LP	LIGHT POLE	RCP	REINFORCED CONCRETE PIPE
G	UNDERGROUND GAS LINE	CB	CATCH BASIN	Hyd.	HYDRANT	WF 22	WETLAND FLAG WITH NUMBER
W	UNDERGROUND WATER LINE	DMH	DRAIN MANHOLE	+139.7	SPOT GRADE	(F)	FOUND
E	UNDERGROUND ELECTRIC LINE	SMH	SEWER MANHOLE	RET.	RETAINING	CTR. BK.	CENTER BACK
D	UNDERGROUND DRAIN LINE	DTH/PERM	DEEP TEST HOLE WITH PERMEABILITY TEST	GC	GRANITE CURB	SBDH	STONE BOUND NO DRILL HOLE
S	UNDERGROUND SEWER LINE	GG	GAS GATE	WETLAND AREA		CBDH	CONCRETE BOUND DRILL HOLE



- #### Notes
- 1.) RECORD OWNER IS 81 WEST UNION STREET, LLC SEE DEED BOOK 64487 PAGE 299.
 - 2.) ELEVATIONS REFER TO NGVD OF 1929. BENCHMARK #1: CHISELED SQUARE ON LIGHT POLE BASE. ELEVATION = 247.18. BENCHMARK #2: TOP OF CBDH(F). ELEVATION = 259.00.
 - 3.) SEE ASHLAND ASSESSORS MAP 19, PARCEL 67.
 - 4.) PARCEL FALLS WITHIN THE HIGHWAY COMMERCE (HC) ZONING DISTRICT.
 - 5.) PARCEL FALLS IN ZONE X AS SHOWN ON FIRM COMMUNITY PANEL 25017C 0513F DATED JULY 7, 2014.
 - 6.) THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEETS REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF THE PROPERTY DEPICTED HEREON. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT ASSESSORS RECORDS.
 - 7.) SEE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS FOR RECORD DOCUMENTS.
 - 8.) PROPERTY LINE INFORMATION WAS COMPILED FROM VIRGINIA'S GREEN SITE PLAN DATED NOVEMBER 2008 BY SCHOFIELD BROTHERS OF NEW ENGLAND, INC.
 - 9.) SITE IS CURRENTLY UNDER CONSTRUCTION. TOPOGRAPHIC FEATURES SHOWN WERE COMPILED FROM A FIELD SURVEY BY SCHOFIELD BROTHERS OF NEW ENGLAND ON OR BETWEEN FEBRUARY 19 & 26, 2008.
 - 10.) WETLANDS WERE DELINEATED AND FIELD LOCATED BY SCHOFIELD BROTHERS OF NEW ENGLAND IN FEBRUARY 2008 AND APPROVED BY ASHLAND CONSERVATION COMMISSION ORDER OF RESOURCE AREA DELINEATION DATED JUNE 23, 2008. ORDER OF RESOURCE DELINEATION EXTENDED 6/23/2018 BY EXTENSION ISSUED BY THE ASHLAND CONSERVATION COMMISSION DATED 6/22/2015, SAID BEING EXTENSION RECORDED IN THE MIDDLESEX REGISTRY OF DEEDS IN BOOK 66705, PAGE 156. AN ORDER OF CONDITIONS WAS ISSUED FOR PHASE 1 ON JANUARY 12, 2017, AND AN AMENDMENT WAS ISSUED ON FEBRUARY 26, 2018.
 - 11.) THIS TOPOGRAPHIC SURVEY WAS PREPARED TO MEET NATIONAL MAP ACCURACY STANDARDS AT A SCALE OF 1"=40' HORIZONTALLY AND A 1 FOOT CONTOUR INTERVAL VERTICALLY. ANY REPRODUCTIONS OR RESCALING MAY EFFECT THE MAP ACCURACY.
 - 12.) LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER GATES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES AND MEET ASCE QUALITY LEVEL C PER CIVIL/ASCE 438-02. THE LOCATION SHOWN SHALL BE CONSIDERED APPROXIMATE. BEFORE CONSTRUCTION, THE LOCATION OF UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR. IN ACCORDANCE WITH CH. 82, SEC. 40 AS AMENDED, ALL UTILITY COMPANIES AND APPLICABLE GOVERNMENT AGENCIES MUST BE CONTACTED. CONTACT "DIG-SAFE" AT 1-888-344-7233.
 - 13.) LEGAL STATUS OF EASEMENTS, WAYS, AND RESTRICTIONS NOT DETERMINED BY THIS SURVEY.



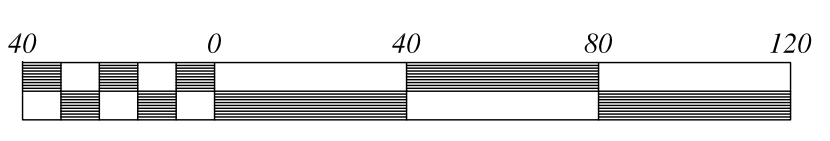
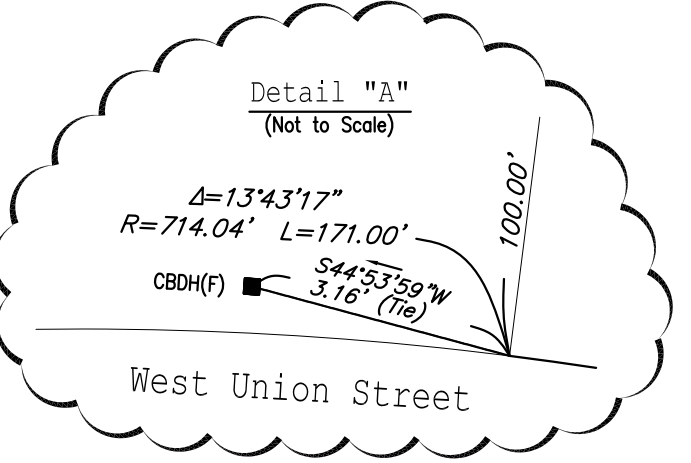
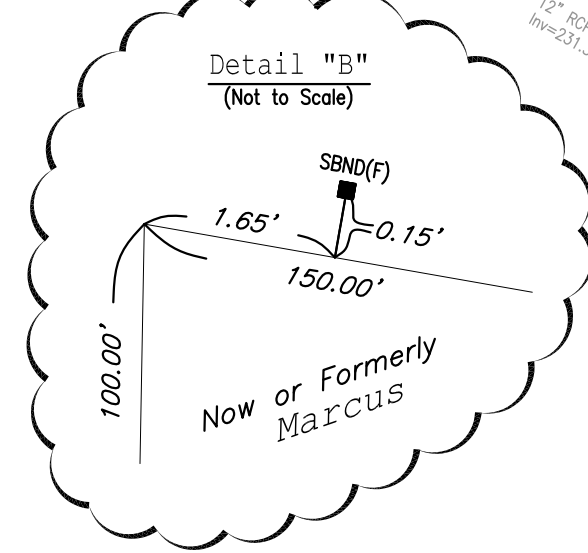
PHASE 2 SITE PLAN

#81 WEST UNION STREET
ASHLAND, MASSACHUSETTS

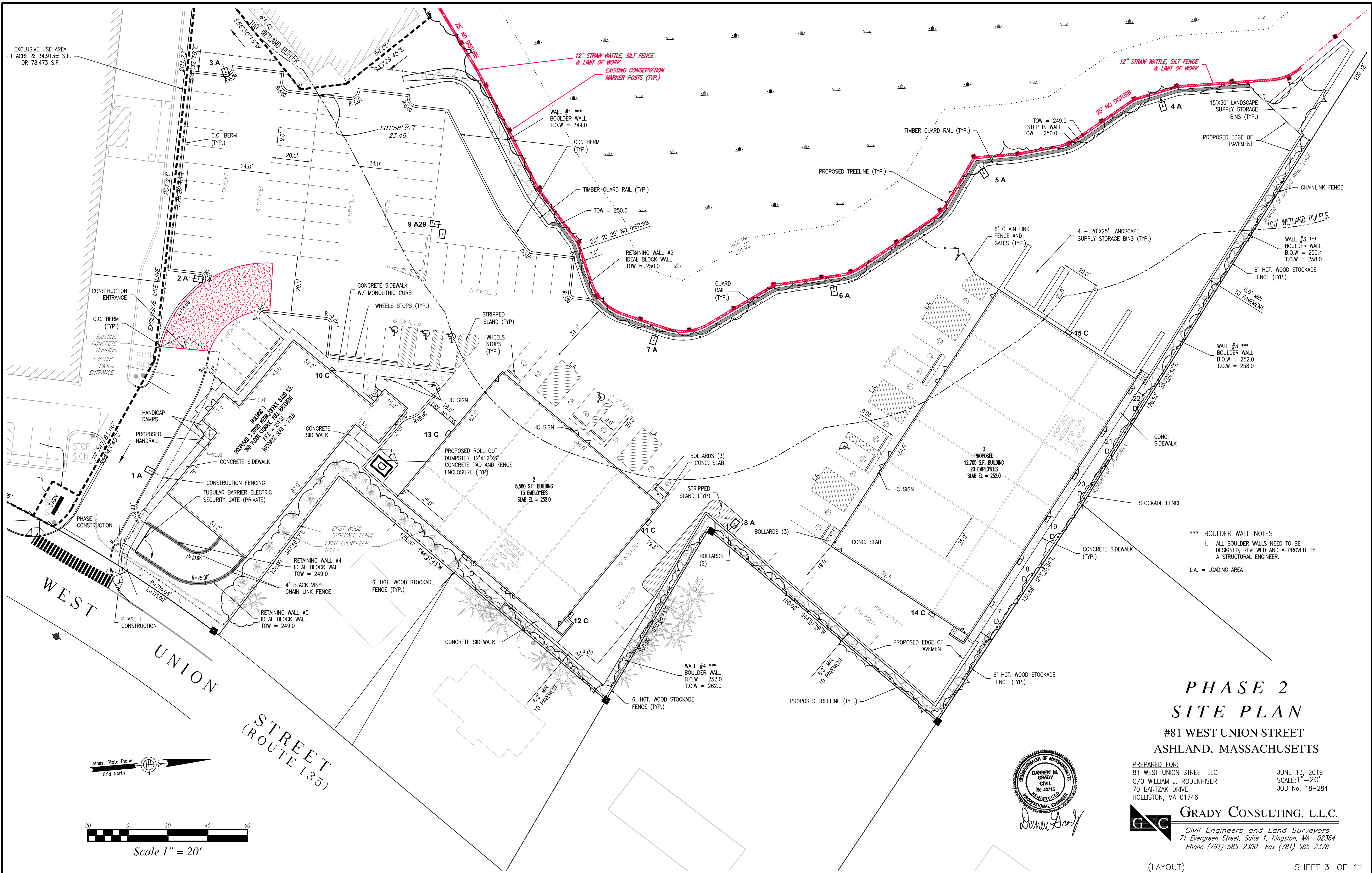
PREPARED FOR:
81 WEST UNION STREET LLC
C/O WILLIAM J. RODENHISER
70 BARTZAK DRIVE
HOLLISTON, MA 01746

JUNE 13, 2019
SCALE: 1"=40'
JOB No. 18-284

G/C GRADY CONSULTING, L.L.C.
Civil Engineers and Land Surveyors
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



Scale 1" = 40'

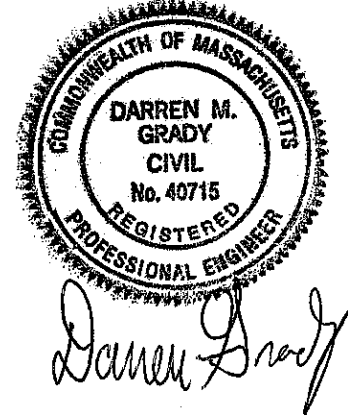


**PHASE 2
SITE PLAN**

#81 WEST UNION STREET
ASHLAND, MASSACHUSETTS

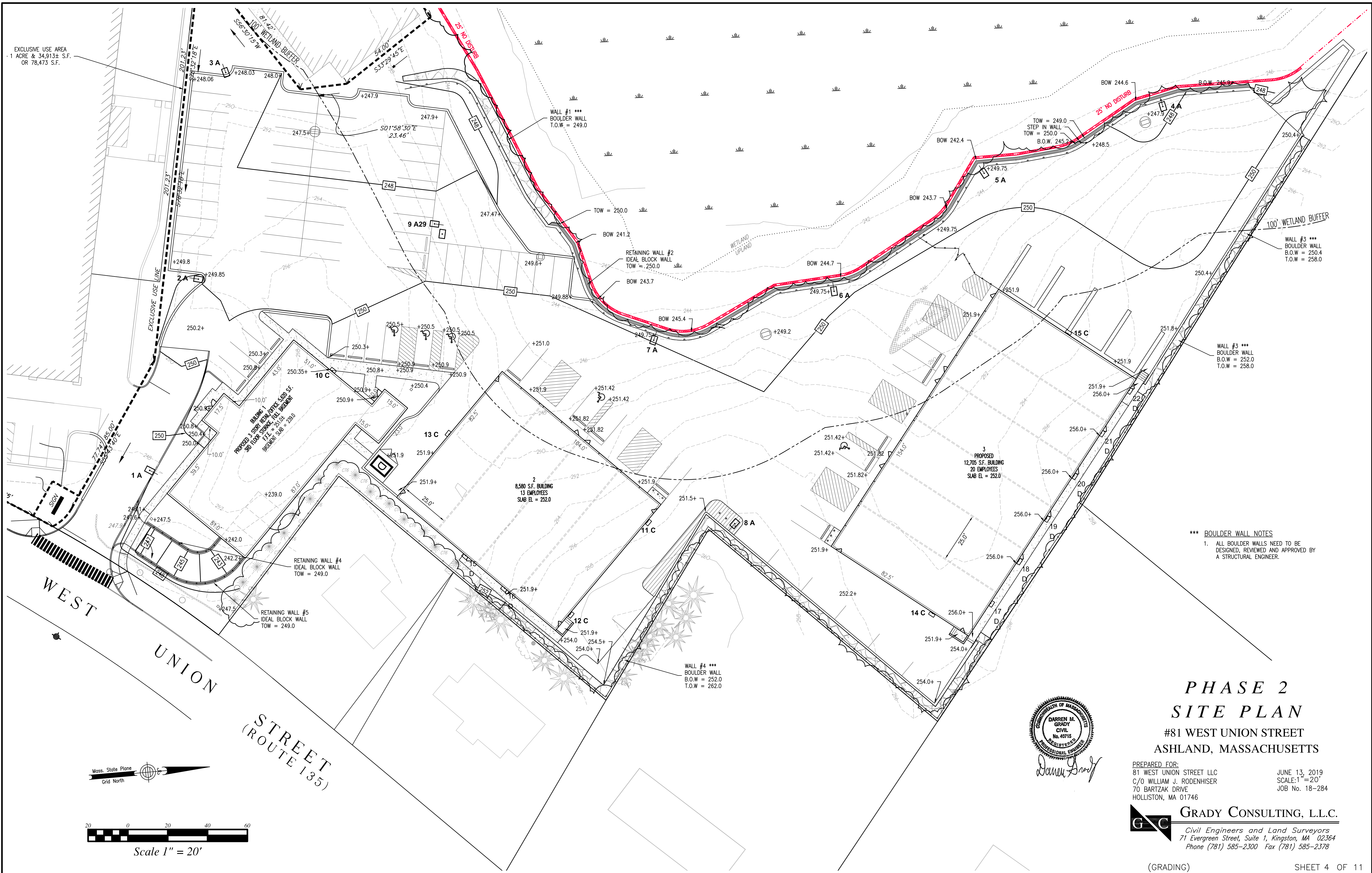
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EXCLUSIVE USE AREA
 1 ACRE & 34,913± S.F.
 OR 78,473 S.F.

3 A

2 A

1 A

9 A29

10 C

13 C

11 C

12 C

8 A

7 A

6 A

5 A

4 A

15 C

21

22

20

19

18

17

14 C

16

15

14

13

12

11

10

9

8

7

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3

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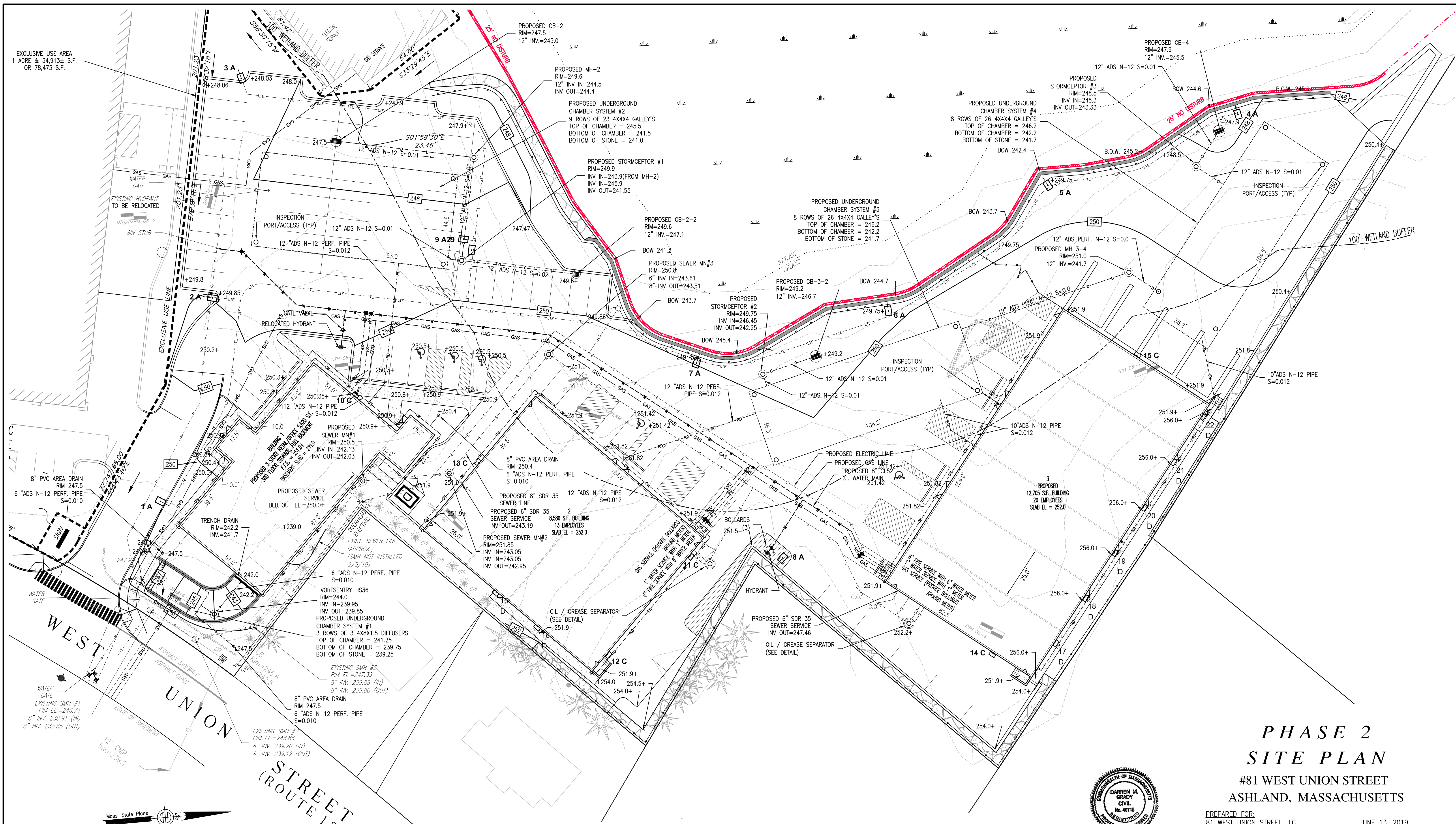
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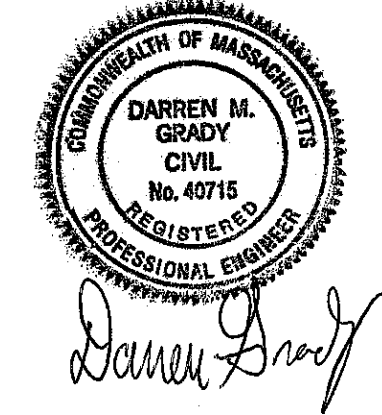
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**PHASE 2
SITE PLAN**
#81 WEST UNION STREET
ASHLAND, MASSACHUSETTS

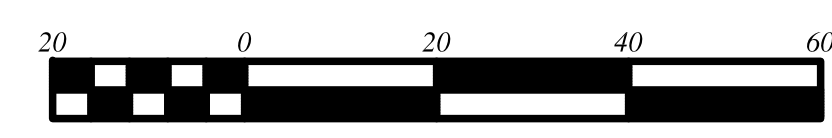
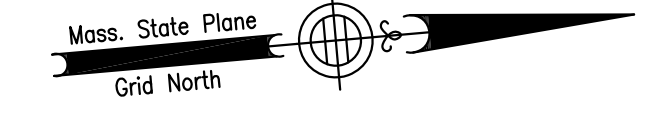
PREPARED FOR:
81 WEST UNION STREET LLC
C/O WILLIAM J. RODENHISER
70 BARTZAK DRIVE
HOLLISTON, MA 01746

JUNE 13, 2019
SCALE: 1"=20'
JOB No. 18-284

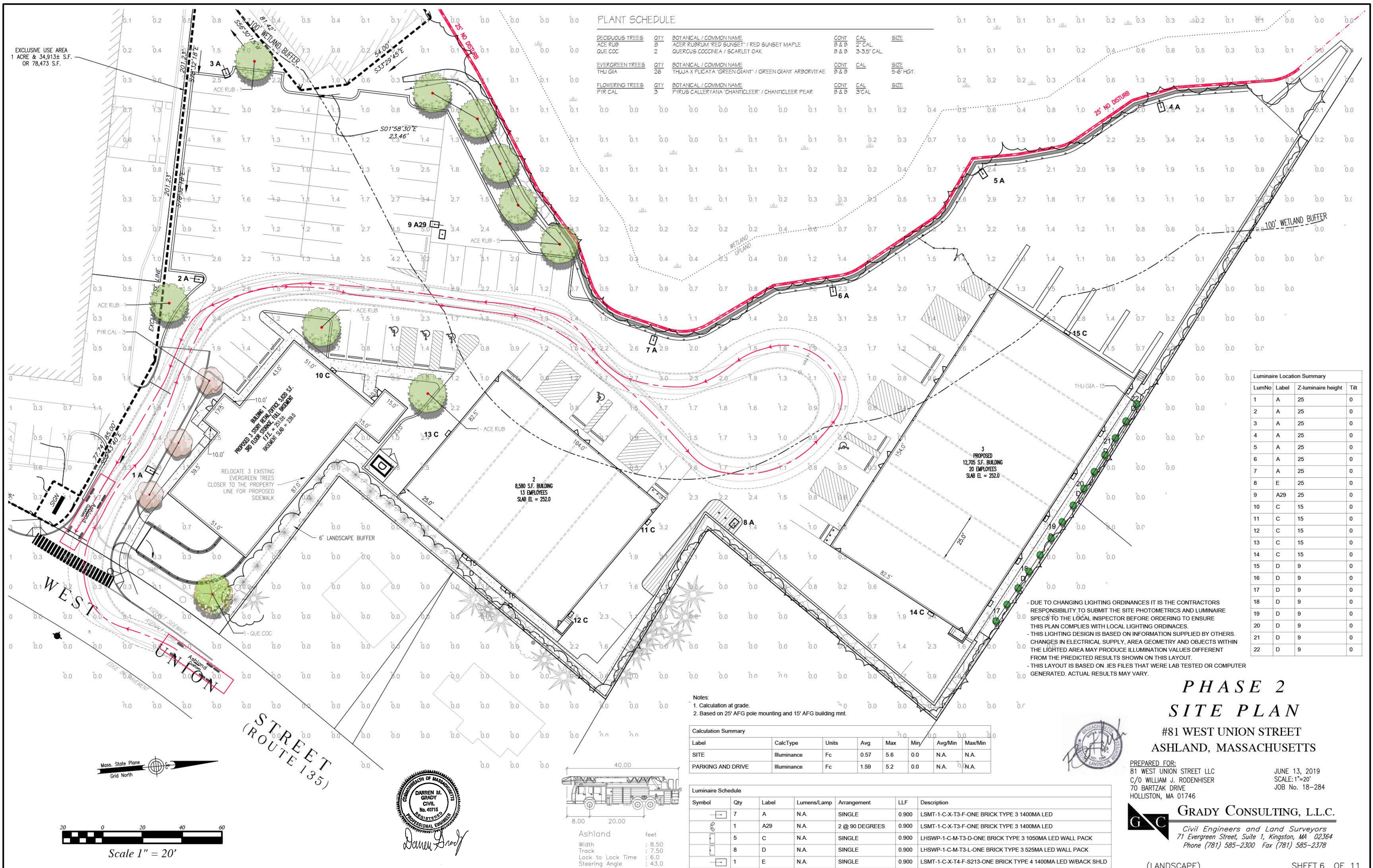


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Sewer Flows				
BUILDING #	Unit Size	Units	Flow Rate	Totals (gpd)
1	10200	S.F. Office	75 gpd/1000 S.F.	765
2	13	Employees	15 gpd/employee	195
3	20	Employees	15 gpd/employee	300
				1260



Scale 1" = 20'



PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
ACE RUB	5	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	P & B	2' CAL	
QUE COC	2	QUERCUS COCCINEA / SCARLET OAK	P & B	3-3.5' CAL	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
THU GIA	26	THUJA X PULICATA 'GREEN GIANT' / GREEN GIANT ARBORVITAE	B & B		5-6' HGT.
FLOWERING TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
PYR CAL	3	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR	B & B	3' CAL	

Luminaire Location Summary

LumNo	Label	Z-luminaire height	Tilt
1	A	25	0
2	A	25	0
3	A	25	0
4	A	25	0
5	A	25	0
6	A	25	0
7	A	25	0
8	E	25	0
9	A29	25	0
10	C	15	0
11	C	15	0
12	C	15	0
13	C	15	0
14	C	15	0
15	D	9	0
16	D	9	0
17	D	9	0
18	D	9	0
19	D	9	0
20	D	9	0
21	D	9	0
22	D	9	0

- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
 - THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
 - THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

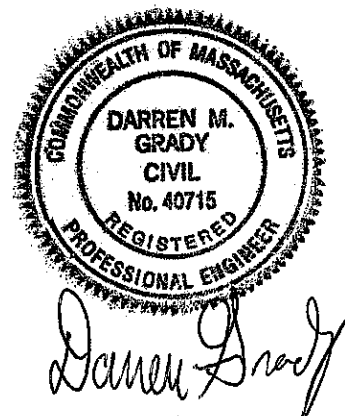
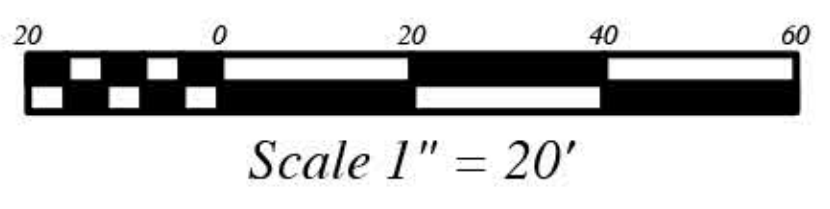
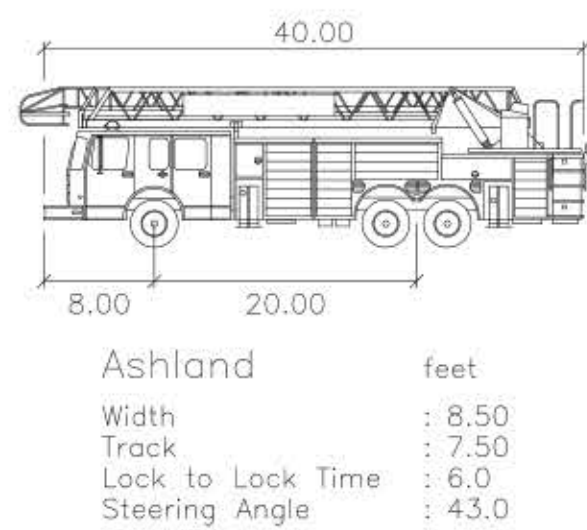
Notes:
 1. Calculation at grade.
 2. Based on 25' AFG pole mounting and 15' AFG building mnt.

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	ILLUMINANCE	Fc	0.57	5.6	0.0	N.A.	N.A.
PARKING AND DRIVE	ILLUMINANCE	Fc	1.59	5.2	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	Lumens/Lamp	Arrangement	LLF	Description
[Symbol]	7	A	N.A.	SINGLE	0.900	LSMT-1-C-X-T3-F-ONE BRICK TYPE 3 1400MA LED
[Symbol]	1	A29	N.A.	2 @ 90 DEGREES	0.900	LSMT-1-C-X-T3-F-ONE BRICK TYPE 3 1400MA LED
[Symbol]	5	C	N.A.	SINGLE	0.900	LHSWP-1-C-M-T3-D-ONE BRICK TYPE 3 1050MA LED WALL PACK
[Symbol]	8	D	N.A.	SINGLE	0.900	LHSWP-1-C-M-T3-L-ONE BRICK TYPE 3 525MA LED WALL PACK
[Symbol]	1	E	N.A.	SINGLE	0.900	LSMT-1-C-X-T4-F-S213-ONE BRICK TYPE 4 1400MA LED W/BACK SHLD



**PHASE 2
 SITE PLAN**
 #81 WEST UNION STREET
 ASHLAND, MASSACHUSETTS

PREPARED FOR:
 81 WEST UNION STREET LLC
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CONSTRUCTION NOTES

GENERAL:

1. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES WITH UTILITY COMPANIES.
3. CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-800-322-4844) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION.
4. UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE DEPARTMENT OR COMPANY. THE CONTRACTOR SHALL NOTIFY THE ASHLAND D.P.W. (834-5589) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION OF DRAINAGE & WATER SYSTEMS.
5. SEWAGE DISPOSAL TO CONSIST OF SEWER CONNECTIONS.
6. ALL CONSTRUCTION SHALL CONFORM TO TOWN OF ASHLAND PLANNING BOARD RULES AND REGULATIONS, DPW SPECIFICATIONS, WATER, SEWER, CONSERVATION COMMISSION REGULATIONS AND ALL OTHER APPLICABLE CODES.
7. ALL STUMPS SHALL BE DISPOSED OFF SITE.
8. ALL WORK WITHIN THE TOWN RIGHT OF WAY SHALL REQUIRE A ROAD OPENING PERMIT. EXCAVATIONS SHALL BE BACKFILLED WITH FLOWABLE FILL AND INSPECTED BY THE TOWN PER THE ROAD OPENING PERMIT.
9. THE CONSTRUCTION AT THE SITE SHALL BE SECURED WITH FENCING.

WATER SYSTEM NOTES:

1. ALL MAINS SHALL BE 8" CEMENT LINED DUCTILE IRON PIPE, CLASS 52.
2. ALL WATER SERVICES SHALL BE 1" POLYETHYLENE PIPE.
3. ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO TOWN OF ASHLAND WATER DEPARTMENT REQUIREMENTS.
4. PROVIDE THRUST BLOCKS AT ALL WATER MAIN FITTINGS.
5. HYDRANTS SHALL BE MUELLER CENTURION 200 WITH BRASS FITTINGS, MECHANICAL JOINT ANCHORING TEES AND THRUST BLOCKS.

EROSION CONTROL:

1. ALL ROADWAY AREAS, CUT AND FILL AREAS, AND DISTURBED DRAINAGE EASEMENT AREAS ARE TO BE BROUGHT TO FINISHED GRADE WITH A MIN. OF 4" OF LOAM, SEEDED WITH A MIXTURE OF ANNUAL RYEGRASS AND PERENNIAL GRASSES, AND MAINTAINED UNTIL VEGETATION STABILIZES THESE AREAS.
2. MULCH OR OTHER SUITABLE EROSION PROTECTION, SHALL BE UTILIZED ON ALL EXPOSED

CONSTRUCTION SEQUENCE:

CLEAR AND GRUB ROADWAY AND EASEMENT AREAS

CONSTRUCT UNDERGROUND DETENTION BASINS

PRIOR TO ALL OTHER ACTIVITY EXCEPT TREE CLEARING AND ACCESS ROAD (SEED TO BE NRCS PERMANENT SEEDING MIX #6 OR APPROVED EQUAL)

(LIMIT USE OF HEAVY EQUIPMENT ON BASIN BOTTOMS)

BRING CUT AREAS TO SUBGRADE, INSTALL STRUCTURAL FILL BELOW BUILDING SLABS

INSPECT STORMCEPTOR/VORSENTRY UNITS AND UNDERGROUND CHAMBER SYSTEMS AFTER ALL STORMS AND AT LEAST MONTHLY DURING CONSTRUCTION AND REMOVE SEDIMENT

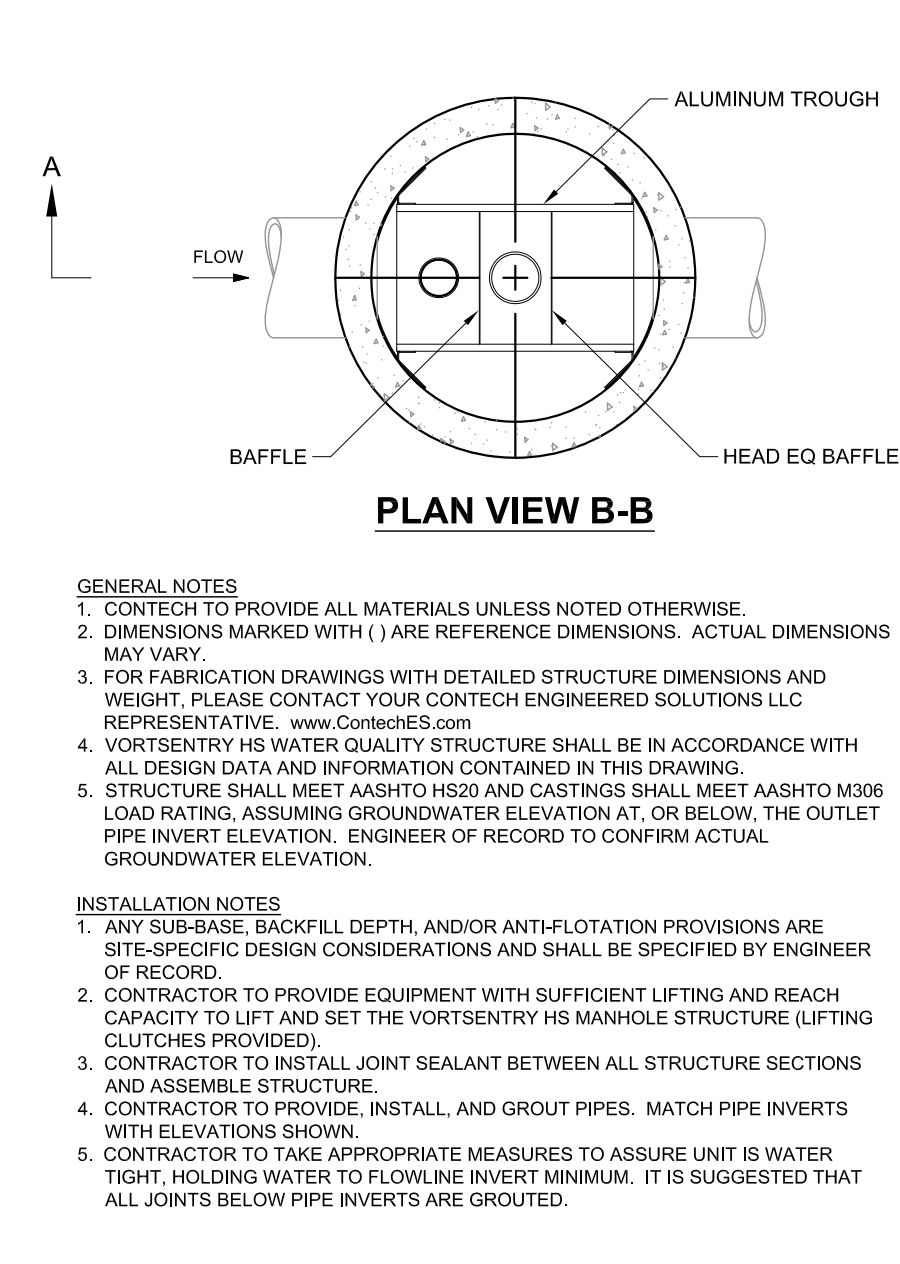
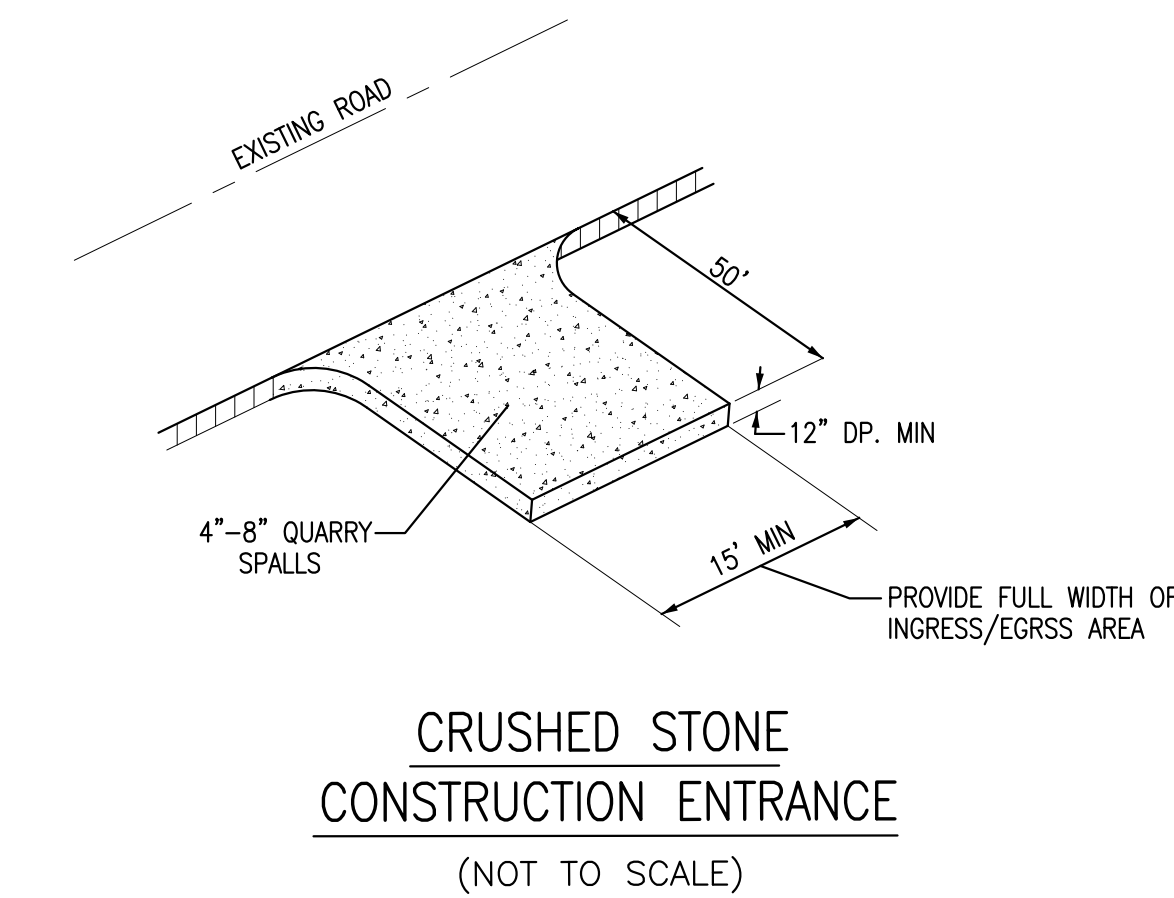
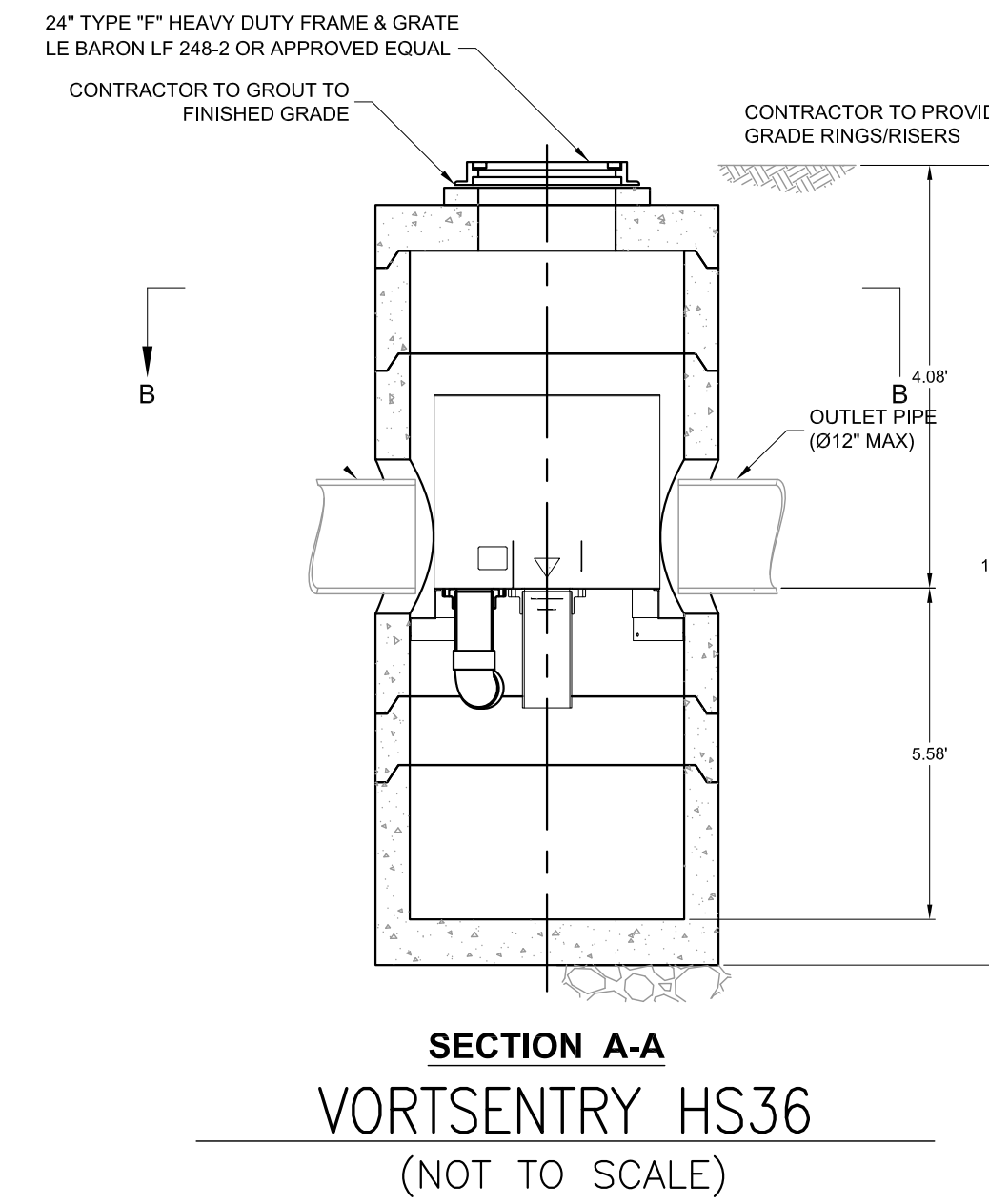
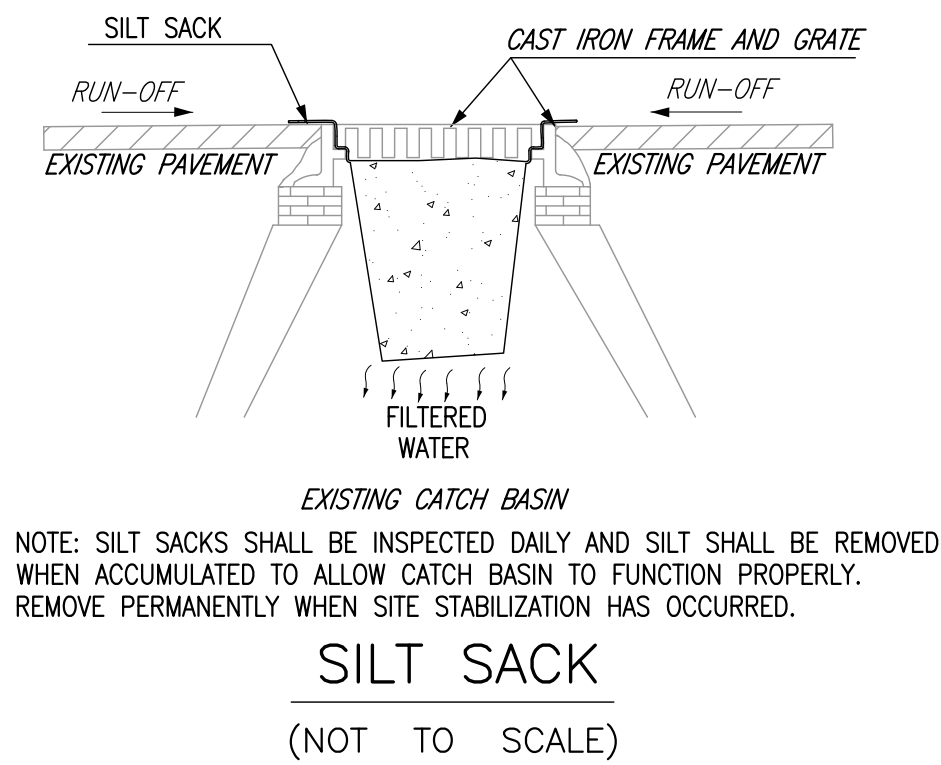
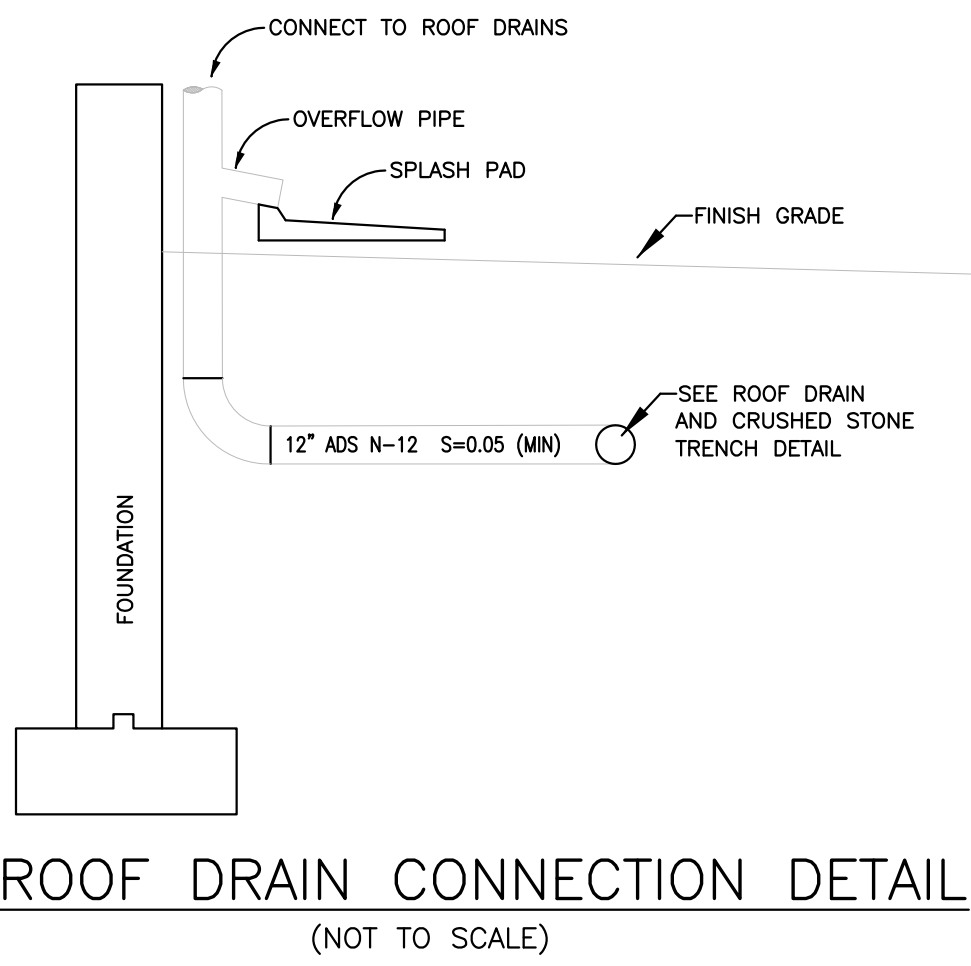
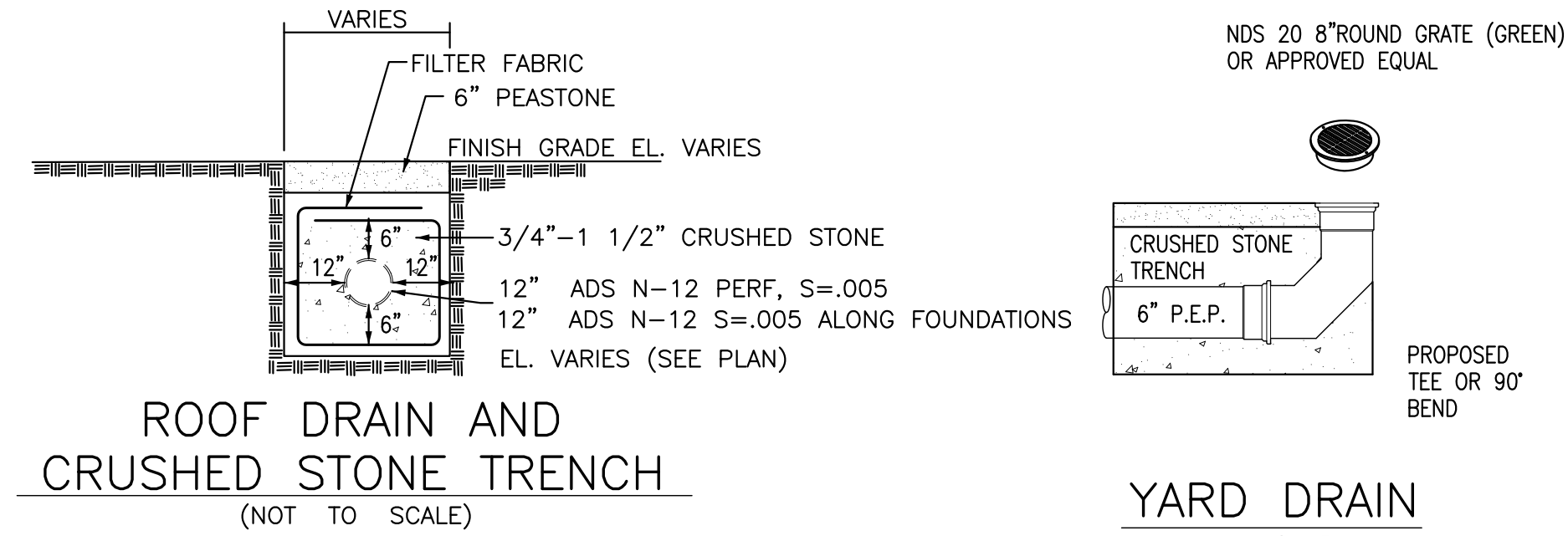
INSTALL UTILITIES (ie, DRAIN, WATER, ELECTRIC, INFILTRATION SYSTEMS etc.)

CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE

INSTALL EROSION CONTROLS ON EXPOSED SLOPES

PLACE BASE COURSE OF PAVEMENT / LOAM AND SEED GRASS AREAS

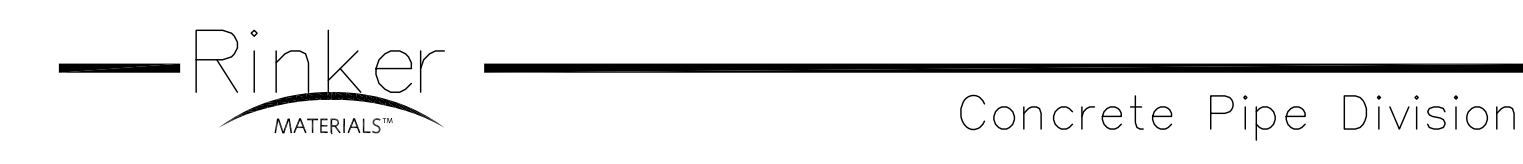
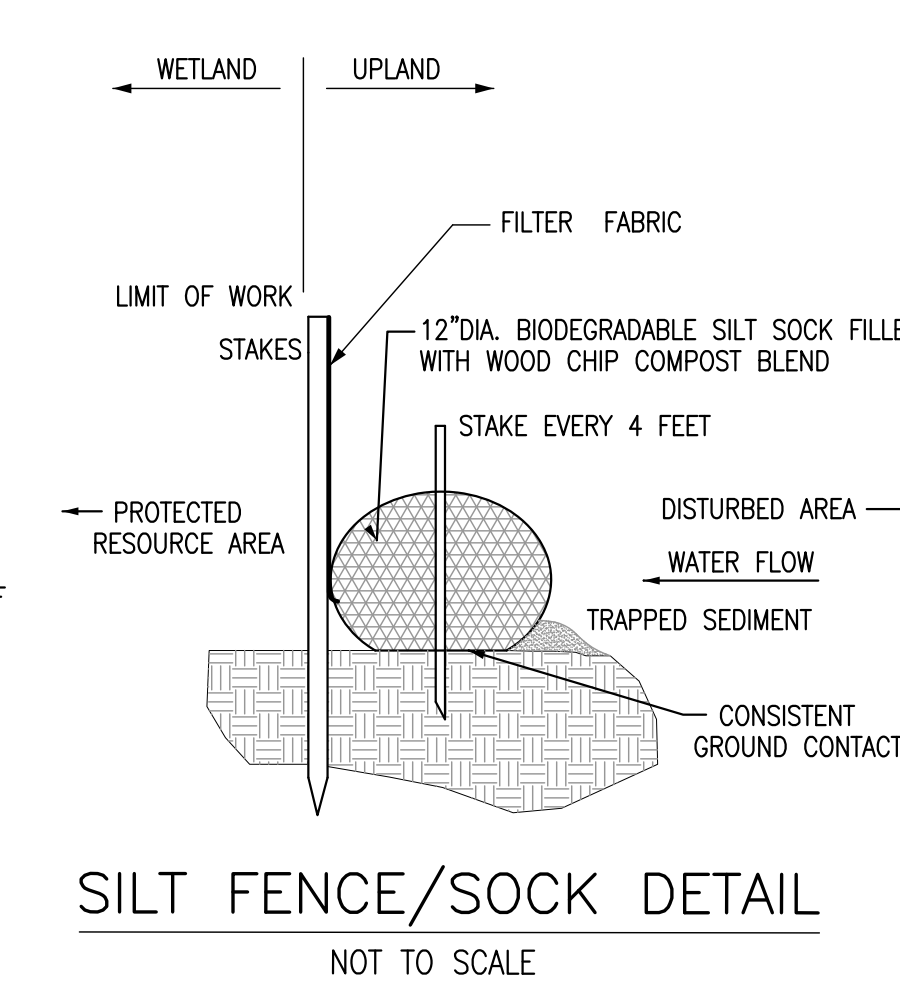
UNCOVER TEMPORARY DRAINAGE SEALS / FINISH PAVING ON ROADWAY



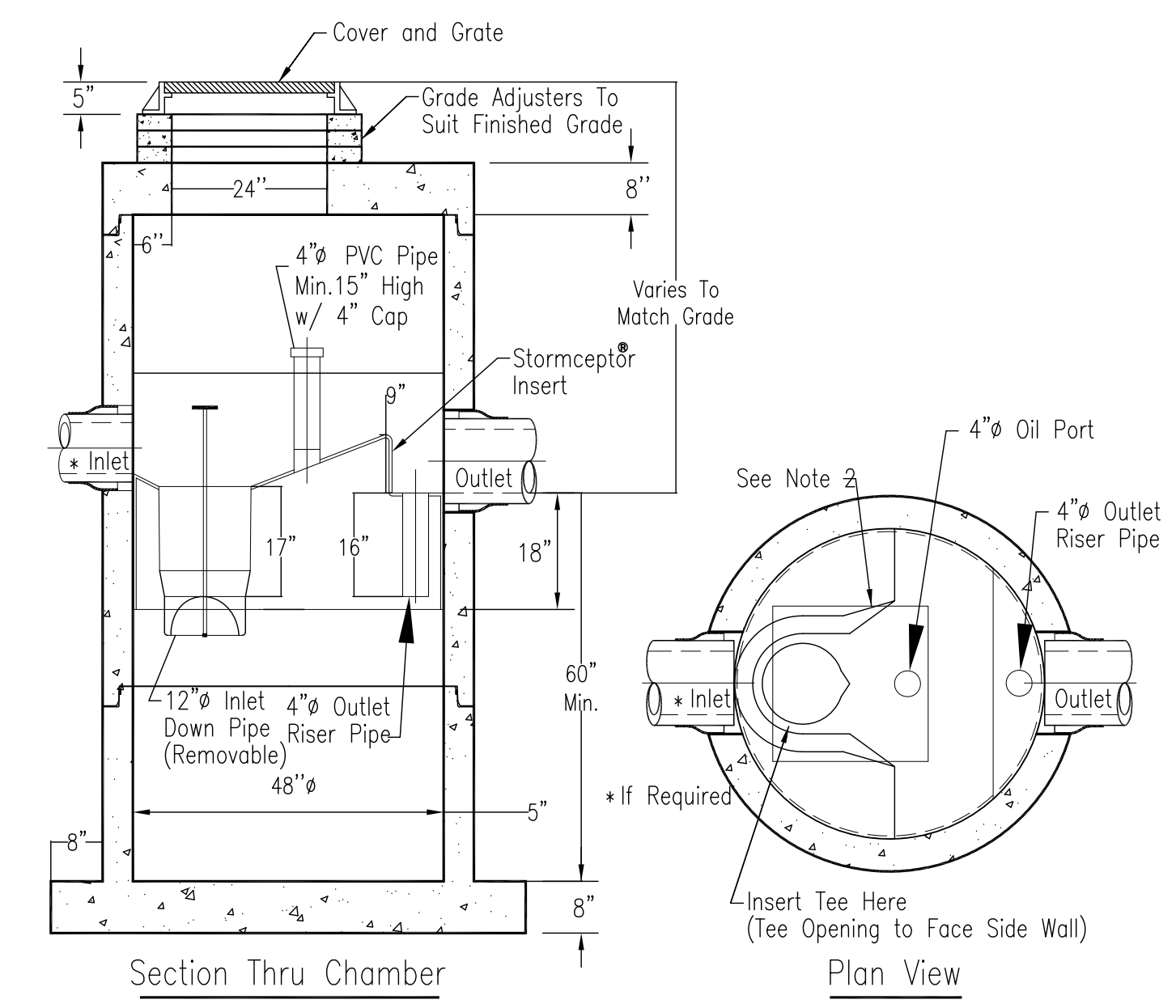
NEW INSTALLATIONS
THE CONDITION OF EACH UNIT SHALL BE CHECKED AFTER EVERY RUNOFF EVENT FOR THE FIRST 30 DAYS. THE VISUAL INSPECTION SHALL ASCERTAIN THAT THE UNIT IS FUNCTIONING PROPERLY (WEIR STRUCTURE IS NOT BLOCKED) AND SHALL MEASURE THE AMOUNT OF SEDIMENT THAT HAS ACCUMULATED IN THE SUMP AND FLOATING TRASH AND DEBRIS IN THE SEPARATION CHAMBER. THIS CAN BE DONE WITH A CALIBRATED "DIP STICK" SO THAT THE DEPTH OF DEPOSITION CAN BE TRACKED. SCHEDULES FOR INSPECTIONS AND CLEAN OUT SHALL BE BASED ON STORM EVENTS AND POLLUTANT ACCUMULATION.

ONGOING OPERATION
DURING THE RAINFALL SEASON, THE UNIT SHALL BE INSPECTED AT LEAST ONCE EVERY 30 DAYS. THE FLOATABLES SHALL BE REMOVED AND THE SUMP CLEANED WHEN THE SUMP IS 85% FULL. IF FLOATABLES ACCUMULATE MORE RAPIDLY THAN THE SETTLEABLE SOLIDS, THE FLOATABLES SHALL BE REMOVED USING A VACTOR TRUCK OR DIP NET WHEN THE LAYER IS TWO FEET THICK.

CLEANOUT AND DISPOSAL
STANDARD VACTOR OPERATIONS SHALL BE EMPLOYED IN THE CLEANOUT OF THE STORMCEPTOR UNITS. DISPOSAL OF MATERIAL FROM THE STORMCEPTOR UNITS SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS. DISPOSAL OF THE DECANT MATERIAL TO A POTW IS RECOMMENDED. FIELD DECANTING TO THE STORM DRAINAGE SYSTEM SHALL NOT BE PERMITTED. SOLIDS CAN BE DISPOSED SIMILAR TO NORMAL PRACTICES FOR MATERIALS COLLECTED FROM CATCH BASIN CLEANING.



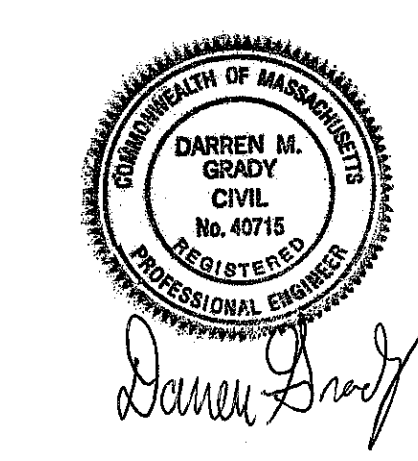
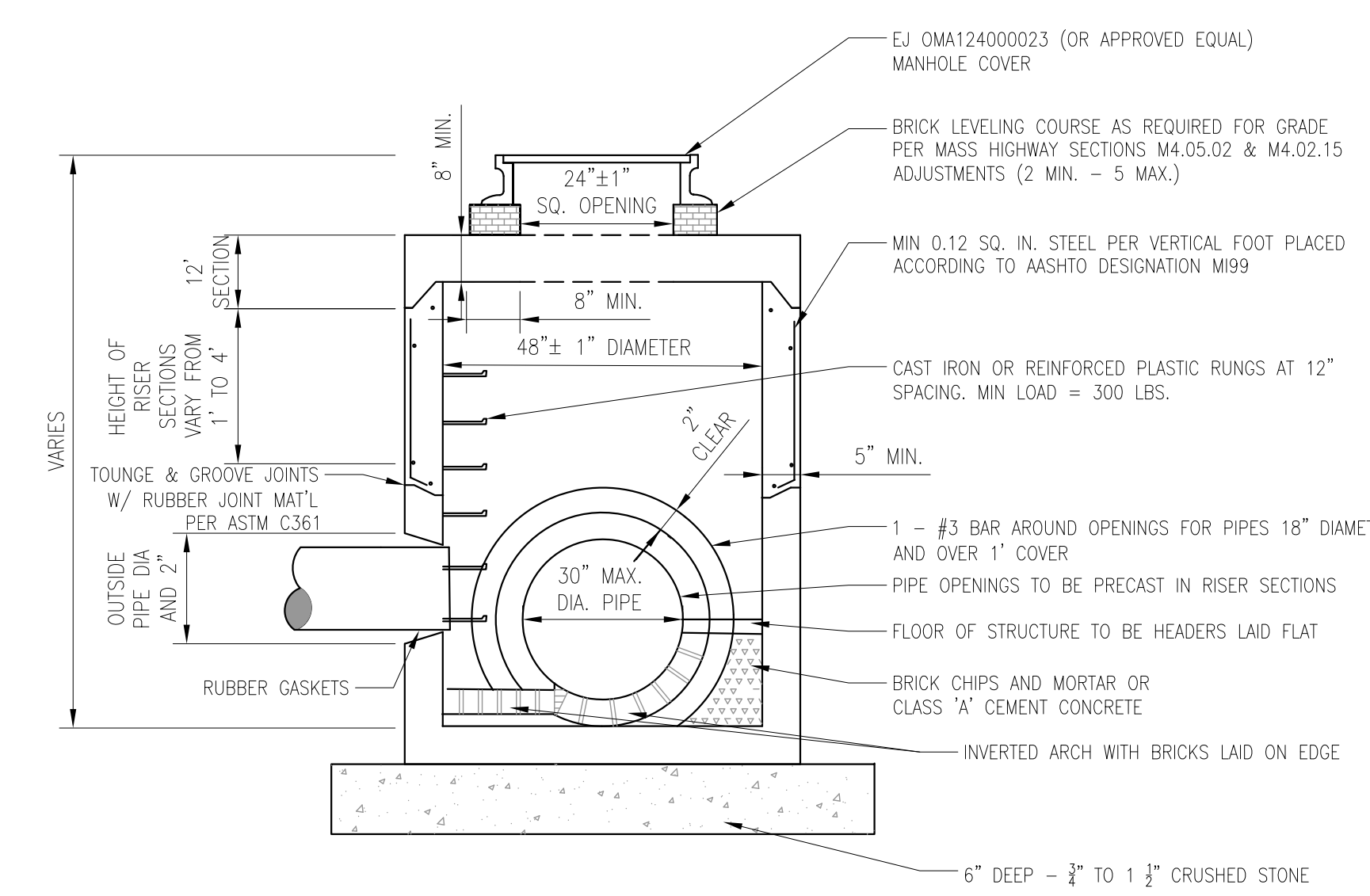
STC 450i Precast Concrete Stormceptor (450 U.S. Gallon Capacity)



- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.
 5. See plan for inlet outlet configuration.

DETAIL - STORMCEPTOR

(NOT TO SCALE)

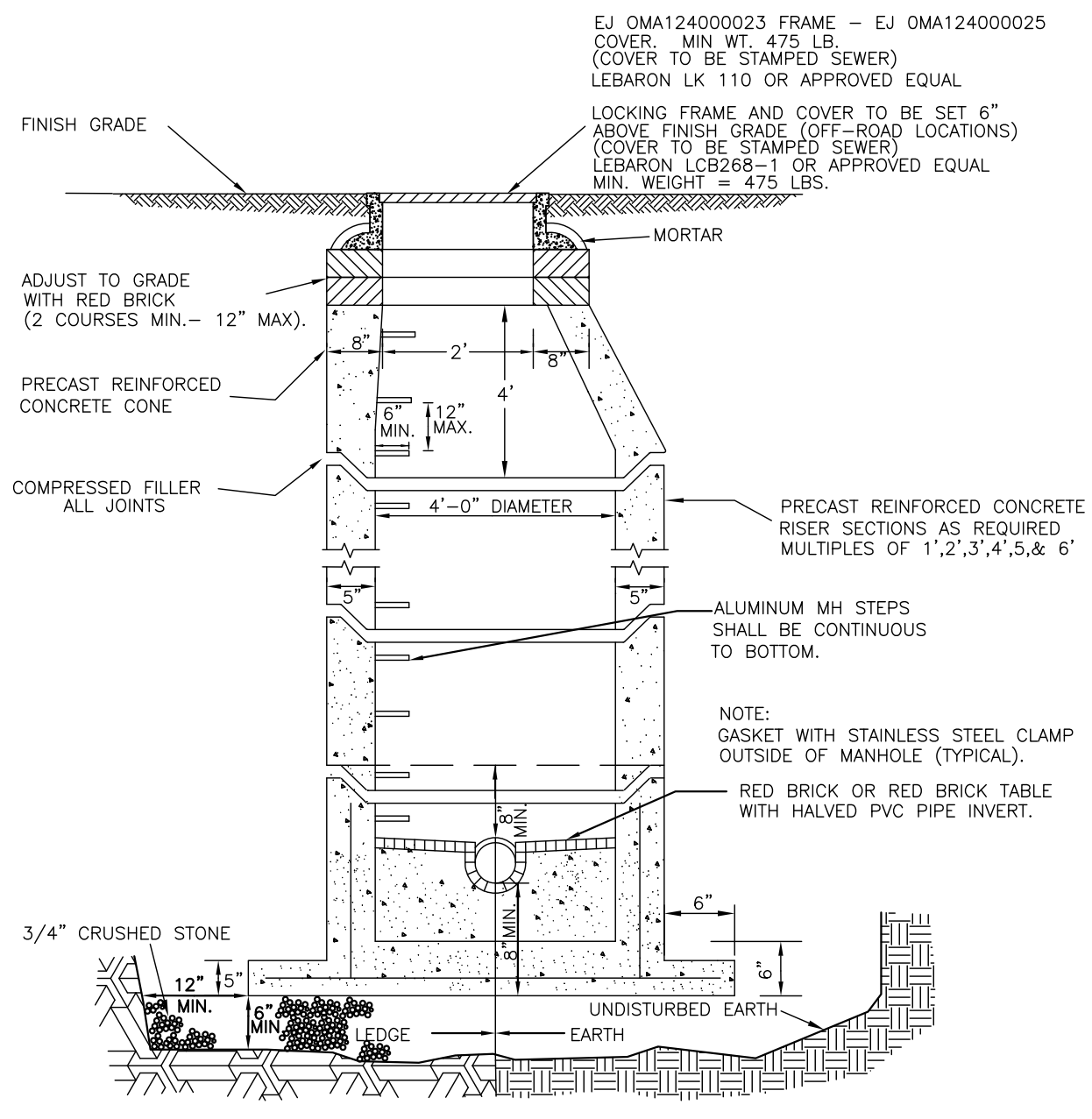


PHASE 2
SITE PLAN
#81 WEST UNION STREET
ASHLAND, MASSACHUSETTS

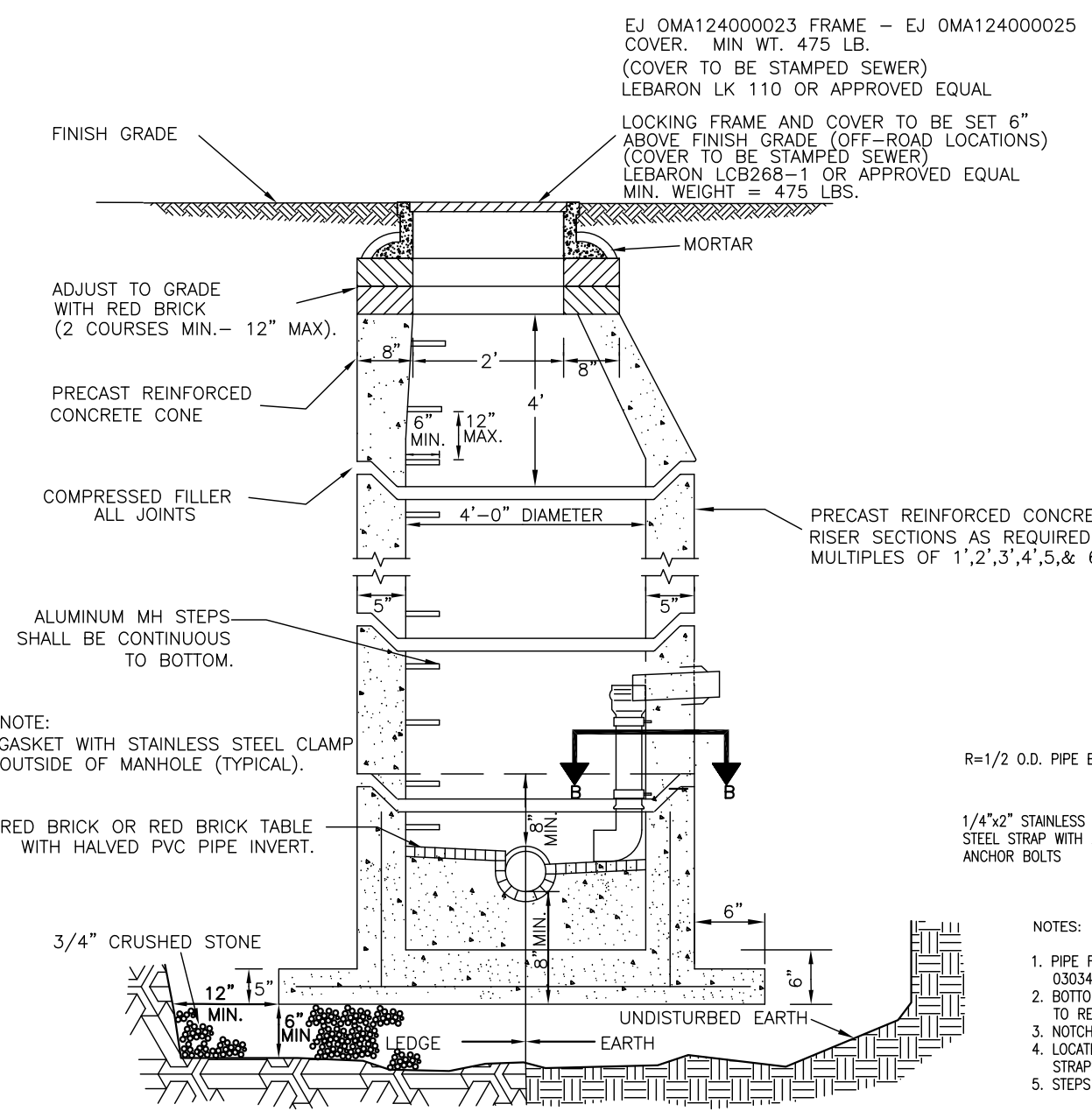
PREPARED FOR:
81 WEST UNION STREET LLC
C/O WILLIAM J. RODENHISER
70 BARTZAK DRIVE
HOLLISTON, MA 01746

JUNE 13, 2019
SCALE: AS SHOWN
JOB No. 18-284

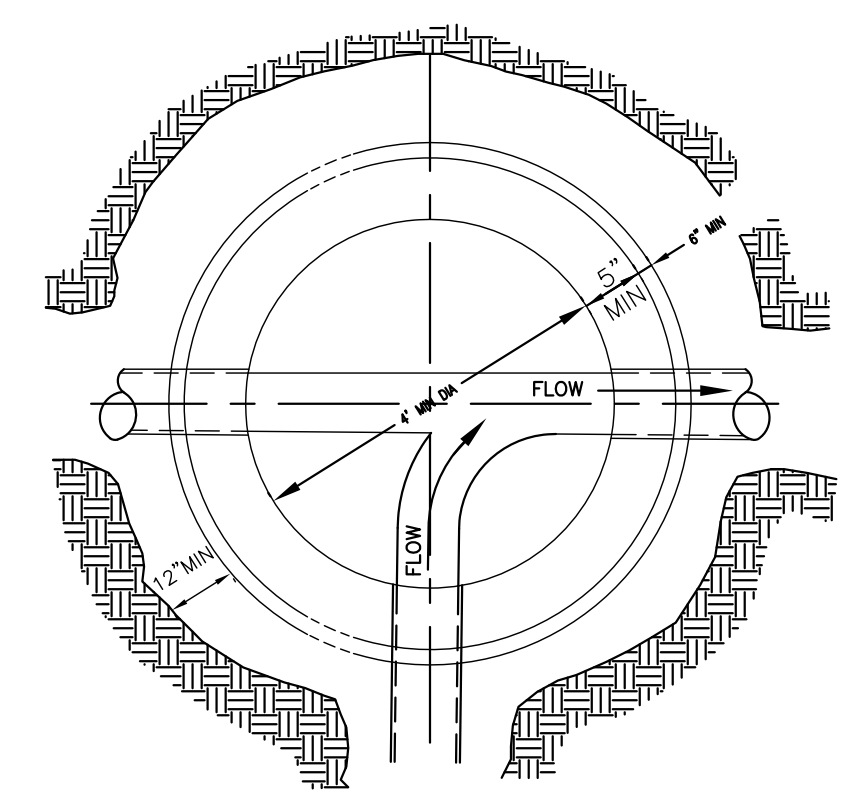
GRADY CONSULTING, L.L.C.
Civil Engineers and Land Surveyors
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



TYPICAL PRECAST CONCRETE SEWER MANHOLE (NOT TO SCALE)



TYPICAL INTERNAL DROP SEWER MANHOLE (NOT TO SCALE)



INVERT TABLE PLAN (NOT TO SCALE)

SRP SCITUATE PRECAST

Leaching Chamber is 48\"/>

Design Notes:
 1. Available in 4 sections. A combination of sections may be used to meet desired length.
 2. Concrete 5,000 PSI 28 days.
 3. Available in 1/2\"/>

AMERICAN CONCRETE PIPE ASSOCIATION

4' x 8' FLOWDIFFUSER TYPE-L

NPCA
 Present... The Concrete Solution

DESIGN NOTES:
 1. CONCRETE STRENGTH 5,000 PSI @ 28 DAYS
 2. STEEL REINFORCEMENT PER ASTM A-615, GRADE-60
 3. DESIGN LOADING PER AASHTO HS-20.

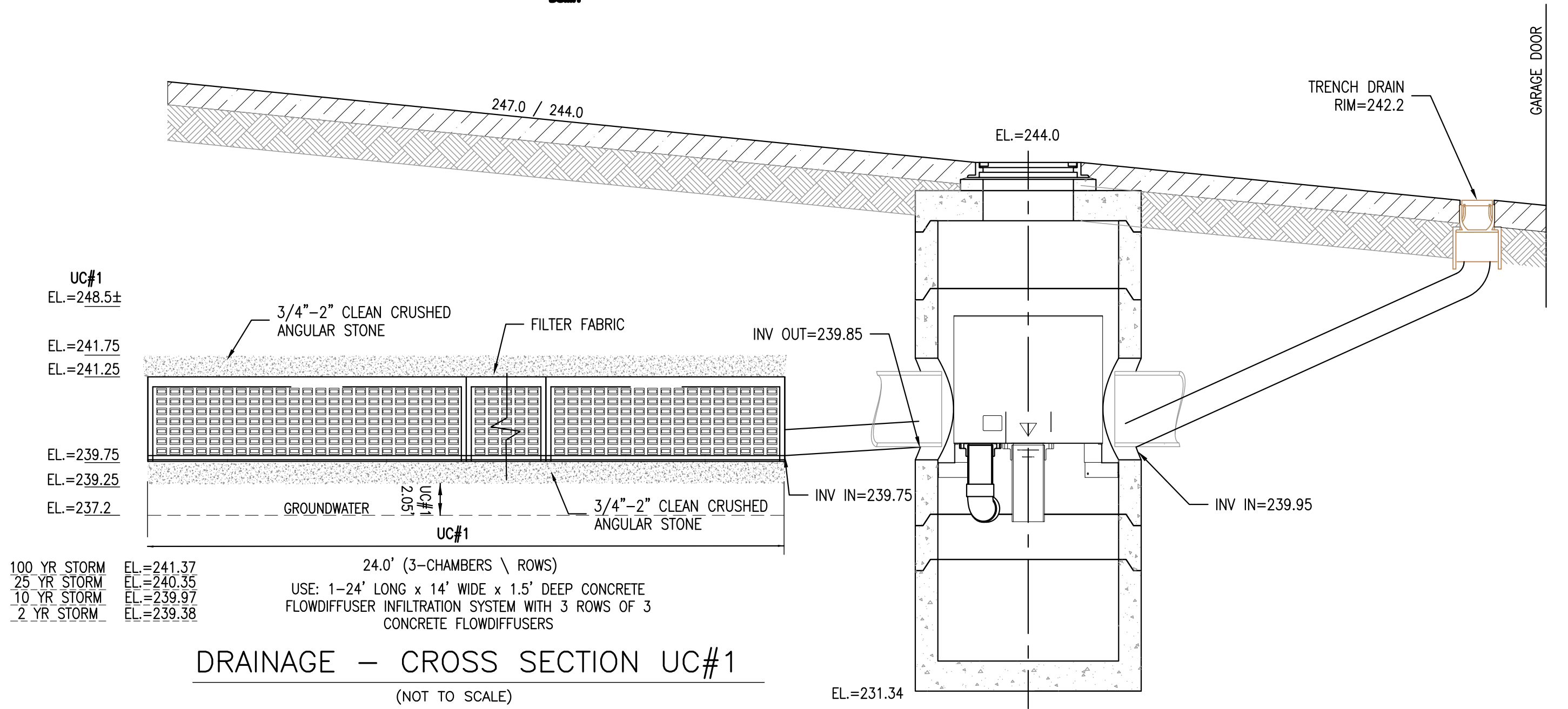
PRODUCT	APPROX. WEIGHT (LBS.)	LEACHING DATA (INCHES)	LEACHING (GAL./FT ² /UNIT)	INSIDE CAPACITY (GALLONS)
4' x 8' x 1'-6\"/>				
2420 lbs.	12	6.2	45.8	242

CONTRACTOR: SCITUATE COMPANIES
 DATE: DRAWING: SRP-FLD-10 DRAWING BY: C.J. SCOTT

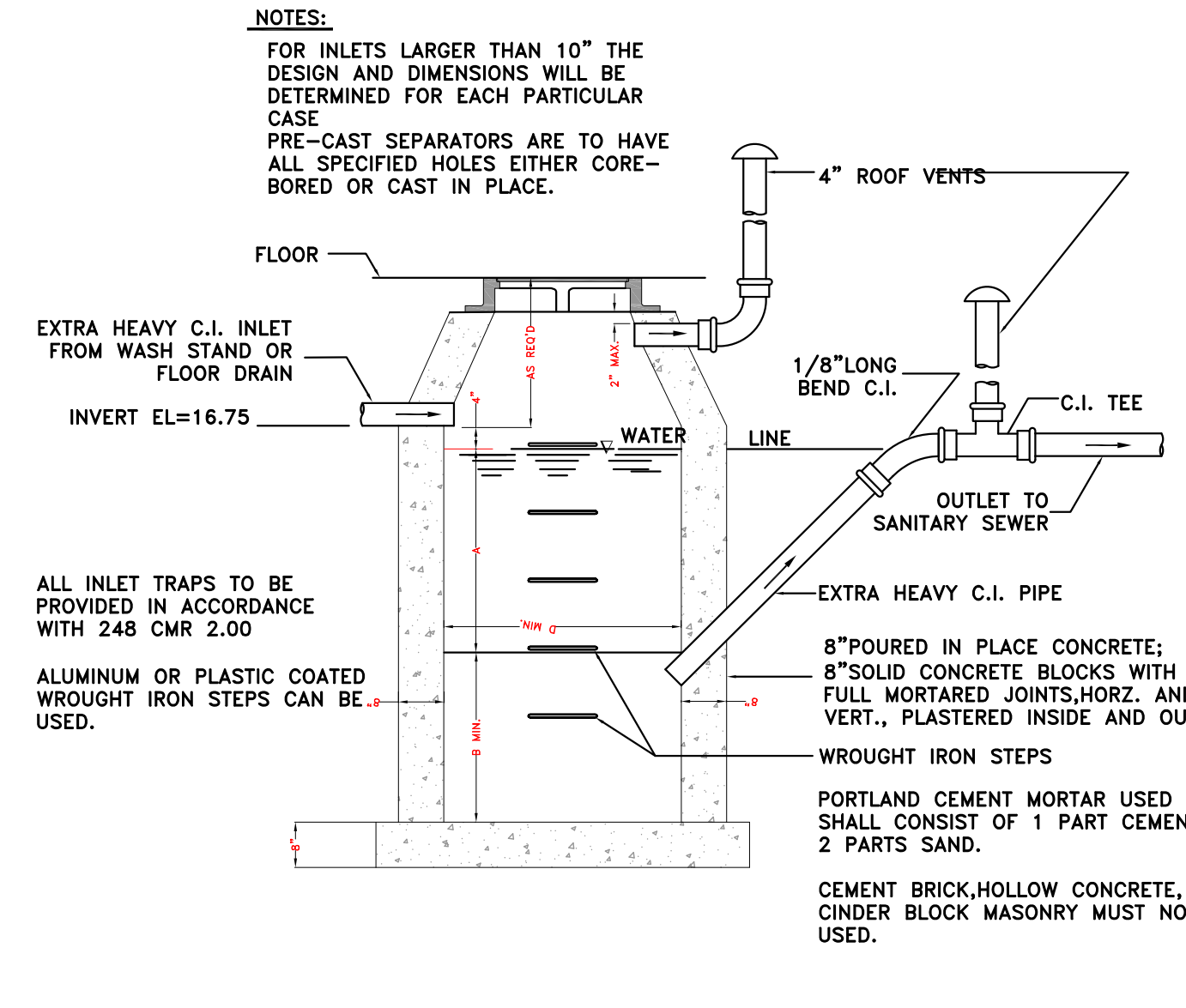
www.scituate-companies.com

4'x4'x4' PRECAST GALLEY (H-20) (NOT TO SCALE)

4'x8'x1.5' FLOWDIFFUSER TYPE-L (H20) (NOT TO SCALE)



DRAINAGE - CROSS SECTION UC#1 (NOT TO SCALE)



INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	8"	5'-0"	6'-0"	5'-0"
5"	3'-6"	5'-0"	4'-0"	5'-6"	5'-6"	4'-6"	4'-0"
	3'-6"	5'-6"	4'-0"	4'-0"	3'-0"	3'-0"	3'-6"
	4'-0"	3'-0"	3'-0"	6'-0"	6'-0"	3'-0"	2'-6"
	4'-0"	4'-0"	3'-0"	2'-6"	6'-6"	3'-6"	3'-0"
	4'-6"	3'-0"	2'-6"	6'-6"	6'-6"	3'-0"	2'-6"
6"	4'-0"	5'-0"	4'-6"	10"	5'-6"	7'-6"	6'-6"
	4'-0"	4'-0"	4'-0"	3'-6"	6'-0"	5'-6"	4'-6"
	4'-6"	4'-0"	3'-6"	6'-0"	6'-0"	5'-6"	5'-6"
	5'-0"	3'-0"	3'-0"	6'-6"	6'-6"	5'-0"	4'-0"

GENERAL CONSTRUCTION NOTES

BASIN TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE. COVER TO HAVE A CENTER HOLE.

A TIGHT COVER MUST BE USED IF BASIN IS LOCATED INSIDE OF BUILDING.

OPENING SHALL BE NOT LESS THAN 24" DIA.

THE CATCH BASIN SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.

INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.

WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.

THE NEW CATCH BASIN MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.

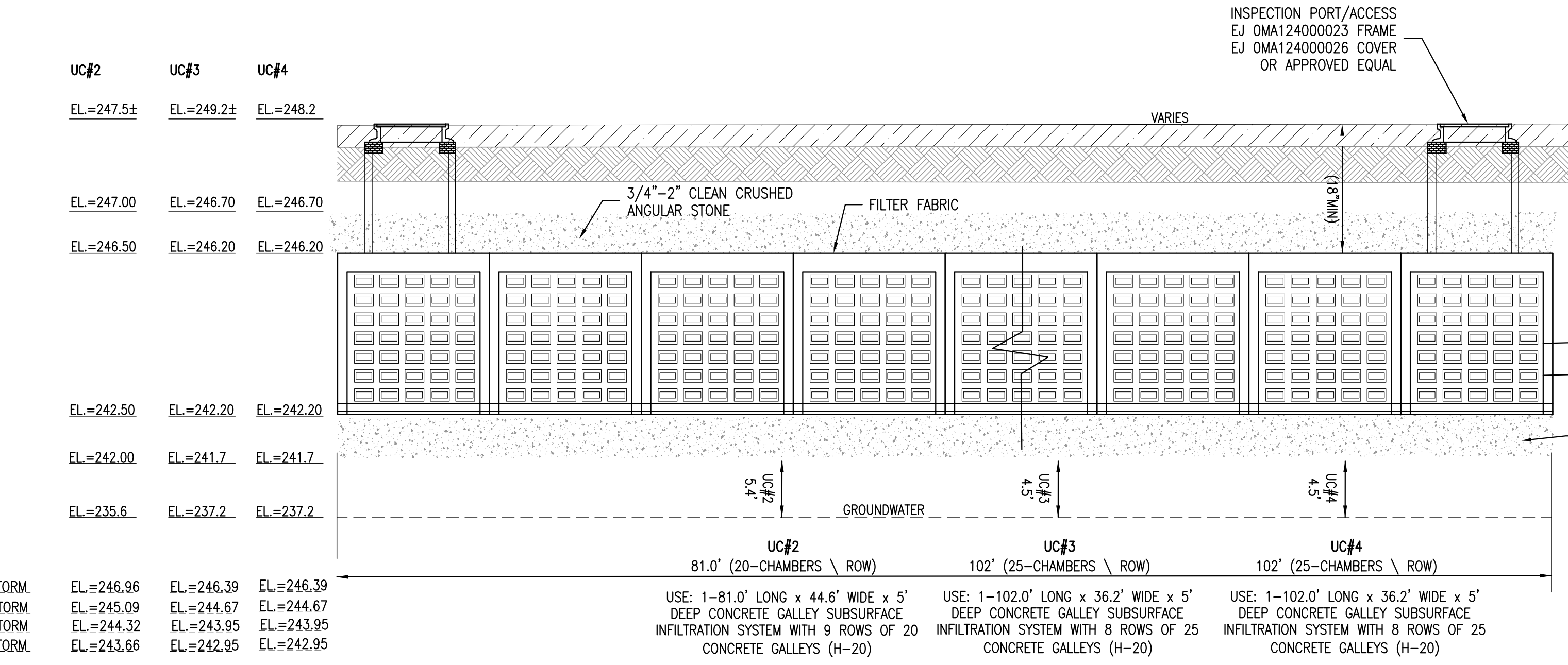
ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FITTINGS.

SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES.

WROUGHT IRON STEPS SHALL BE SPACED ABOUT 18" APART.

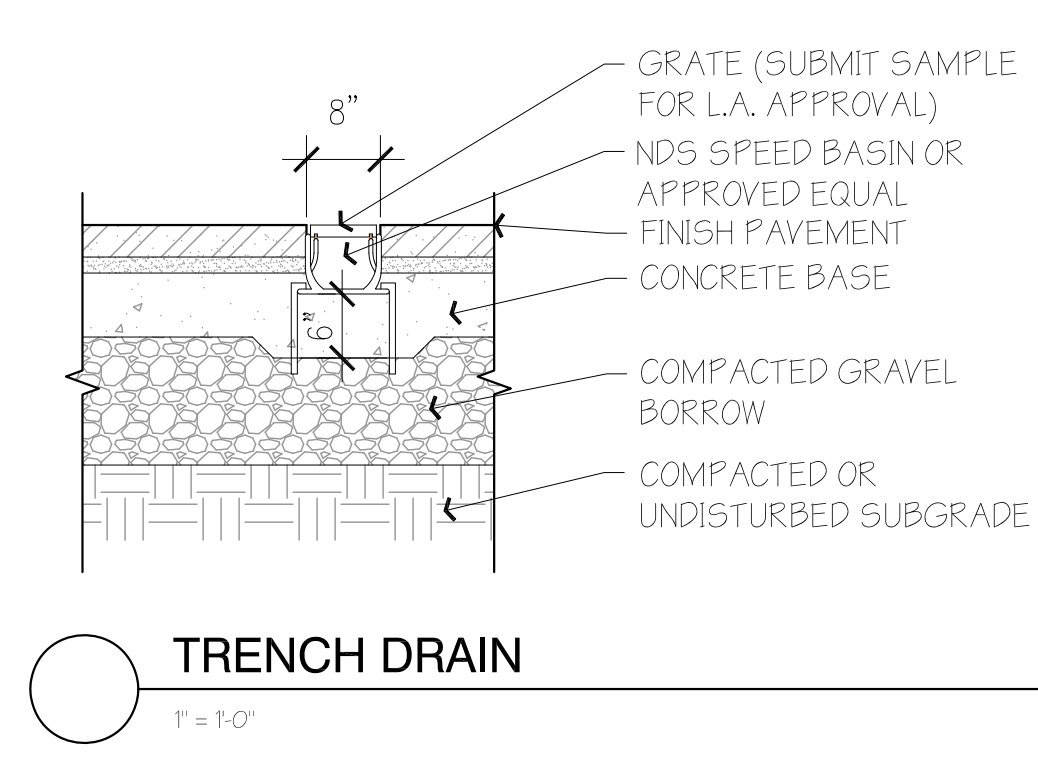
BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES (Outlet pipe to be 45 degree angle)

CONTRACTOR SHALL VERIFY SEWER LOCATION AND ELEVATIONS PRIOR TO INSTALLATION

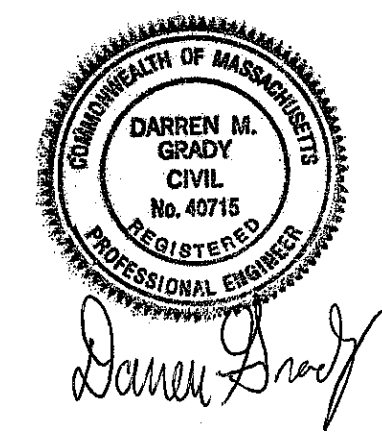


DRAINAGE - CROSS SECTION UC#2, 3 & 4 (NOT TO SCALE)

OIL/GREASE SEPARATOR (NOT TO SCALE)



AFTER CONSTRUCTION, THE SUBSURFACE STRUCTURES SHALL BE INSPECTED FOR PROPER FUNCTION AND STABILIZATION AFTER EVERY MAJOR STORM EVENT UNTIL THE LOT IS COMPLETELY DEVELOPED AND STABILIZED. INSPECT EACH SUBSURFACE STRUCTURE AT LEAST TWICE PER YEAR OR IF LACK OF PERFORMANCE IS OBSERVED AND PERFORM NECESSARY CORRECTIVE MEASURES TO MAINTAIN INFILTRATION CAPACITY; AS REQUIRED BY THE STORMWATER MANAGEMENT POLICY.



PHASE 2 SITE PLAN

#81 WEST UNION STREET
 ASHLAND, MASSACHUSETTS

PREPARED FOR:
 81 WEST UNION STREET LLC
 C/O WILLIAM J. RODENHISER
 70 BARTZAK DRIVE
 HOLLISTON, MA 01746

JUNE 13, 2019
 SCALE: AS SHOWN
 JOB No. 18-284

GRADY CONSULTING, L.L.C.
 Civil Engineers and Land Surveyors
 71 Evergreen Street, Suite 1, Kingston, MA 02364
 Phone (781) 585-2300 Fax (781) 585-2378

SOIL LOGS

(NOT TO SCALE)

DEEP TEST HOLE#08-8 (September 2008)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-12"	A	Sandy Loam	10YR3/3
12"-27"	Bw	Sandy Loam	10YR5/8
27"-50"	C1	Fine Sandy Loam	5Y5/2
50"-126"	C2	Sand (medium)	10YR5/2
Mottling 42"	Weeping 80"	Standing 90"	Refusal None
E.S.H.G.W. = 42"		EL.=238.8±	NGVD Datum

DEEP TEST HOLE#12-09 (May 2012)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-12"	A	Loam	10YR3/3
6"-168"	C	Loamy Sand	2.5Y5/3
Mottling None	Weeping None	Standing None	Refusal None
E.S.H.G.W. > 168"		EL.=237.5±	NGVD Datum

DEEP TEST HOLE#12-10 (May 2012)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-6"	A	Loam	10YR3/3
6"-42"	B	Sandy Loam	10YR4/6
42"-186"	C	Fine Sandy Loam	2.5Y5/3
Mottling None	Weeping None	Standing None	Refusal None
E.S.H.G.W. = > 186"		EL.=235.6±	NGVD Datum

DEEP TEST HOLE#13-05 (January 2014)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-17"	A	Loam	10YR3/6
17"-38"	B	Sandy Loam	10YR5/6
38"-132"	C	Sand	2.5Y5/3
Mottling None	Weeping None	Standing None	Refusal None
E.S.H.G.W. > 132"		EL.=238.4±	NGVD Datum

DEEP TEST HOLE#13-01 (January 2014)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-8"	A	Loam	10YR2/2
8"-24"	B	Sandy Loam	10YR4/6
24"-54"	C1	Sandy Loam	5Y5/3
54"-102"	C2	Sand (medium)	2.5Y5/4
Mottling None	Weeping None	Standing 78"	Refusal None
E.S.H.G.W. = 78"		EL.=237.8±	NGVD Datum

MONITORING WELL #12-09 READINGS			
BOTTOM DEPTH = 13.8' (EL.=237.7± NGVD)			
Date	Water Depth	Elevation	Datum
May 2012	>13.8'	<237.7±	NGVD
January 2014	>13.8'	<237.7±	NGVD

MONITORING WELL #13-01 READINGS			
BOTTOM DEPTH = 8.5' (EL.=235.8± NGVD)			
Date	Water Depth	Elevation	Datum
January 2014	6.5'	237.8±	NGVD

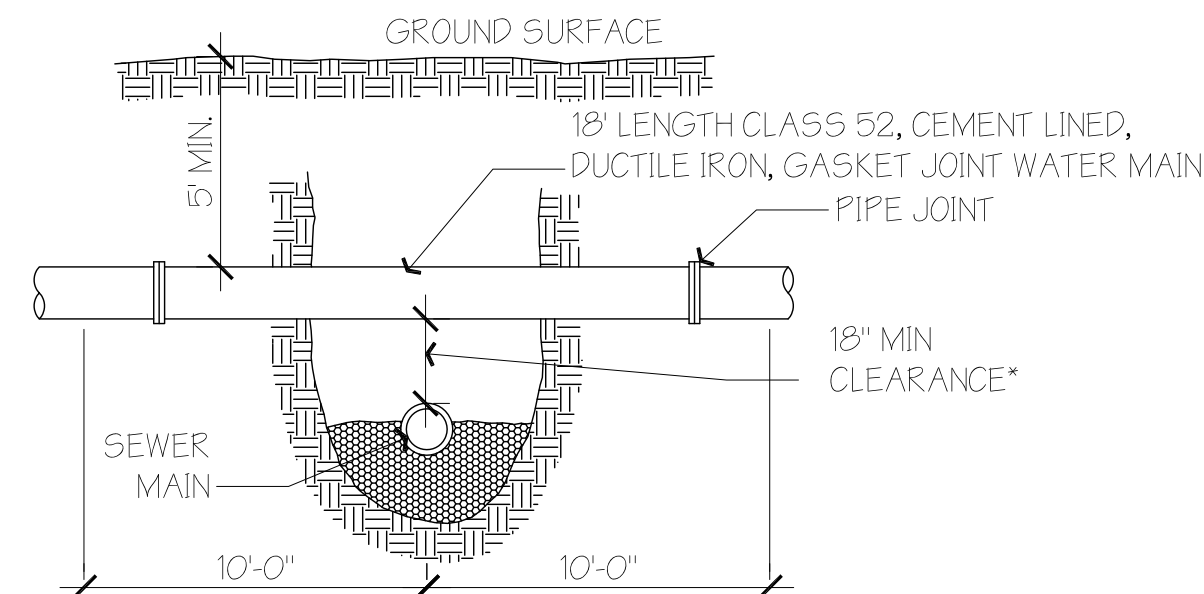
MONITORING WELL #13-03 READINGS			
BOTTOM DEPTH = 8.5' (EL.=235.8± NGVD)			
Date	Water Depth	Elevation	Datum
January 2014	8.5'	237.2±	NGVD

MONITORING WELL #13-05 READINGS			
BOTTOM DEPTH = 11.0' (EL.=238.4± NGVD)			
Date	Water Depth	Elevation	Datum
January 2014	>11'	238.4±	NGVD

DEEP TEST HOLE#16-01 (NOVEMBER 2016)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-12"	A	Sandy Loam	10YR3/2
12"-32"	Bw	Sandy Loam	10YR5/6
32"-72"	C1	Sand	2.5Y6/3
72"-120"	C2	Gravelly Loamy Sand	2.5Y5/4
Mottling NONE	Weeping NONE	Standing NONE	Refusal None
E.S.H.G.W. ≥10'		EL.=237.2±	NGVD Datum

DEEP TEST HOLE#16-02 (NOVEMBER 2016)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-12"	A	Sandy Loam	10YR3/3
12"-36"	Bw	Sandy Loam	10YR5/6
36"-84"	C1	Sandy Loam	2.5Y5/4
84"-108"	C2	Loamy Sand	2.5Y5/4
108"-114"	C3	Coarse Loamy Sand	2.5Y5/4
Mottling 40"	Weeping NONE	Standing NONE	Refusal None
E.S.H.G.W. 40"		EL.=239.5±	NGVD Datum

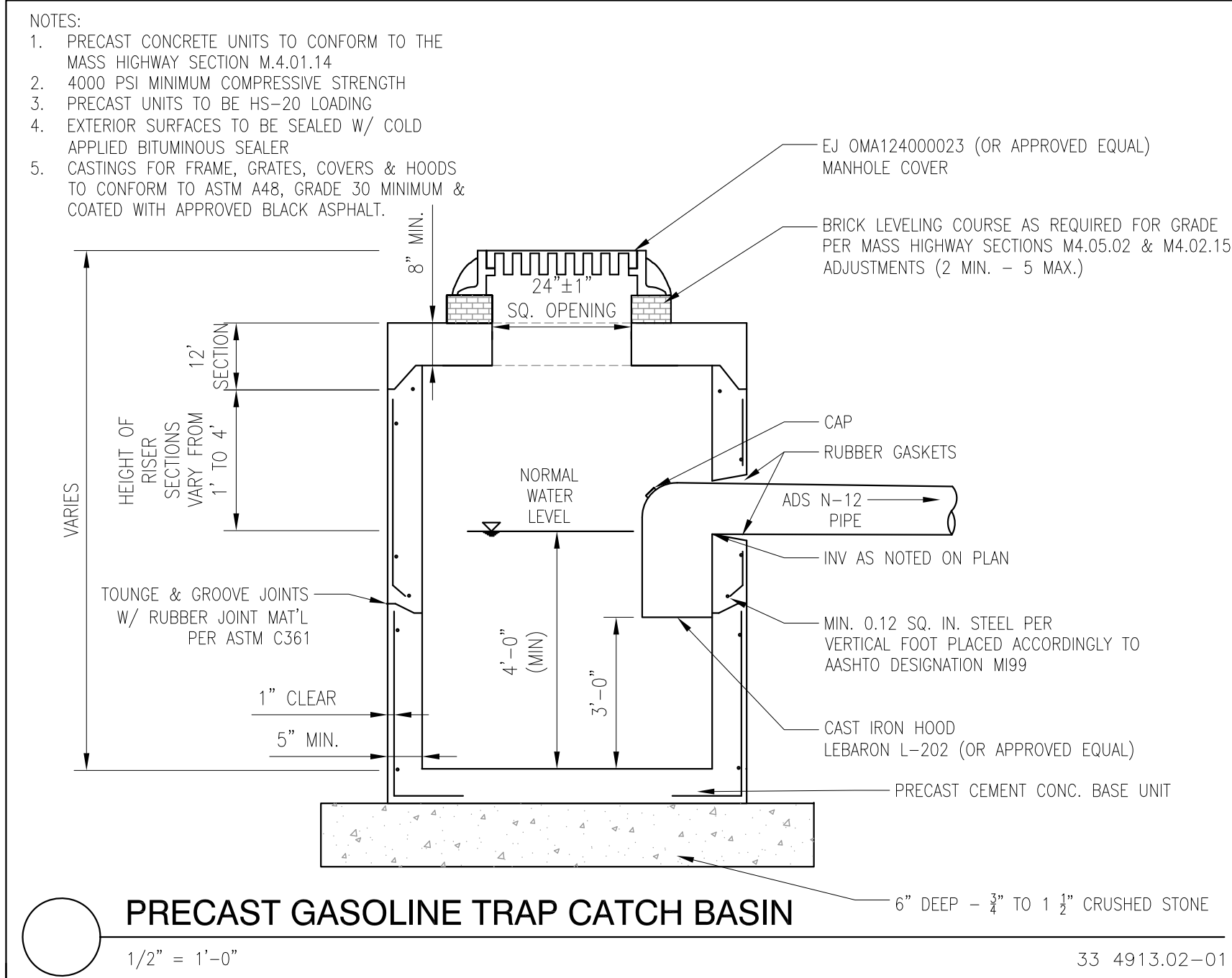
DEEP TEST HOLE#16-03 (NOVEMBER 2016)			
Depth	Soil Horizon	Soil Texture	Soil Color
0"-12"	A	Sandy Loam	10YR3/3
12"-36"	Bw	Sandy Loam	10YR5/6
36"-72"	C1	Sandy Loam	2.5Y5/4
72"-96"	C2	Loamy Sand	2.5Y5/4
Mottling 40"	Weeping NONE	Standing NONE	Refusal None
E.S.H.G.W. 40"		EL.=240.9±	NGVD Datum



WHEN THE CROSSING AS SHOWN IS LESS THAN 18" VERTICAL CLEARANCE THE SEWER MAIN ORS-14" VALVE SERVICE MUST BE ENCASED 10' ON BOTH SIDES OF CROSSING WITH 6" OF 3000 PSI CONCRETE IF THE SEWER MAIN OR SERVICE CROSSES ABOVE THE WATERMAIN OR SERVICE TOTAL ENCASUREMENT, BOTH SIDES OF THE CROSSING IS REQUIRED, REGARDLESS OF SEPARATION.

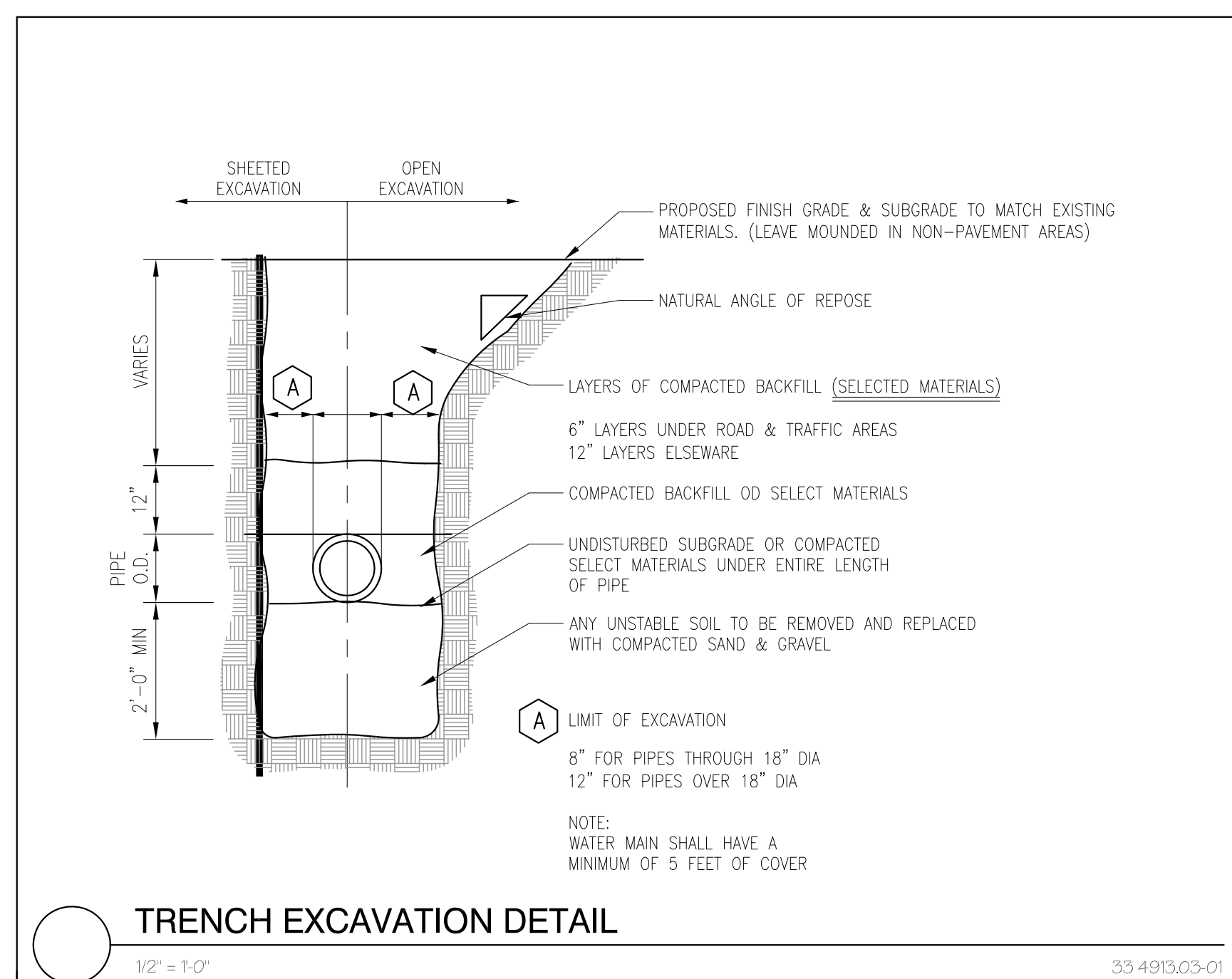
TYPICAL WATER CROSSING DETAIL

N.T.S. DRAWING 33-1102-01



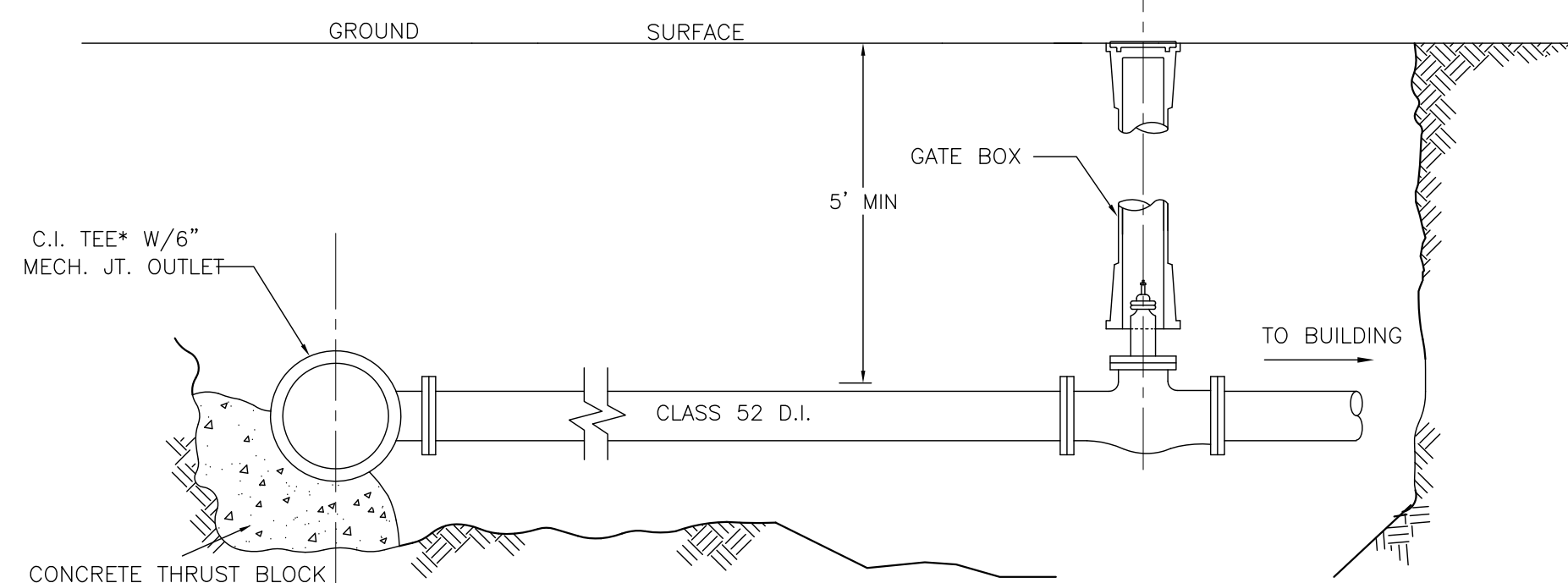
PRECAST GASOLINE TRAP CATCH BASIN

1/2" = 1'-0" 33 4913.02-01



TRENCH EXCAVATION DETAIL

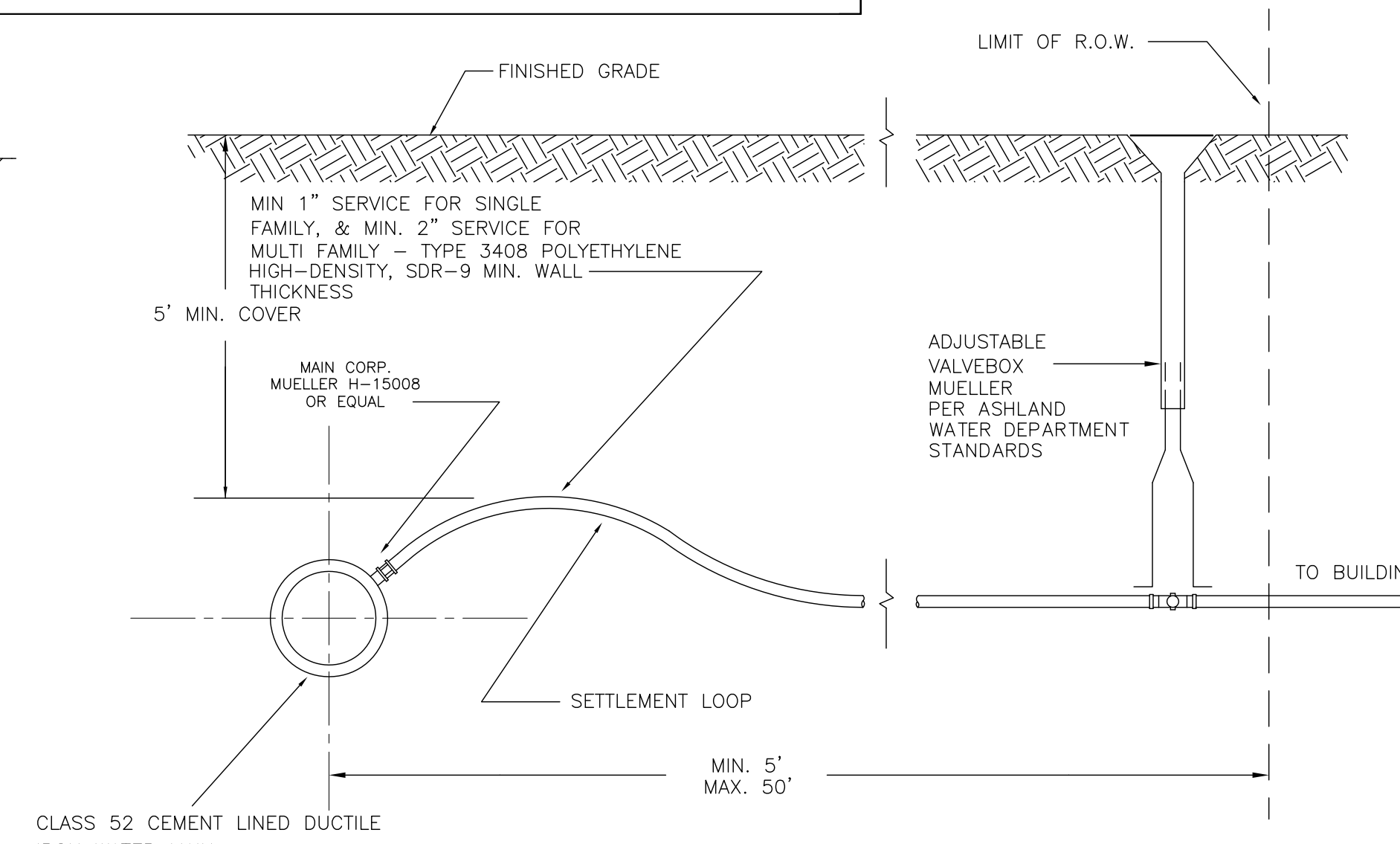
1/2" = 1'-0" 33-4913.03-01



ALL VALVES AND FITTINGS ARE TO BE MECHANICAL JOINTS VALVE BOXES SHALL BE CAST IRON, ADJUSTABLE, SLIP AND MANUFACTURED IN NORTH AMERICA. VALVES SHALL BE IN ACCORDANCE WITH ASHLAND WATER DEPARTMENT STANDARDS

NOTES: SEE PLAN FOR FIRE SERVICE SIZES FIRE SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH ASHLAND WATER DEPARTMENT AND FIRE DEPARTMENT STANDARDS

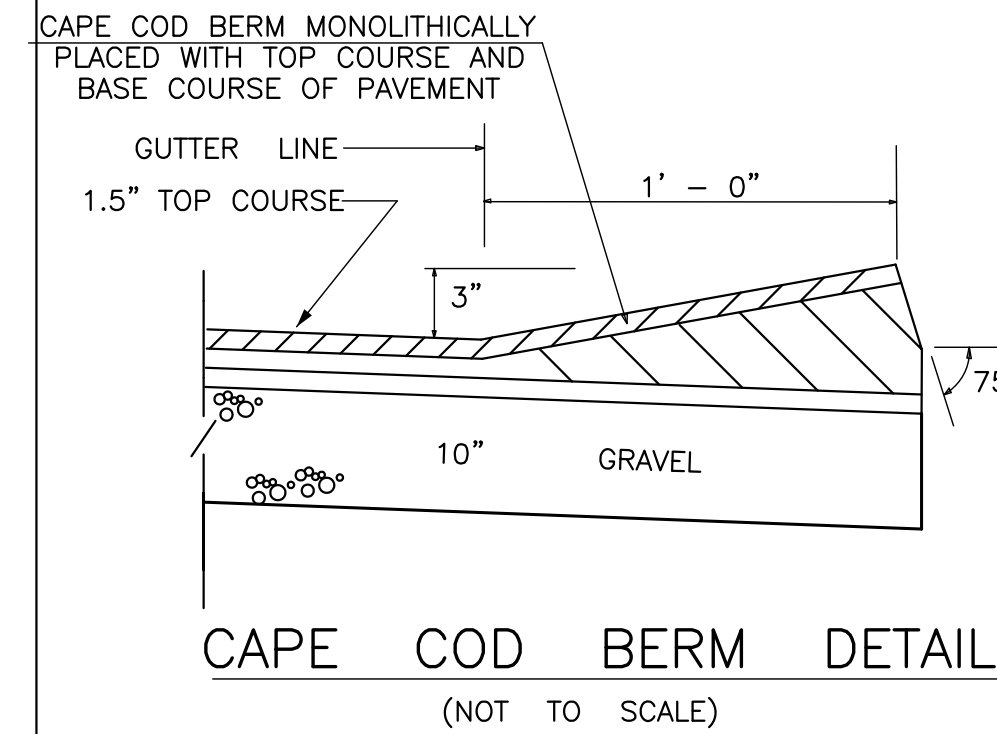
FIRE SERVICE DETAIL (CONNECTION TO PROPOSED WATER MAIN) (NOT TO SCALE)



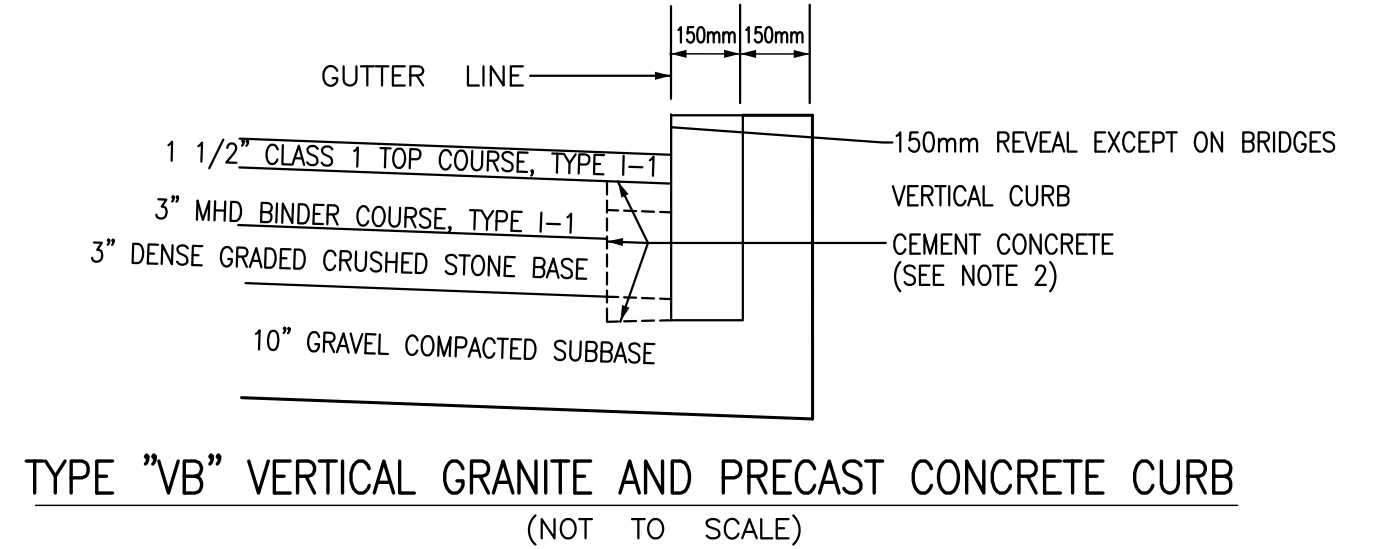
TYPICAL PERMANENT SERVICE CONNECTION

2" OR LESS CONNECTION TO NEW BUILDING

(NOT TO SCALE)



CAPE COD BERM DETAIL (NOT TO SCALE)

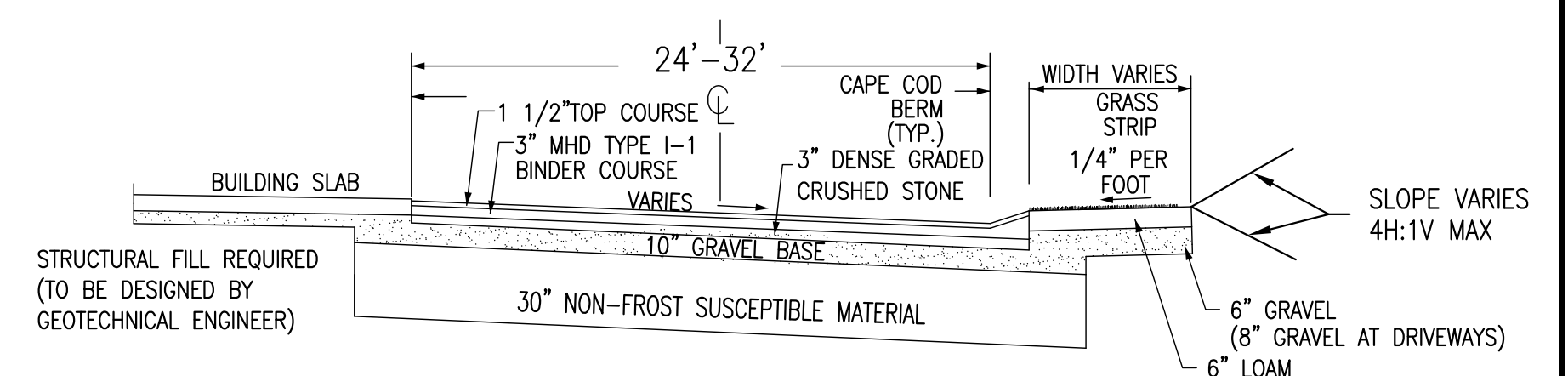


TYPE "VB" VERTICAL GRANITE AND PRECAST CONCRETE CURB (NOT TO SCALE)

ALL MATERIALS AND CONSTRUCTION METHODOLOGY SHALL CONFORM TO THE MASSACHUSETTS HIGHWAY DEPARTMENT'S STANDARD SPECIFICATIONS.

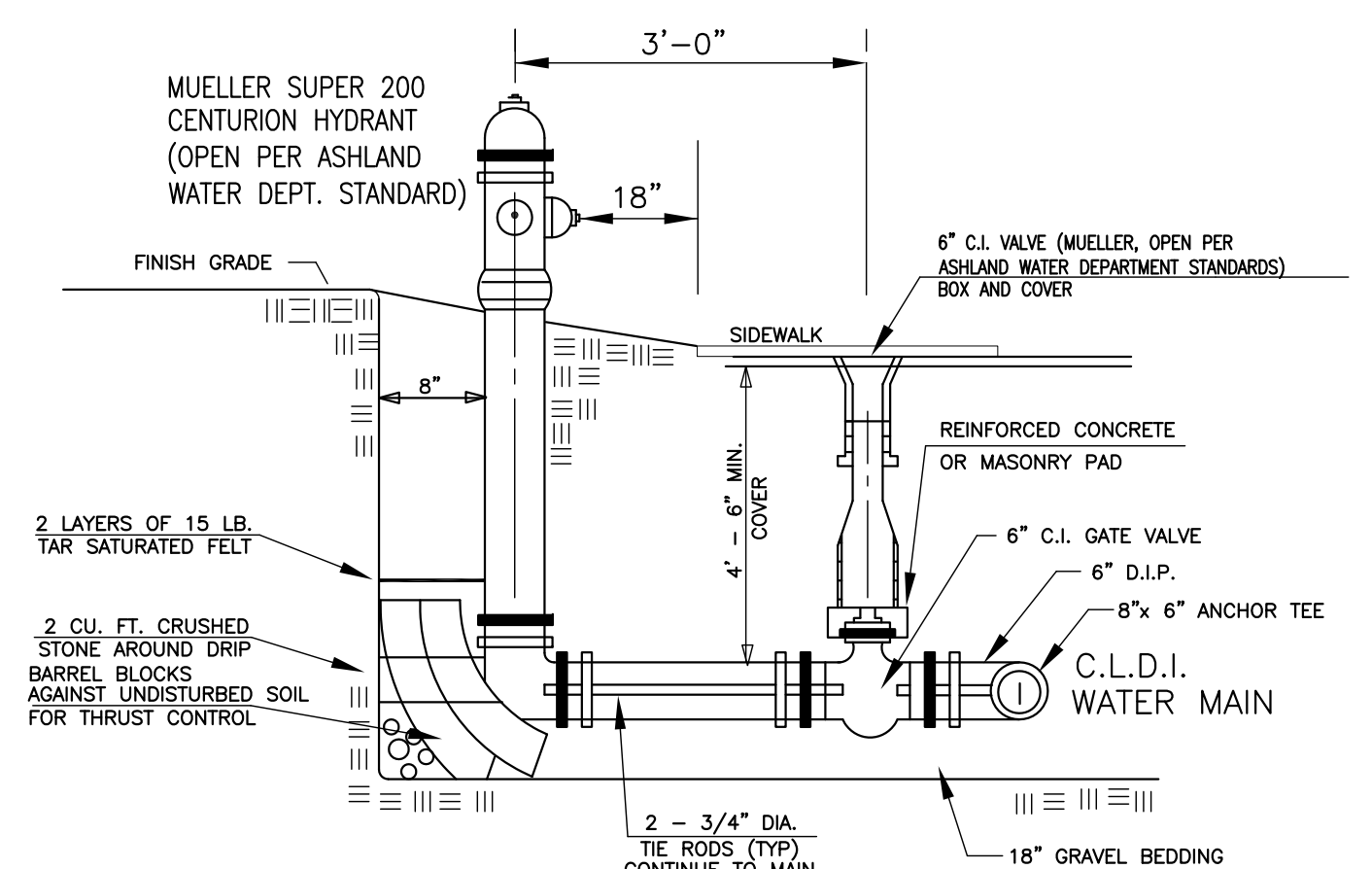
PROCEDURE DESCRIBED HEREIN IS APPLICABLE ONLY IF CURB IS TO BE SET AFTER BASE AND/OR BINDER COURSES ARE IN PLACE OTHERWISE CEMENT CONC. WILL BE ELIMINATED AND GRAVEL BROUGHT UP TO BOTTOM OF BASE COURSE. FOR DESCRIPTION, MATERIALS AND CONSTRUCTION METHOD, SEE STANDARD SPECIFICATIONS

- NOTES:
- CUT NEAT LINE 150mm FROM CURB LINE AND REMOVE BINDER, BASE AND STONE REPLACE WITH CEMENT CONCRETE.
 - ANY DESIGNATED CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE STANDARD SPECIFICATIONS, ALL TEST REQUIREMENTS ARE WAIVED. BITUMINOUS CONCRETE IS NOT TO BE USED AS A SUBSTITUTE.

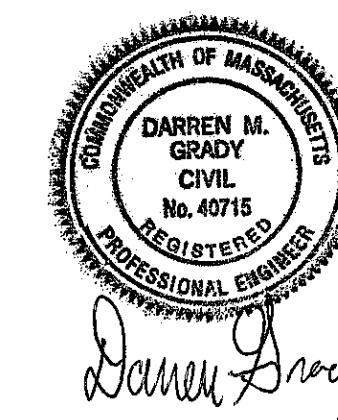


- NOTE:
- FILL BELOW THE ROADWAY SHALL BE PLACED IN LIFTS HAVING A COMPACTED THICKNESS OF 6-INCHES AND BE COMPACTED TO A MINIMUM OF 95 PERCENT OF ITS MAXIMUM MODIFIED PROCTOR DRY DENSITY.
 - PAVEMENT SHALL HAVE A DENSITY EQUAL TO OR GREATER THAN 95 PERCENT MAXIMUM DENSITY (NUCLEAR IN PLACE TEST).

DRIVEWAY SECTION (NOT TO SCALE)



TYPICAL HYDRANT DETAIL (NOT TO SCALE)



PHASE 2 SITE PLAN
#81 WEST UNION STREET
ASHLAND, MASSACHUSETTS

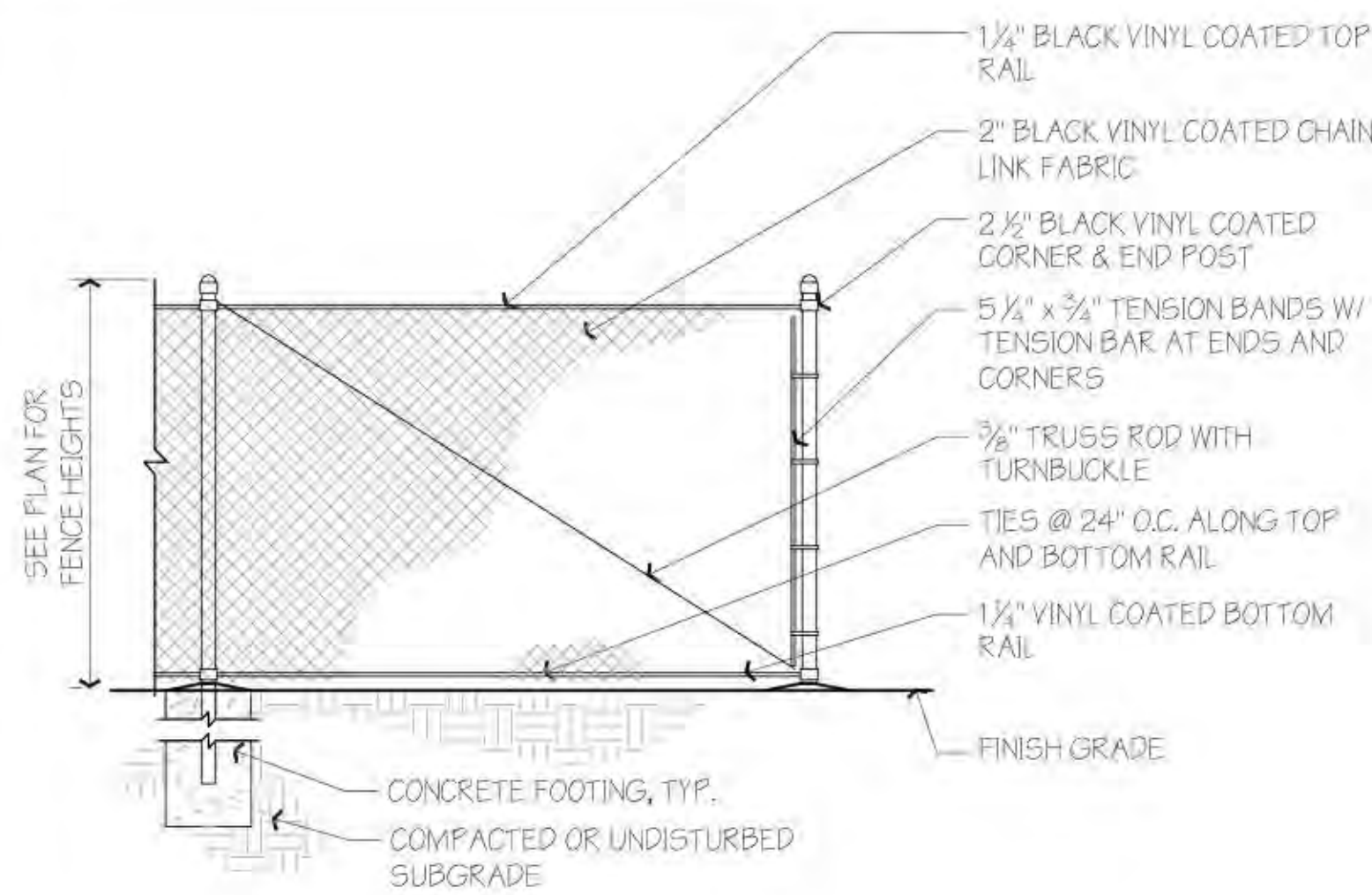
PREPARED FOR:
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(DETAILS)

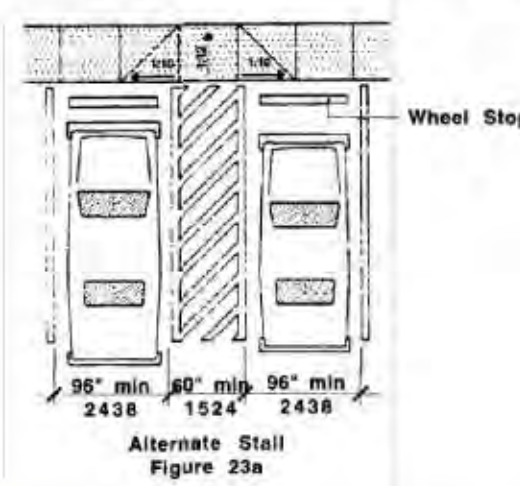
SHEET 9 OF 11



CHAIN LINK FENCE DETAIL
N.T.S. 32 2413/02/01

23.4.6 Access aisles: All accessible spaces shall have access aisles that comply with the following:

- Parking access aisles shall be part of an accessible route to the building or facility entrance and shall comply with §21 CMR 10.00: ACCESSIBLE ROUTE.
Exception: For temporary accessible parking, directional signage along the entire accessible route, using the international symbol of accessibility and an arrow, shall be used to direct people to the closest accessible entrance.
- Access aisles adjacent to accessible spaces shall be five feet (5' = 1524mm) wide minimum, except adjacent to van accessible spaces the access aisle shall be a minimum of eight feet (8' = 2438mm) wide.
Exception: When temporary accessible parking is located within a field or otherwise ungraded site, when such area has not been improved in accordance with §21 CMR, the spaces shall be located on the least sloping area of the parking lot in conjunction with the temporary accessible parking spaces.
- Two accessible parking spaces may share a common access aisle. See Fig. 23a and 23b.

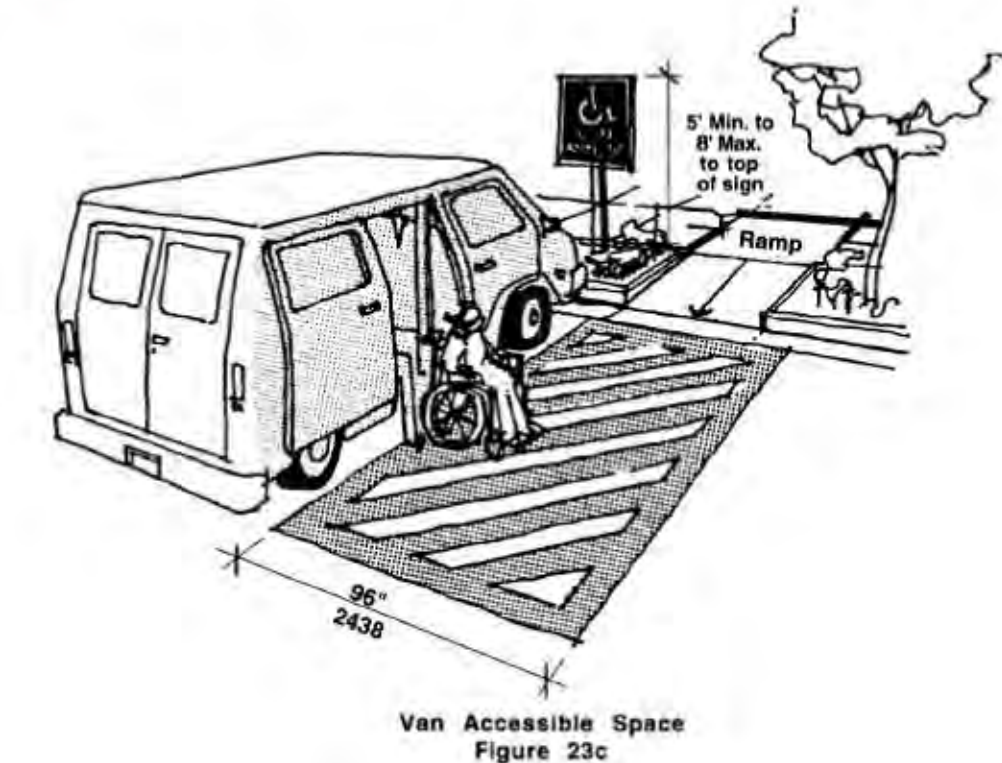


- Access aisles shall be level with surface slopes not exceeding 1:50 (2%) in all directions.
- Access aisles shall be clearly marked by means of diagonal stripes.

23.4.7 Van Accessible spaces shall comply with the following:

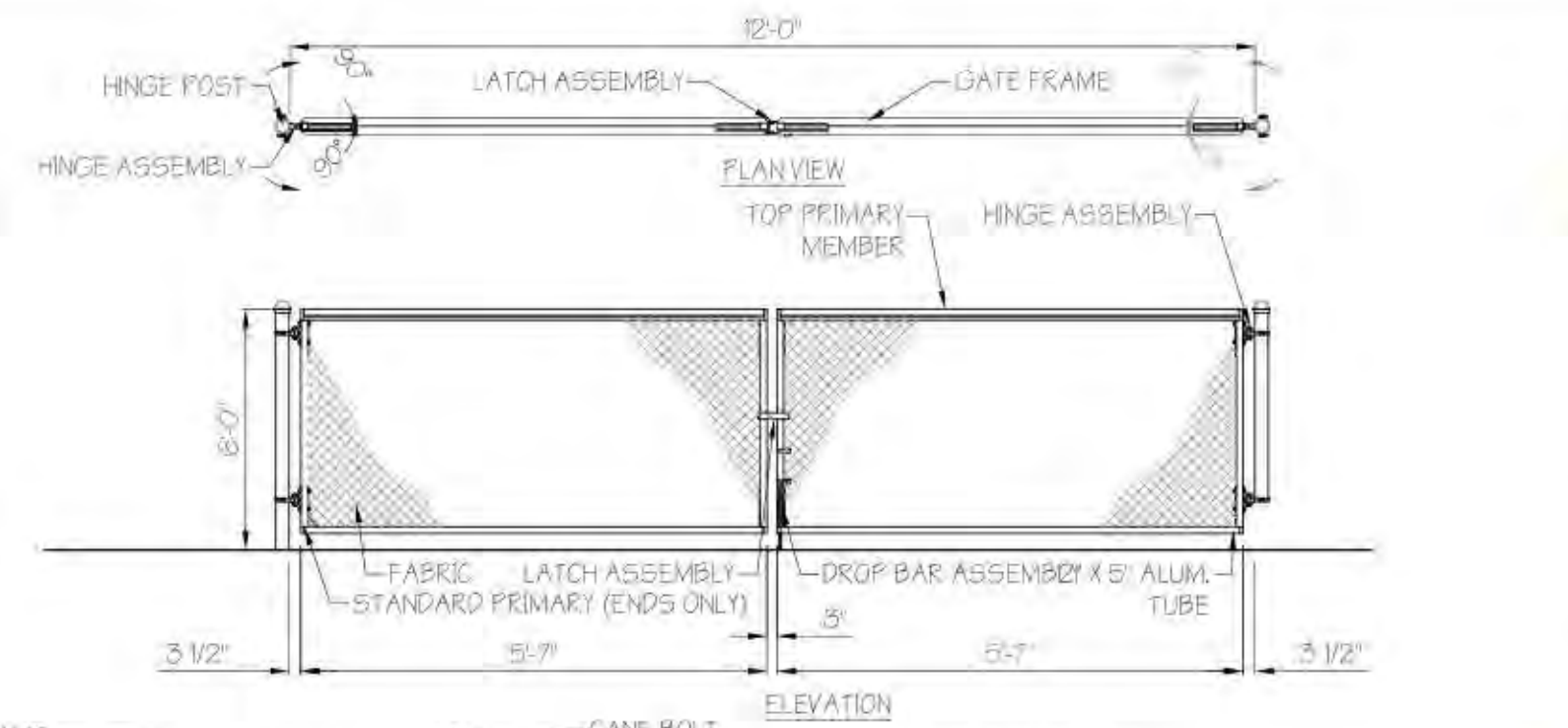
- Provide minimum vertical clearance of eight feet, two inches (8'2" = 2489mm) at the parking space and along at least one vehicle access route to such spaces from site entrance(s) and exit(s). See Fig. 23c.

PARKING AND PASSENGER LOADING ZONES



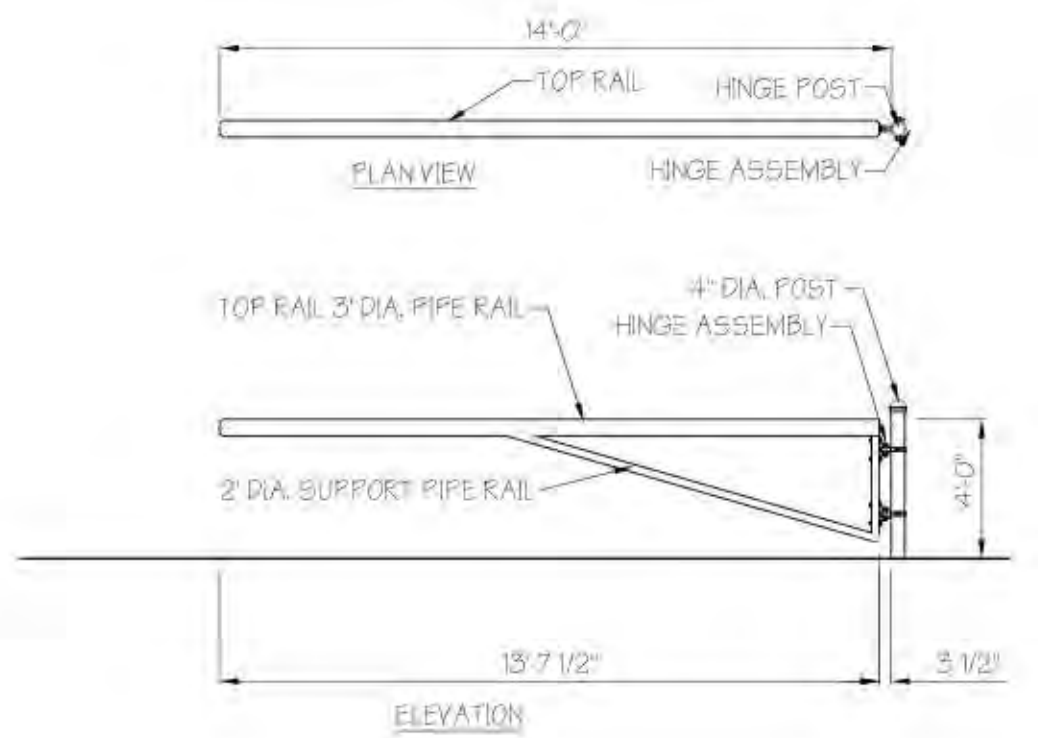
- Each space shall have a sign designating it "Van Accessible" as required by §21 CMR 23.6: Signage.
- All such spaces may be grouped on one level of a parking structure.
- Eight foot minimum (8' = 2438mm) wide space.
- Provide an access aisle of eight feet (8' = 2438mm).

ACCESSIBILITY LOADING ZONE
(NOT TO SCALE)



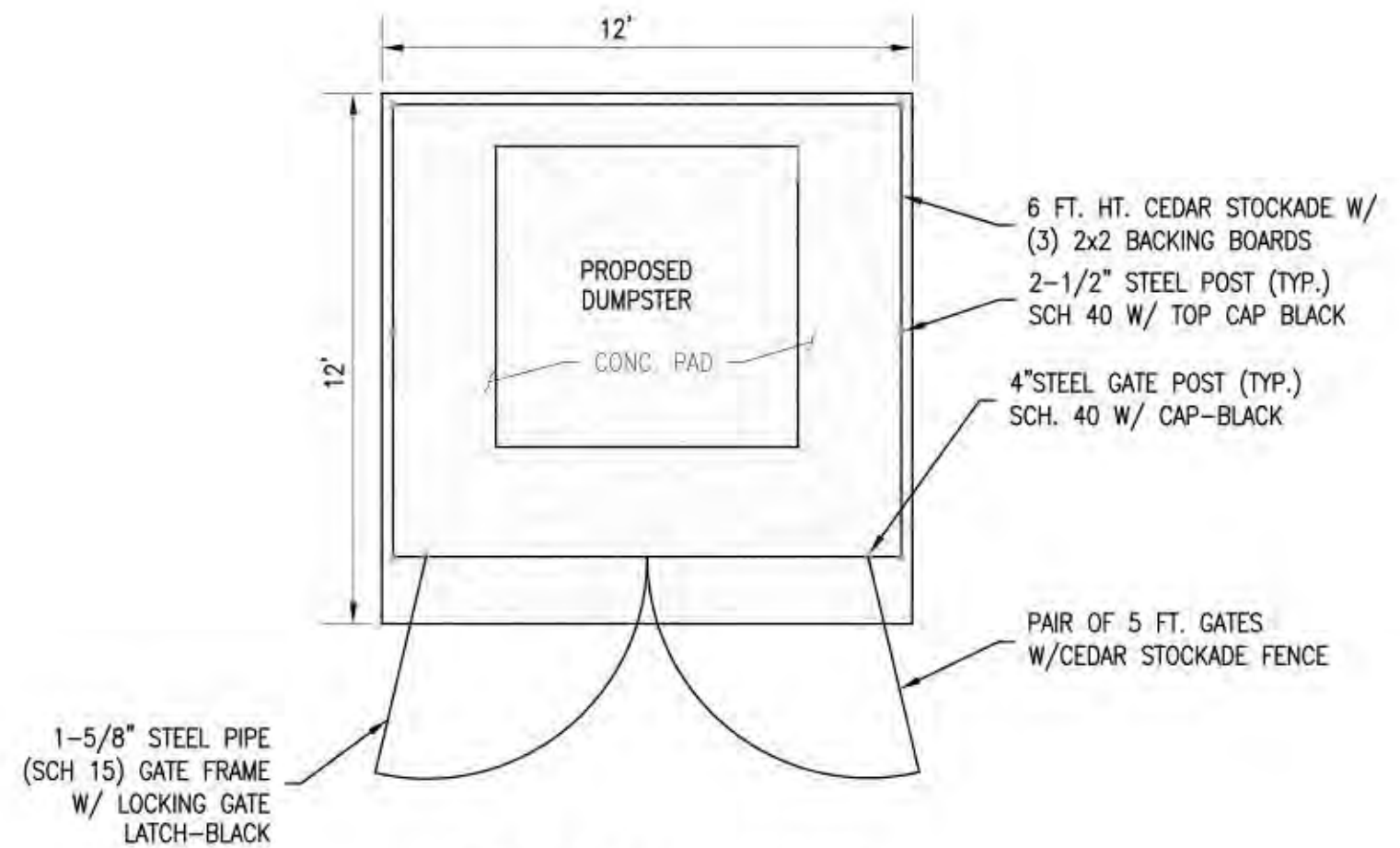
- NOTES:
1. ALL FITTINGS PROVIDED FOR 4" O.D. POSTS.
2. GATE ELEVATION IS VIEWED FROM THE OUTSIDE OF THE SECURE AREA LOOKING IN.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. DO NOT SCALE DRAWING.

CHAIN LINK SERVICE GATE 6'
1/2" = 1'-0" 32 2113/07-01



- NOTES:
1. ALL FITTINGS PROVIDED FOR 4" O.D. POSTS.
2. LIFTMASTER LAAG0203 GATE OPENER OR APPROVED EQUAL.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
4. GATE TO OPEN INTO PROPERTY.

TUBULAR BARRIER GATE
1/2" = 1'-0" 32 3110/02-01



DUMPSTER DETAIL
NOT TO SCALE

GravityStone® Fat Face & Fat Face-2/3 Scored

INTRODUCTION
Part of the GravityStone family of wall systems, Fat Face and Fat Face-2/3 Scored provide a strong, durable, and attractive retaining wall solution for a variety of site conditions. Fat Face is our original split face unit. Fat Face-2/3 Scored is a three-piece set. Two units have a chamfered score located 2/3 along the length of the split face; the third unit an unscored split face. All three have well-defined chamfers molded into each end providing a distinctive sculptured appearance.

DESIGN CONSIDERATIONS
Ideal provides general information on design and construction. In all cases, the user should exercise diligence in determining its suitability for the site. Walls 4' and higher, terraced walls, and sites with weak soils, slopes and surcharges require special consideration and construction techniques, including the use of geogrid. These conditions require the services of a qualified soils engineer and a professional contractor familiar with wall construction. Always comply with local building codes.

GENERAL CONSTRUCTION GUIDELINES
BASE: Establish a level, well-compacted, dense-graded aggregate base a minimum 8" below finished grade. Install perforated pipe as shown on the plans.
PLACEMENT OF FIRST COURSE OF BLOCKS: Block in the first course must be placed and carefully leveled front-to-back and side-to-side. For vertical walls, insert alignment plug in the forward position. For walls intended to batter, place the plug in the rear position. Fill the cores with graded stone. Place and compact dense-graded aggregate to fill the trench.
CONSTRUCTING THE WALL: Install additional courses in a running bond pattern, aligning the face of the units in a vertical position or with a 1/2" step-back as shown on the plans. Cut as needed to maintain a stagger. Insert plugs and fill cores with graded stone. Backfill and compact between and behind the units with graded stone. Repeat for each course.
REINFORCED RETAINING WALLS: When used, place geogrid as shown on the plans. Install with the design strength perpendicular to the wall. Avoid overlapping adjacent sheets. Use care not to damage grid when backfilling and compacting.
CAPPING WALL: Affix Ideal's Universal Capping™ or Ideal's natural stone coping using construction-grade adhesive. Add a 4" layer of low permeability soil, cover with topsoil and landscape per plans.

COMPOSITION & PERFORMANCE
Fat Face and Fat Face-2/3 Scored are produced under controlled factory conditions, molded from a cement-rich mixture blended with select aggregates and pure iron oxide pigments formed under extreme pressure and vibration. Both styles can create straight, concave or convex retaining walls in either a vertical or battered configuration using a unique reversible alignment plug. When used with geogrid, walls as tall as 20' and higher can be constructed.

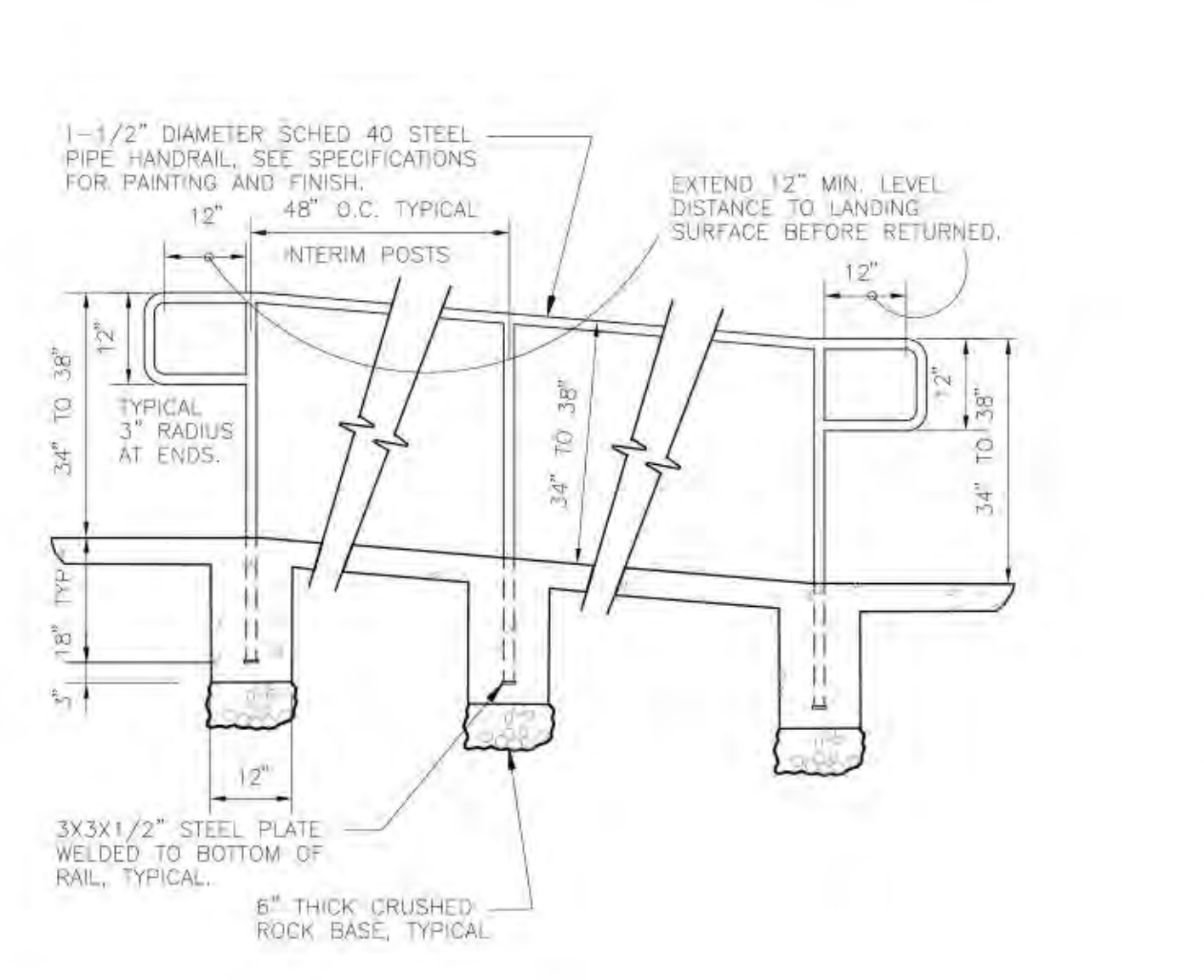
PHYSICAL CHARACTERISTICS
Ideal's wall products meet or exceed North American industry standards, including ASTM C1372 Standard Specification for Drycast Segmental Retaining Wall Units. Strict quality control ensures consistent strength and durability.

Fat Face:	Single standard unit
Fat Face - 2/3 Scored:	2 scored units, 1 standard unit
Dimensions:	11.25" d x 8" h x 18" l
Weight:	75 lbs
Face Area:	1.51/sq ft
Corner Unit:	6' d x 8" h x 15" l
Compressive Strength:	4500 psi minimum
Water Absorption:	7% maximum
Dimensional Tolerance:	+/- 1/8"
Wall Batter:	Vertical to 4.5" (3/4" per foot)

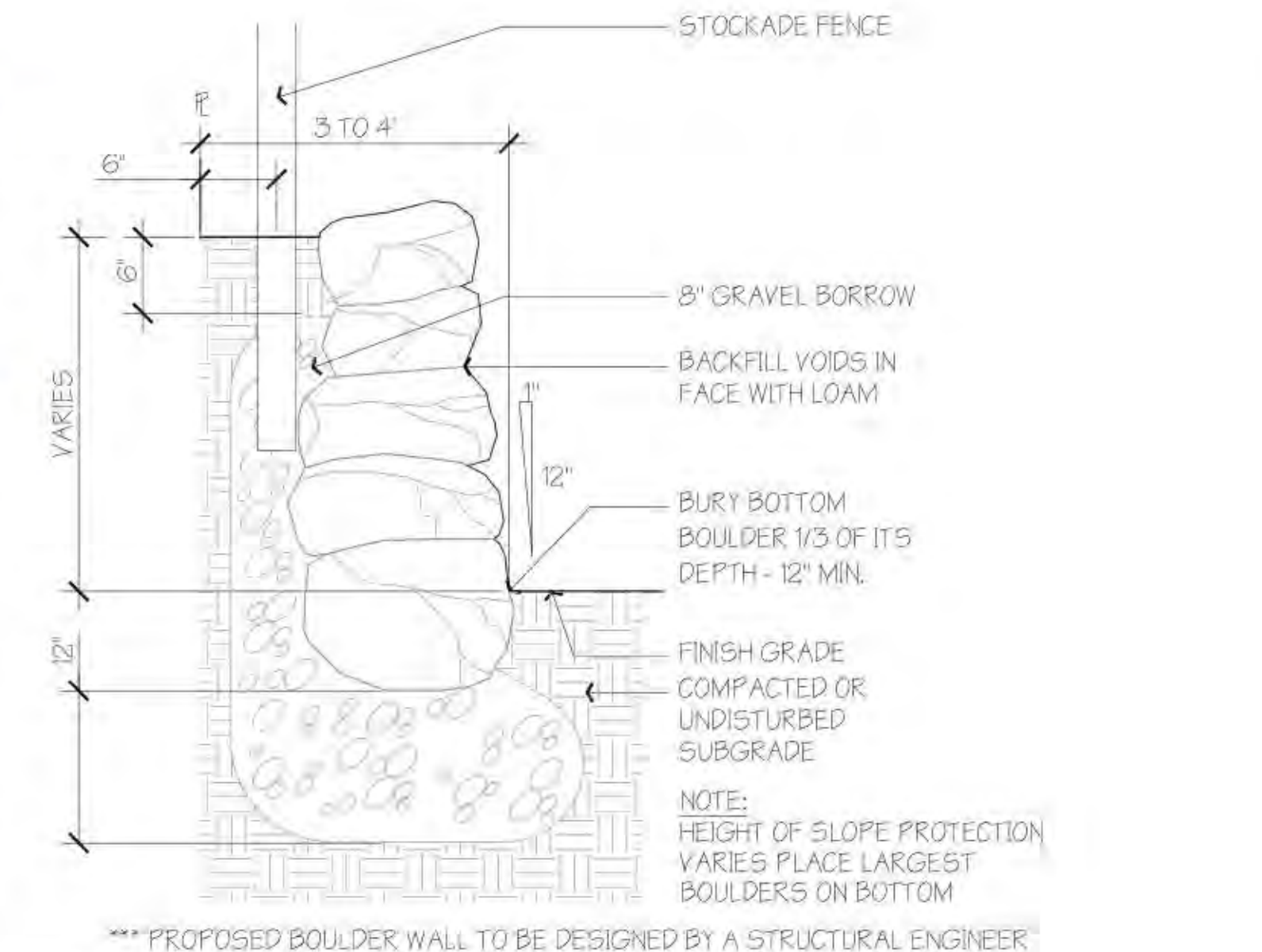
TECHNICAL INFORMATION & SERVICES
We recommend WSB Design software, Ideal's Contractor's Guide to Installing SRWs, and NCMCA's SRWs Best Practice Guide as resources for design and technical information. We provide design consultation, including free Preliminary Engineering Design Service, specification assistance and job-site quality review.

ib Ideal Pavers by
A Registered Trademark of Ideal Concrete Block Co.

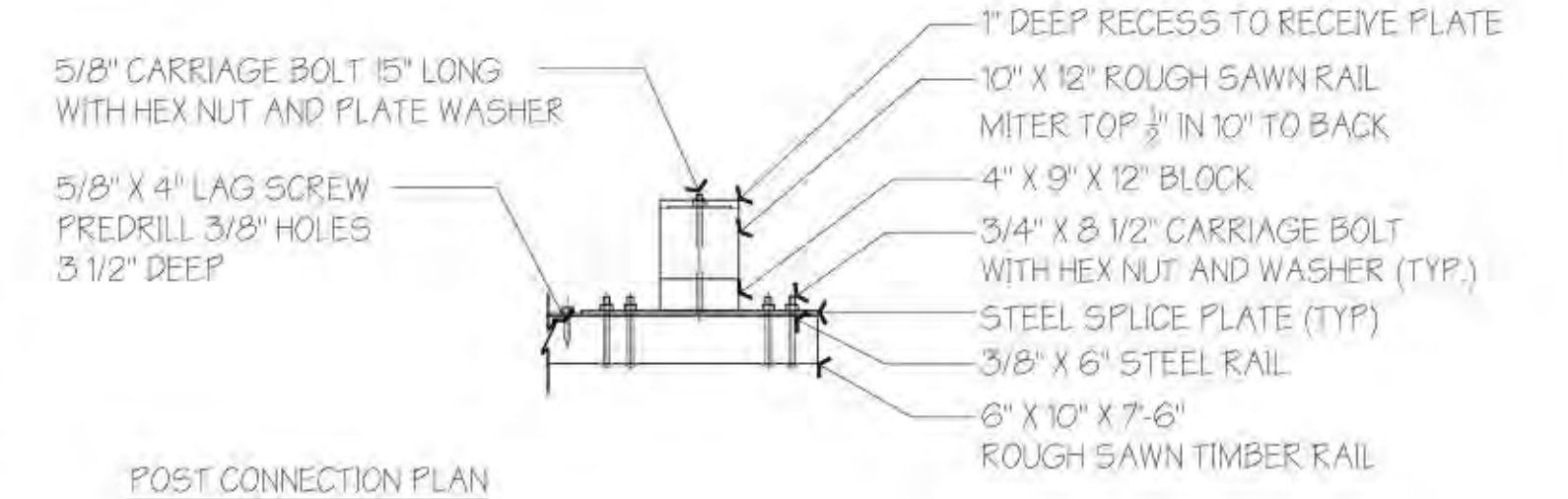
Traditional & Permeable Pavers ■ Landscape Retaining Walls ■ Natural Stone
Manufactured by Ideal Concrete Block Co.
45-55 Power Rd., Westford, MA 01886 ■ 232 Lexington St., Waltham, MA 02452
(781) 894-3200 ■ Fax (978) 692-0817
info@idealconcreteblock.com ■ www.idealconcreteblock.com



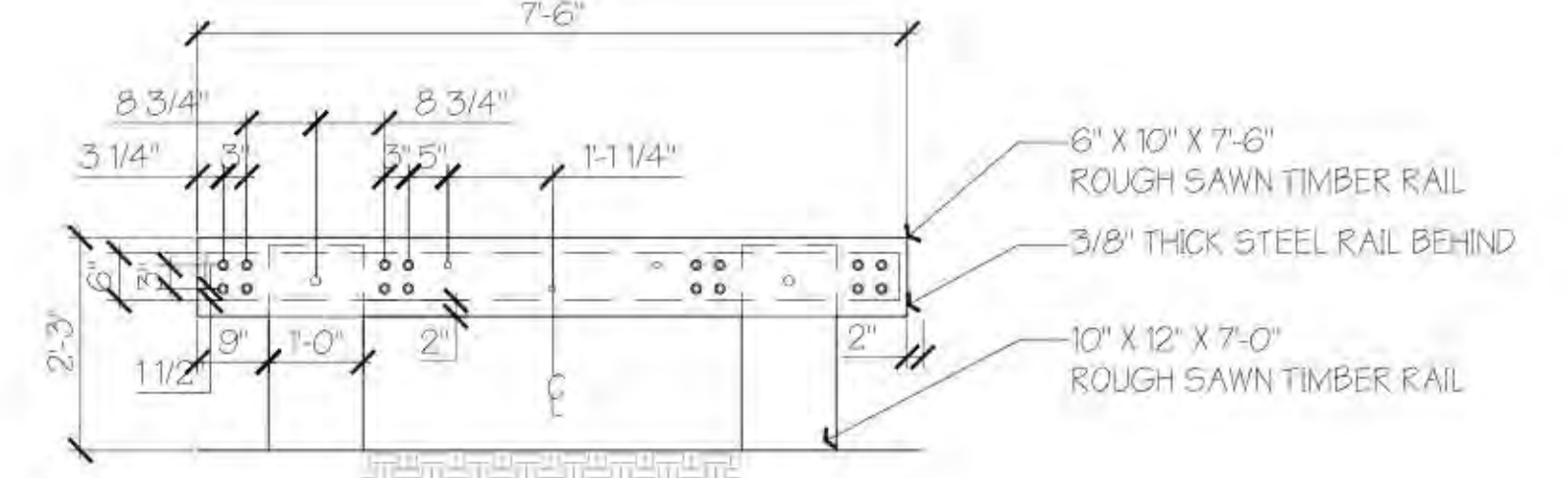
HANDRAIL AT RAMP
1/2" = 1'-0" 14-AC-RL-9-02



BOULDER STACKED WALL W/ FENCE
N.T.S. 32 3009-01



POST CONNECTION PLAN



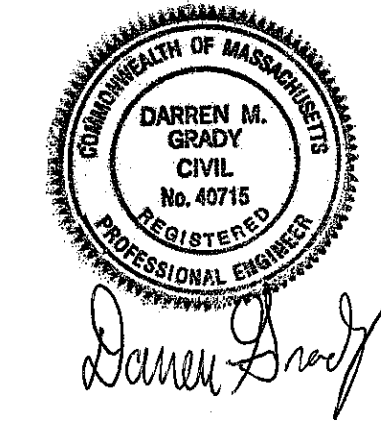
- NOTES:
1. STEEL BACKED TIMBER GUARD RAIL.
2. ALL STRUCTURAL STEEL AND FASTENER HARDWARE SHALL BE WEATHERING STEEL AS SPECIFIED.

TIMBER GUIDERAIL
1/2" = 1'-0" 32 3028/02-01

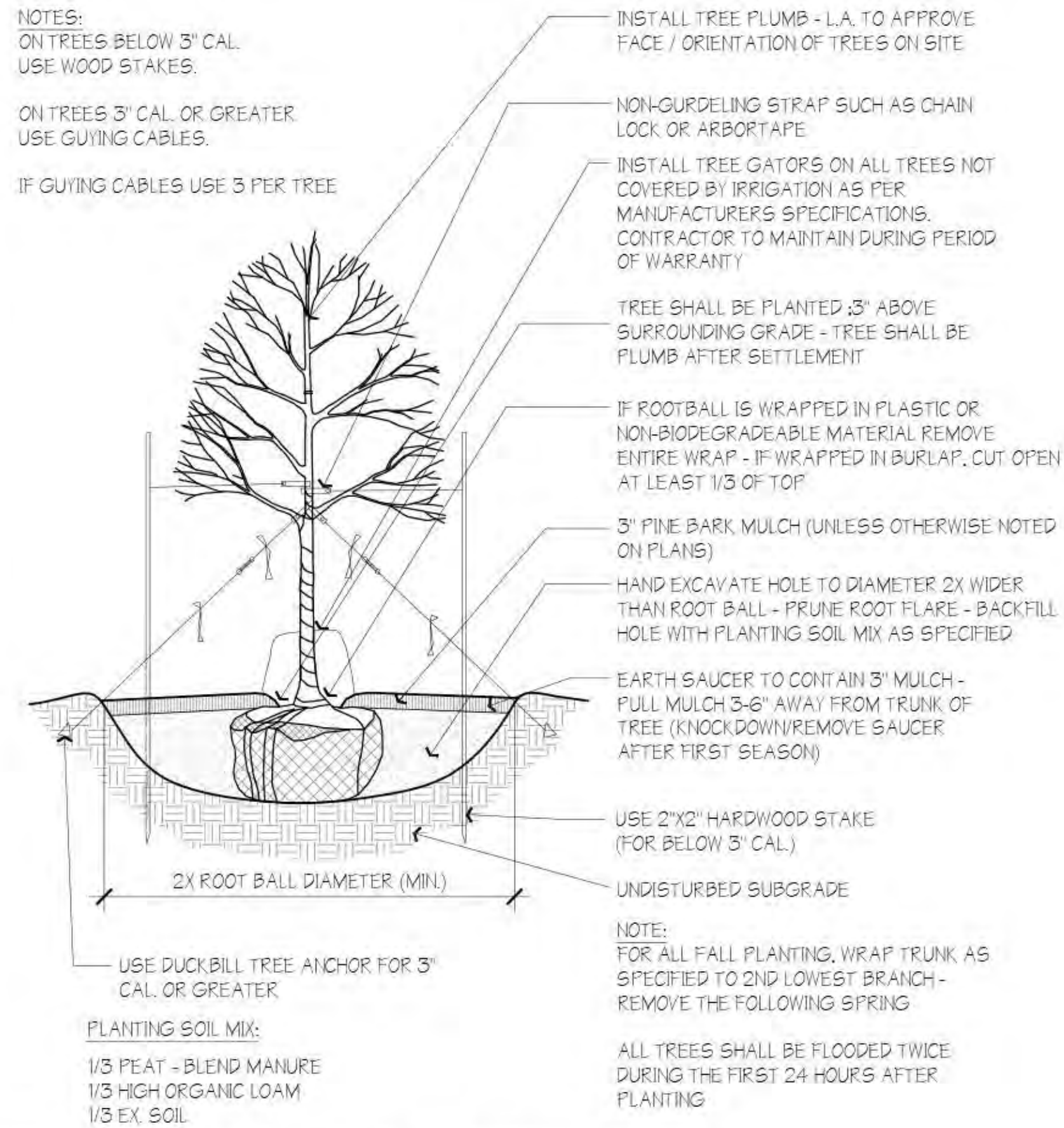
**PHASE 2
SITE PLAN**
#81 WEST UNION STREET
ASHLAND, MASSACHUSETTS

PREPARED FOR:
81 WEST UNION STREET LLC
C/O WILLIAM J. RODENHISER
70 BARTZAK DRIVE
HOLLISTON, MA 01746

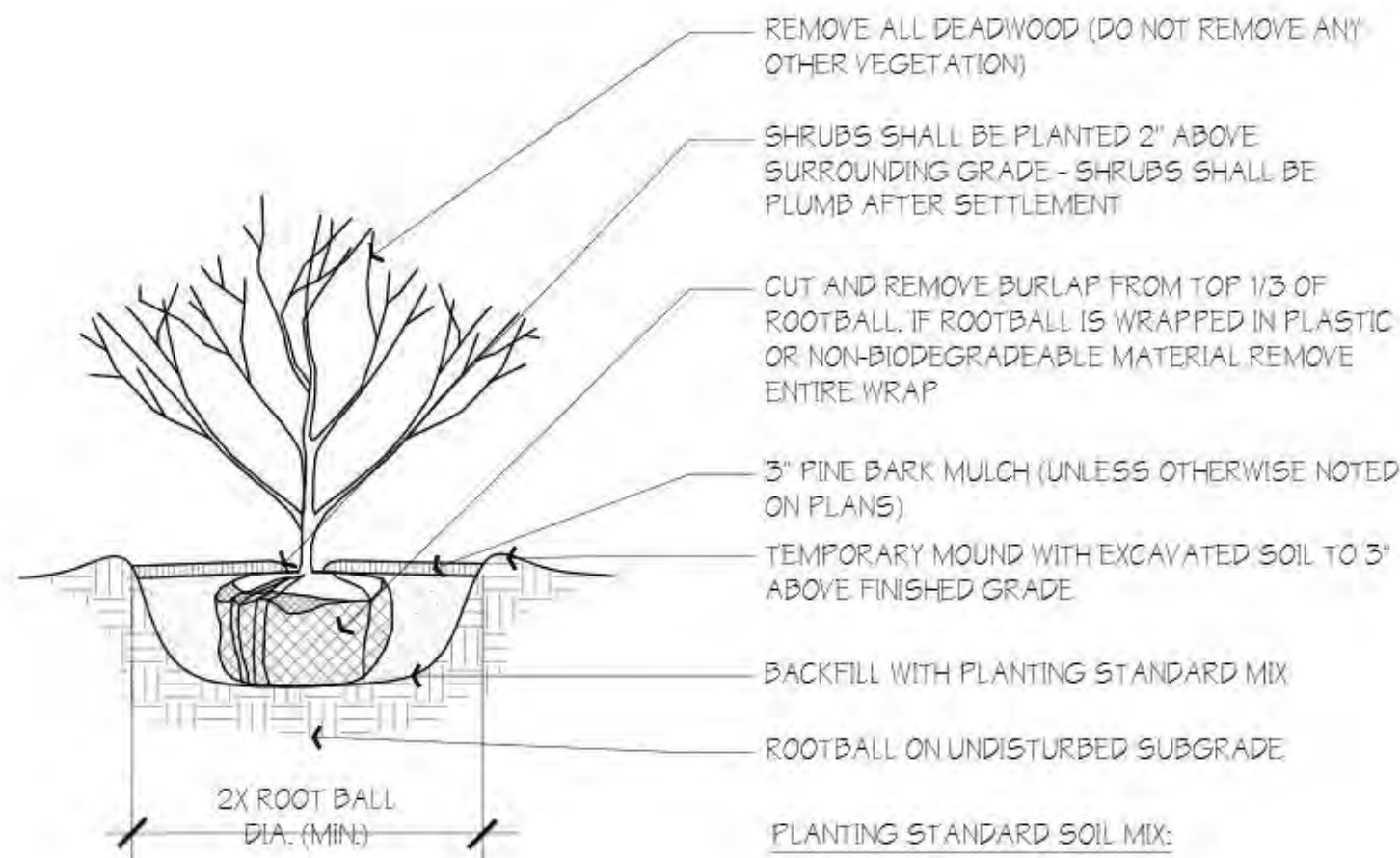
JUNE 13, 2019
SCALE: AS SHOWN
JOB No. 18-284



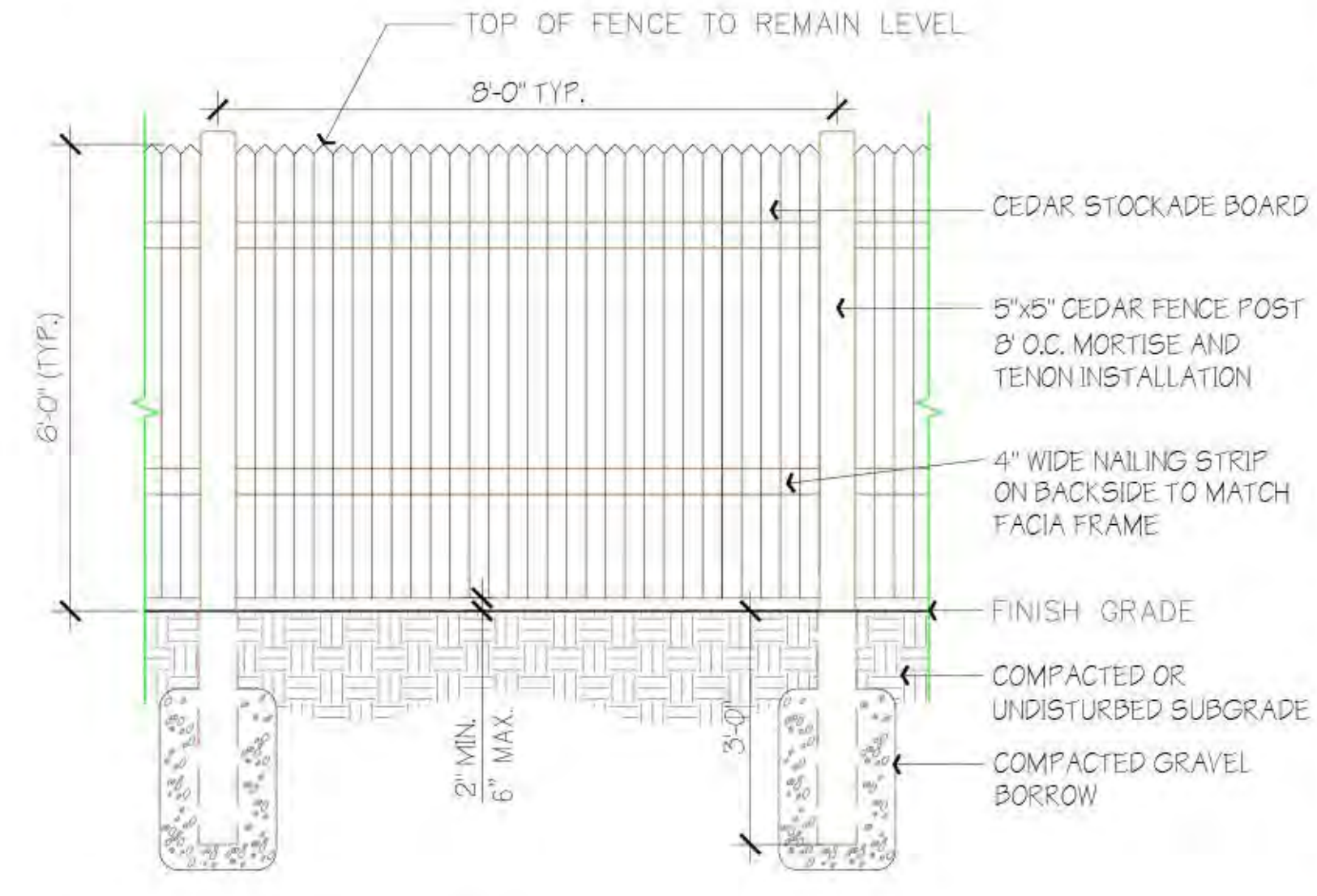
GRADY CONSULTING, L.L.C.
Civil Engineers and Land Surveyors
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



SHADE / FLOWERING TREE DETAIL
1/2" = 1'-0"
32 9343.01-01



SHRUB DETAIL
1" = 1'-0"
32 9333.03-02



STOCKADE FENCE
1/2" = 1'-0"
32 3129.11-01



EVERGREEN TREE DETAIL
1/2" = 1'-0"
32 9343.04-01

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	6"	1/3 PEAT - MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	6"	SCREENED LOAM 1/3 PEAT - MANURE BLEND LIME - PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS - SOD & SEED	6"	6\"/>

SCHEDULE OF TOPSOILS & ADDITIVES
1" = 1'-0"
32 9301.03-01

TECHLIGHT LSMT SERIES High Lumen Output Scimitar LED Area Light

FEATURES & SPECIFICATIONS:

- APPLICATION - The high performance LSMT is designed for roof applications where the low maintenance and consistent color rendering is required.
- CONSTRUCTION - The LSMT is constructed from high quality materials and is designed for long life.
- OPTICAL SYSTEM - Available in a high output 2' or 4' LED system in 1000K Cool White (C.W.), 5000K Neutral White (N.W.), or 3000K Warm White (W.W.). Available with 0° beam angle for high precision lighting or 30° beam angle for general lighting.
- ELECTRICAL SYSTEM - Available in a high output 2' or 4' LED system in 1000K Cool White (C.W.), 5000K Neutral White (N.W.), or 3000K Warm White (W.W.). Available with 0° beam angle for high precision lighting or 30° beam angle for general lighting.

ORDERING INFORMATION:

Model	Length	Width	Height	Weight	Power
LSMT-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LSMT-4	4'0"	1'0"	1'0"	3.0 lbs	200W

WJM SQUARE STRAIGHT ALUMINUM (SA) POLE SHAFT

BASE PLATE

HANDLE

ANCHOR BOLT

FINISH

ORDERING INFORMATION:

Model	Length	Weight
SA500725-F-DM10-BC	10'	100 lbs

TECHLIGHT LHMWP Medium Heat Sink LED Wall Pack

FEATURES & SPECIFICATIONS:

- APPLICATION - The high performance LHMWP is designed for wall applications where the low maintenance and consistent color rendering is required.
- CONSTRUCTION - The LHMWP is constructed from high quality materials and is designed for long life.
- OPTICAL SYSTEM - Available in a high output 2' or 4' LED system in 1000K Cool White (C.W.), 5000K Neutral White (N.W.), or 3000K Warm White (W.W.). Available with 0° beam angle for high precision lighting or 30° beam angle for general lighting.
- ELECTRICAL SYSTEM - Available in a high output 2' or 4' LED system in 1000K Cool White (C.W.), 5000K Neutral White (N.W.), or 3000K Warm White (W.W.). Available with 0° beam angle for high precision lighting or 30° beam angle for general lighting.

ORDERING INFORMATION:

Model	Length	Width	Height	Weight	Power
LHMWP-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LHMWP-4	4'0"	1'0"	1'0"	3.0 lbs	200W

TECHLIGHT LSMT High Lumen Output Scimitar LED Area Light

AVAILABLE FIXTURE DIMENSIONS:

FIXTURE & MOUNTING ACCESSORIES:

PHOTOMETRICS:

ORDERING INFORMATION:

Model	Length	Width	Height	Weight	Power
LSMT-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LSMT-4	4'0"	1'0"	1'0"	3.0 lbs	200W

TECHLIGHT LHMWP Medium Heat Sink LED Wall Pack

AVAILABLE FIXTURE DIMENSIONS:

PHOTOMETRICS:

ORDERING INFORMATION:

Model	Length	Width	Height	Weight	Power
LHMWP-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LHMWP-4	4'0"	1'0"	1'0"	3.0 lbs	200W

TECHLIGHT LHMWP Medium Heat Sink LED Wall Pack

AVAILABLE FIXTURE DIMENSIONS:

PHOTOMETRICS:

ORDERING INFORMATION:

Model	Length	Width	Height	Weight	Power
LHMWP-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LHMWP-4	4'0"	1'0"	1'0"	3.0 lbs	200W

TECHLIGHT LSMT High Lumen Output Scimitar LED Area Light

LUMINAIRE CHARACTERISTICS:

Model	Length	Width	Height	Weight	Power
LSMT-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LSMT-4	4'0"	1'0"	1'0"	3.0 lbs	200W

EPA RATINGS (lm²):

Model	lm²
LSMT-2	1.0
LSMT-4	2.0

TECHLIGHT LHMWP Medium Heat Sink LED Wall Pack

LUMINAIRE CHARACTERISTICS:

Model	Length	Width	Height	Weight	Power
LHMWP-2	2'0"	1'0"	1'0"	1.5 lbs	100W
LHMWP-4	4'0"	1'0"	1'0"	3.0 lbs	200W

EPA RATINGS (lm²):

Model	lm²
LHMWP-2	1.0
LHMWP-4	2.0

PHASE 2 SITE PLAN

#81 WEST UNION STREET ASHLAND, MASSACHUSETTS

PREPARED FOR:
81 WEST UNION STREET LLC
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JUNE 13, 2019
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