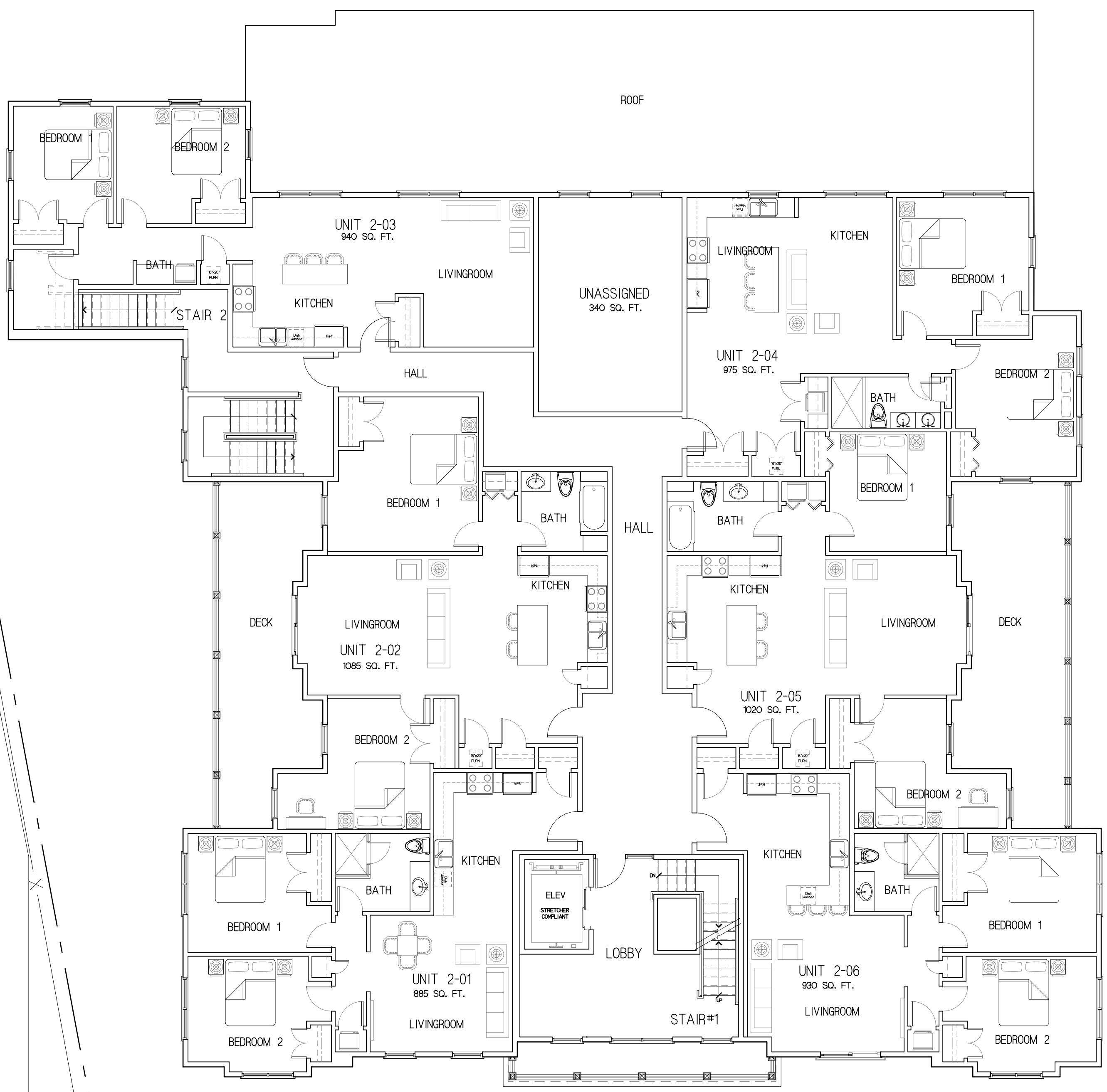
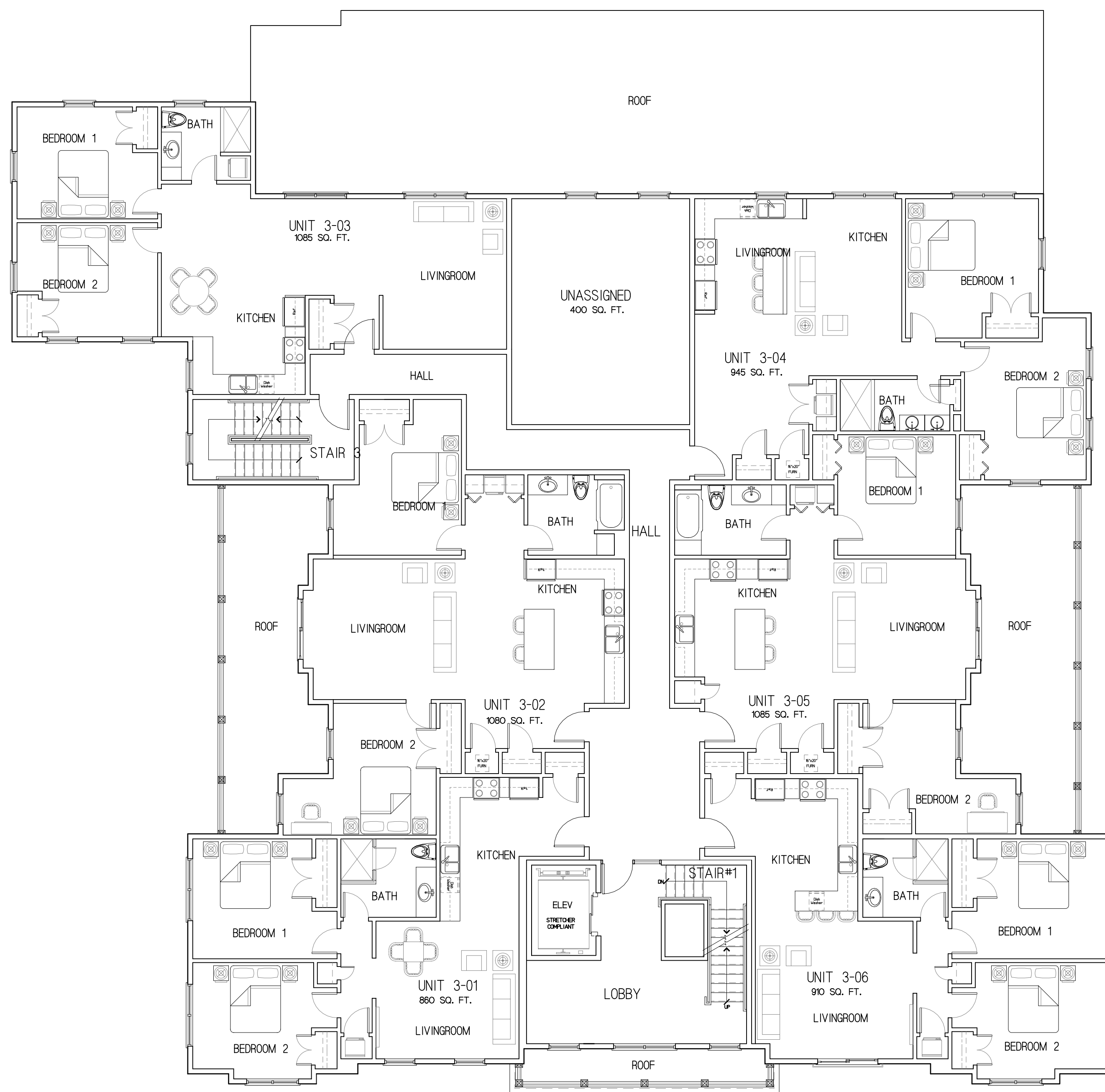


Alden Street

FIRST FLOOR PLAN 7470 SQ. FT.
SCALE: 1/8" = 1'-0"

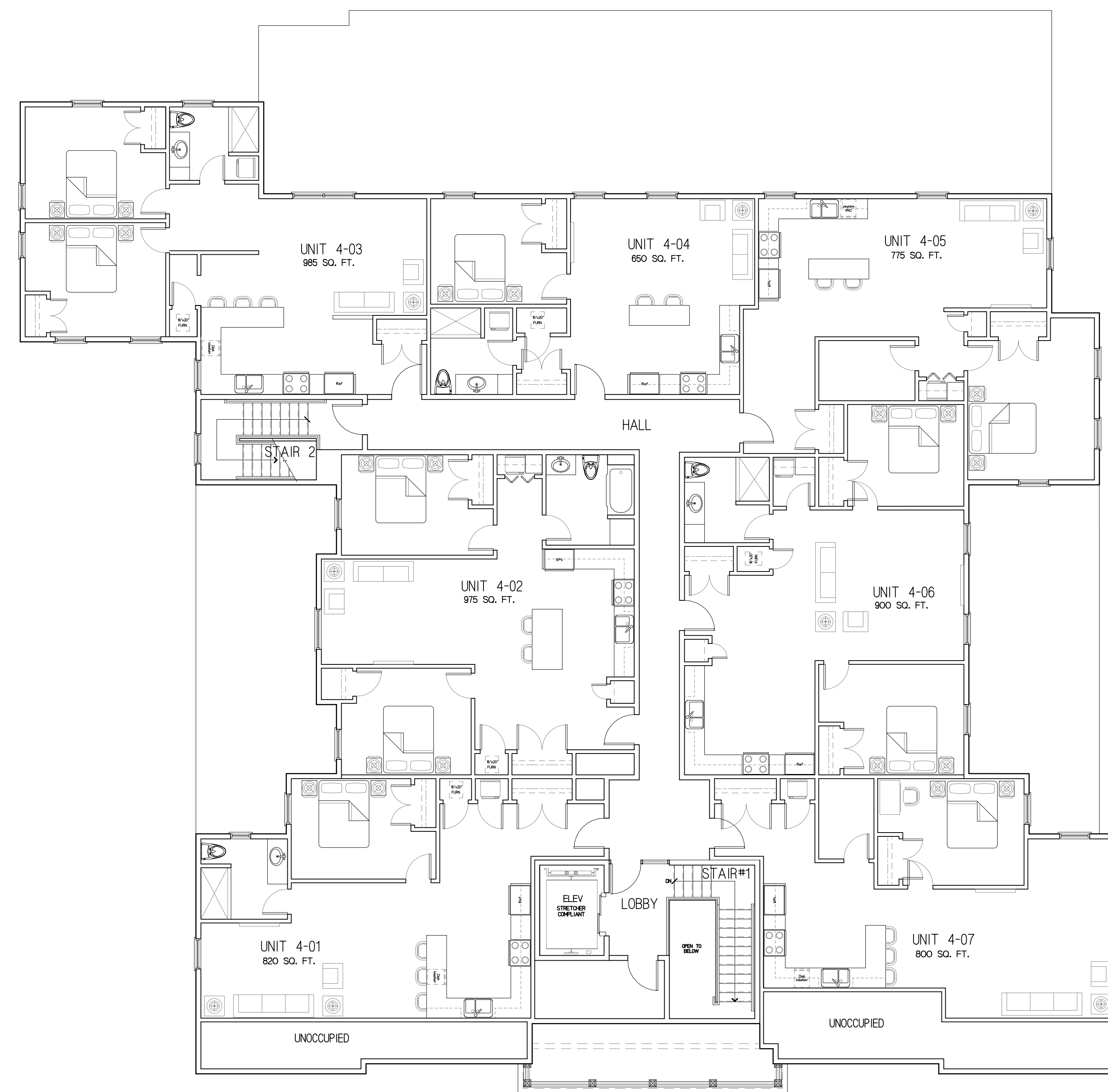


SECOND FLOOR PLAN 7470 SQ. FT.
SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN 7470 SQ. FT.

SCALE: 1/8" = 1'-0"



FOURTH FLOOR PLAN 6990 SQ. FT.

SCALE: 1/8" = 1'-0"





REAR BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



FRONT BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



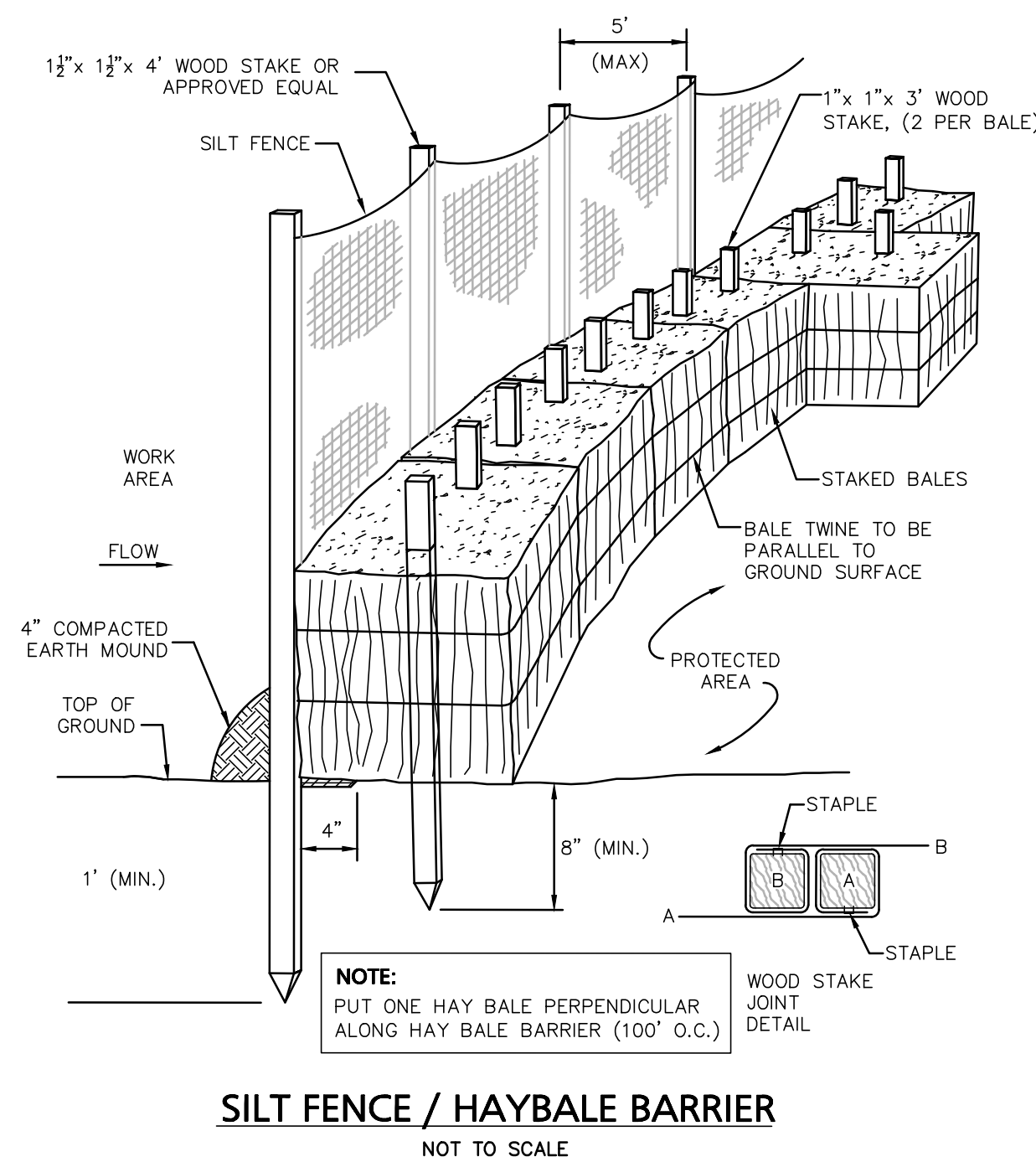
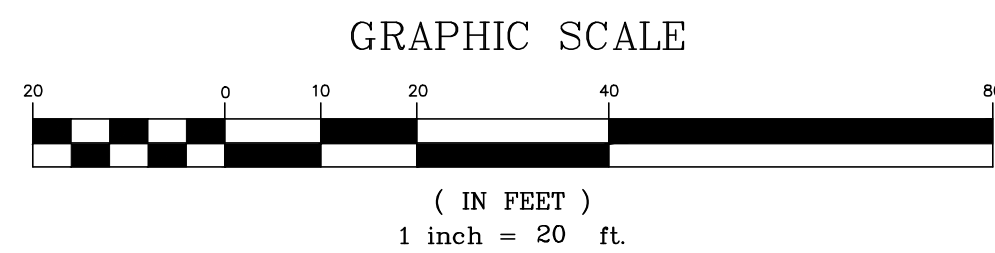
LEFT BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



SILT FENCE / HAYBALE BARRIER
NOT TO SCALE

LEGEND - EROSION CONTROL PLAN

PROPERTY LINE	—————
EXISTING CURB	—————
EXISTING CONTOUR	----- 186 -----
EXISTING BUILDING	
EXISTING CHAIN LINK FENCE	—————
EXISTING CONCRETE WALL	
EXISTING OVERHEAD WIRES	— OHW —
EXISTING WATER	— W — W —
EXISTING GAS	— G — G —
EXISTING SEWER	— S — S — S —
EXISTING UTILITY POLE	⊙
EXISTING DRAIN MANHOLE	⊙
EXISTING SEWER MANHOLE	⊙
EXISTING ELECTRIC MANHOLE	⊙
EXISTING CATCH BASIN	⊙
PROPOSED HAYBALE & SILTATION FENCE	

DEMOLITION NOTES:

- EXISTING BUILDING STRUCTURES AND ALL ASSOCIATED APPURTENANCES ARE TO BE REMOVED OR DEMOLISHED. THE CONTRACTOR IS RESPONSIBLE FOR THE STOCKPILING AND REMOVAL OF ALL MATERIAL DURING DEMOLITION PROCESSES.
- EXISTING UTILITIES SHOWN ON THIS PLAN WERE DETERMINED FROM VISIBLE STRUCTURES AND PLANS OF RECORD WHERE AVAILABLE. THE CONTRACTOR IS RESPONSIBLE FOR THE CUTTING, CAPPING, AND REMOVAL OF ALL EXISTING UTILITIES ASSOCIATED WITH EXISTING INFRASTRUCTURE. ANY ADDITIONAL UTILITY INFORMATION DIFFERING FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

PREPARED BY:

PROJECT:

PROJ. #:

SCALE:

DESIGN BY:

CHECKED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

DATE: January 13, 2020
DWG FILE NAME: 19-58507.dwg
CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
Engineering Alliance, Inc.

APPLICANT:
29 & 41 Alden Street Realty Trust
11 Pleadd Road
Newton, MA 02459

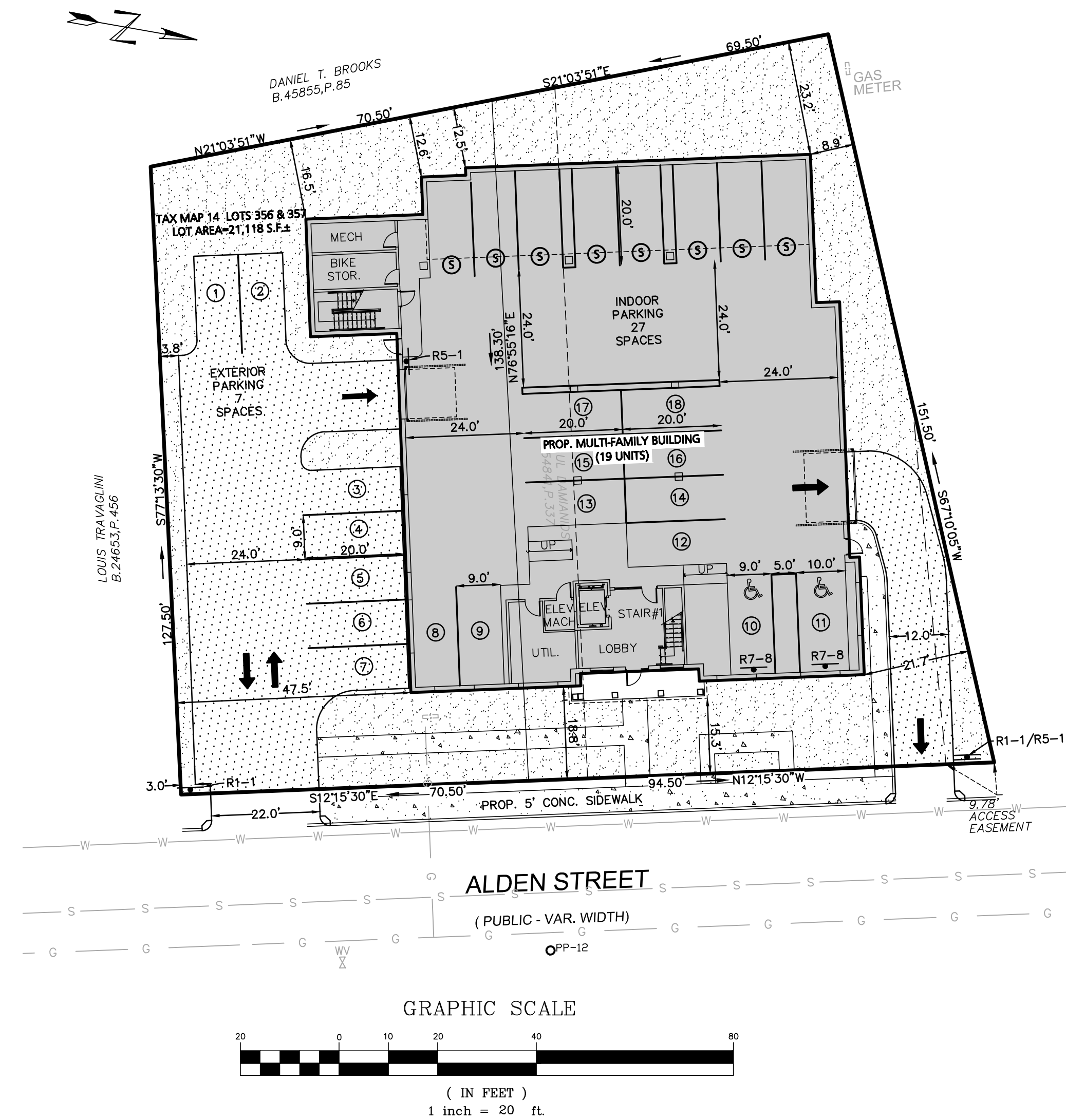
DRAWING TITLE:
Erosion Control & Demolition Plan

DWG. NO.
C-2

DATE

DESCRIPTION OF REVISION

DATE



LEGEND - SITE LAYOUT PLAN

PROPERTY LINE	
EXISTING BUILDING	
EXISTING EDGE OF PAVEMENT	
EXISTING CURB	
PROPOSED BUILDING	
PROPOSED PARKING COUNT	
PROPOSED TRAFFIC ARROW	
PROPOSED ACCESSIBLE PARKING SPACE	
PROPOSED LANDSCAPED AREA	
PROPOSED CONCRETE SIDEWALK	
PROPOSED MECHANICAL STACKED SPACE	

LAND USAGE TABLE
ASHLAND DOWNTOWN DISTRICT (ADD)

ITEM	REQUIRED	PROVIDED	EXEMPT REQUESTED
MINIMUM LOT AREA (S.F.)	8,000 S.F.	21,118 S.F.	NO
MINIMUM FRONTAGE	50 FT	165 FT	NO
MINIMUM FRONT YARD SETBACK	0 FT	15.5 FT	NO
MAXIMUM FRONT YARD SETBACK	15 FT		
MINIMUM SIDE YARD SETBACK	-	7.6 FT	NO
MINIMUM REAR YARD SETBACK	12 FT	12.5 FT	NO
MAXIMUM NUMBER OF STORIES	3 (4) ¹	4	NO
MAXIMUM HEIGHT (FT)	35 (45) ²	42.3 FT	NO
MAXIMUM FAR	1.5	1.5 ⁴	NO

- NOTE:
1. AN ADDITIONAL FLOOR MAY BE ADDED IF AGREED TO BY PLANNING BOARD.
 2. 45' BUILDING HEIGHT IS ALLOWED UPON ISSUANCE OF SPECIAL PERMIT.
 3. AVERAGE GRADE: 187.0 + 187.0 + 190.0 + 188.0 + 186.5 + 188.5 + 186.5 + 188.0 = 1501.5
1501.5 / 8 = 187.69
 4. FAR: FIRST FLOOR: 9,720 S.F.
SECOND FLOOR: 7,470 S.F.
THIRD FLOOR: 7,470 S.F.
FOURTH FLOOR: 6,990 S.F.
TOTAL: 31,650 S.F.
31,650 / 21,118 = 1.50

PARKING CALCULATIONS

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY DWELLING		9 SPACES (Standard Garage Spaces)
RESIDENTIAL (19 UNITS)	29 SPACES (2 SPACES PER UNIT) 19 UNITS x 2 spaces = 38 Spaces 48 x 0.75% = 28.5 Spaces (A.D.D.)	2 SPACES (Acc. Accessible Parking) 7 SPACES (Standard Spaces) 16 SPACES (Standard Spaces) (2 per parking stall)
TOTAL	29 SPACES	34 SPACES

- NOTE:
- 1A. TOTAL NUMBER OF PARKING SPACES IN DEVELOPMENT: 36 SPACES
MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED FOR 26-50 SPACES: 2 SPACES
 - 2A. STANDARD PARKING SPACES ARE 9'X20'

SIGN TABLE

REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT (MEASURED TO BOTTOM OF SIGN)	DESCRIPTION	REFLECTORIZED
R7-8		12" X 20"	7' - 0"	BLUE ON WHITE	YES
R1-1		24" x 24"	7' - 0"	WHITE ON RED	YES
R5-1		24" x 24"	7' - 0"	RED ON WHITE	YES

PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

PROJECT:

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

DATE: January 13, 2020
DWG FILE NAME: 19-08507.dwg
PROJECT #: 19-08507
SCALE: AS NOTED
DESIGN BY: Calvin Reach
CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
Engineering Alliance, Inc.

APPLICANT:

29 & 41 Alden Street Realty Trust
11 Pledd Road
Newton, MA 02459

DRAWING TITLE:
Site Layout Plan

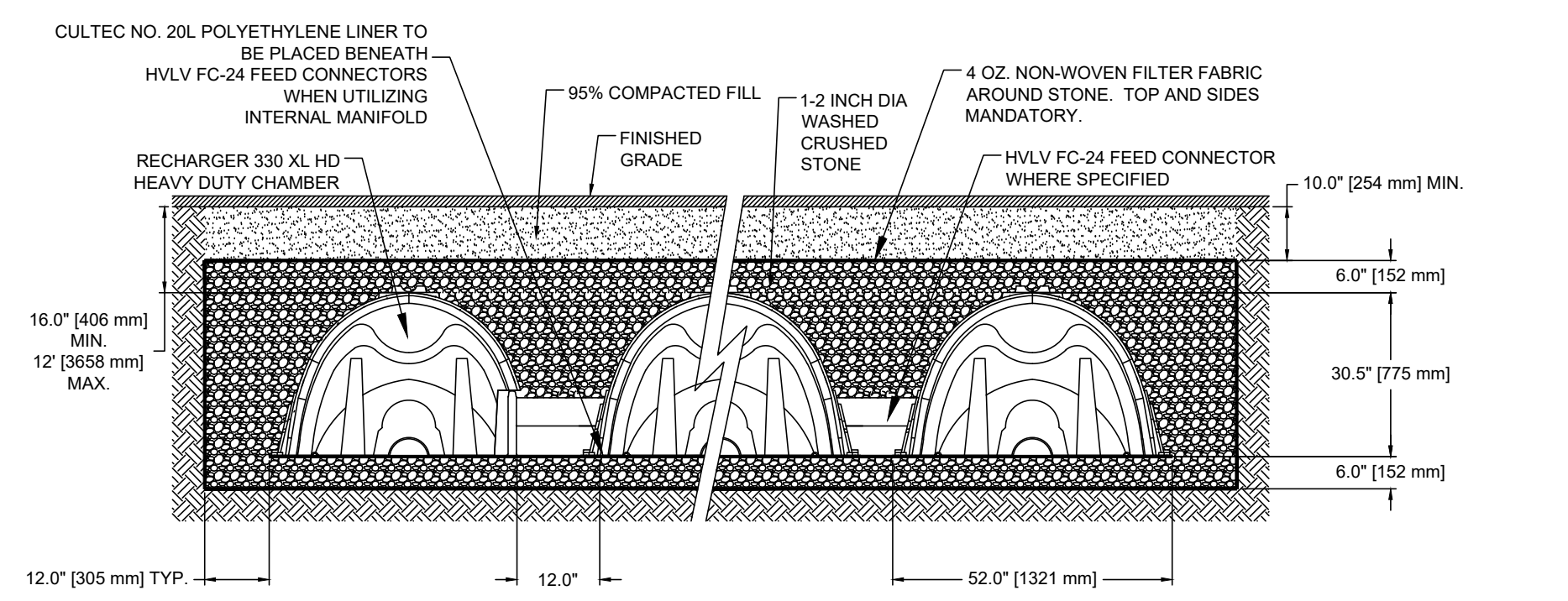
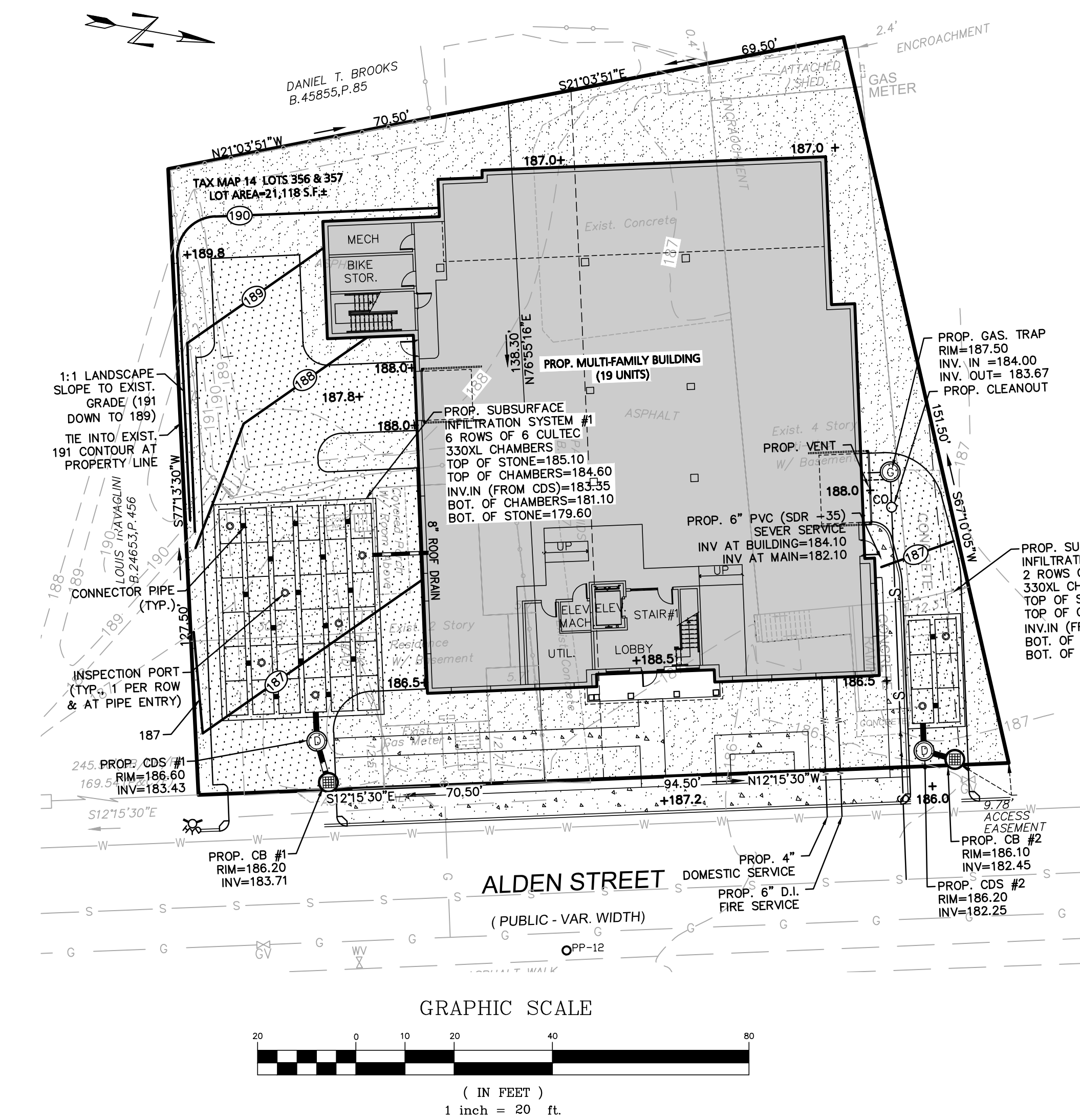
DWG. NO.
C-3

NO.	DATE	DESCRIPTION OF REVISION

LEGEND - GRADING, DRAINAGE, & UTILITY

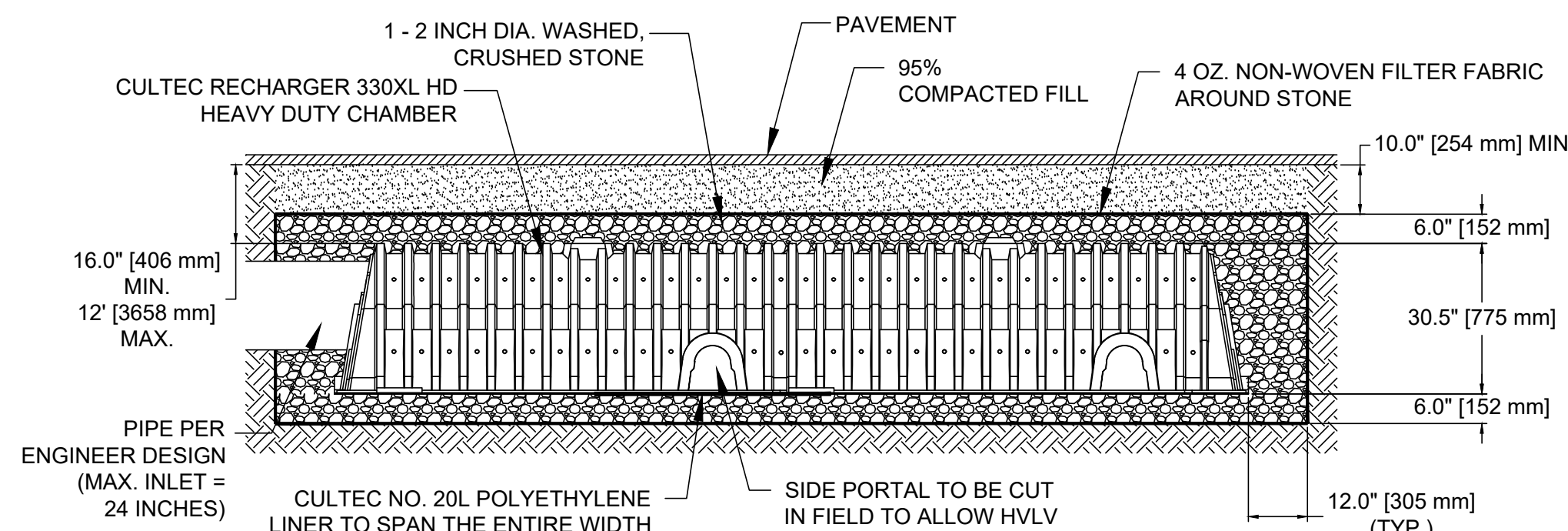
PROPERTY LINE	—
EXISTING BUILDING	▨
PROPOSED BUILDING	▩
PROPOSED BIT. CONCRETE SIDEWALK	▧
PROPOSED LANDSCAPED AREA	▨
PROPOSED BIT. CONC. CURB	—
PROPOSED DRAIN	—
PROPOSED CATCHBASIN	⊗
PROPOSED CDS UNIT (WQ MANHOLE)	⊙
PROPOSED GAS TRAP	⊙
PROPOSED WATER LINE	—W—W—W—
PROPOSED SEWER LINE	—S—S—S—
PROPOSED CONTOUR	⊕189
PROPOSED SPOT SHOT	+187.2

SEWER CALCULATIONS:
 SEWER CALCULATION FOR EACH UNIT 110 GPD/ BEDROOM
 (4) 1 BEDROOM UNITS X 110 GPD = 440 GPD
 (15) 2 BEDROOM UNITS = 30 X 110 GPD = 3,300 GPD
TOTAL = 3,740 GPD

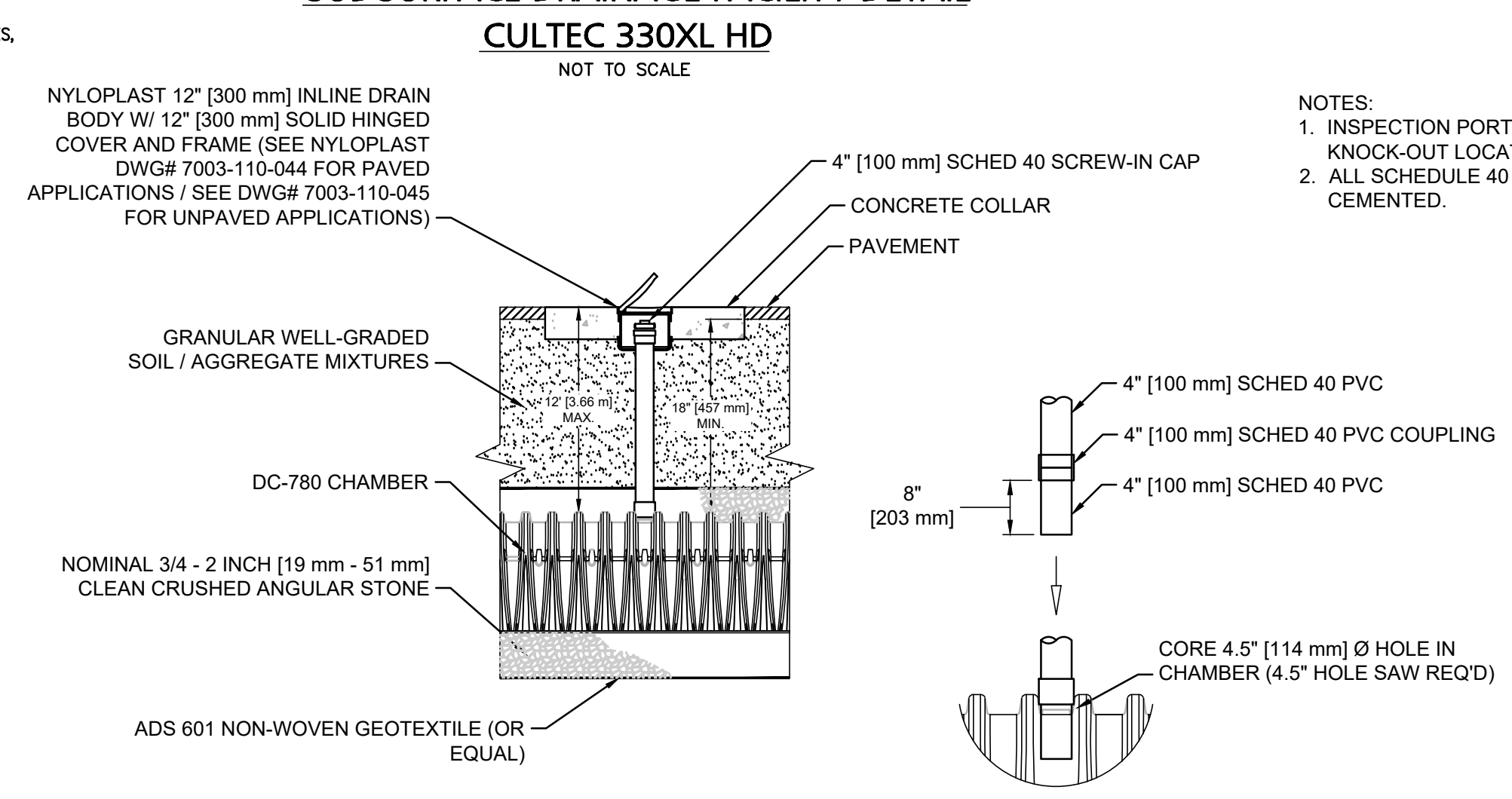


GENERAL NOTES
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
 ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

TYPICAL CROSS SECTION



**MAINFOLD DETAIL
 SUB-SURFACE DRAINAGE FACILITY DETAIL**



**INSPECTION PORT DETAIL
 NOT TO SCALE**

NOTES:
 1. INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 2. ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

GENERAL UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES, AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO DETERMINE THE EXACT LOCATION OF WATER AND GAS SERVICES.
- ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE TOWN OF ASHLAND, AND IS SUBJECT TO QUALITY CONTROL TESTING AT THE DISCRETION OF THE ENGINEERING DEPT. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE TOWN OF ASHLAND D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
- ALL UTILITY WORK WITHIN ANY RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
- ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
- DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT & SHALL SUBMIT AN AUTOCAD "AS-BUILT" TO THE ENGINEERING DEPT. UPON COMPLETION OF THE BUILDING & UTILITY WORK.

DRAINAGE NOTES:

- ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
- ALL STORM DRAINAGE PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10'-FT OF THE BUILDING WALLS.

PREPARED BY:

PROJECT:

APPLICANT:

DWG. NO. C-4

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Lafayette Road
 Portsmouth, NH 03801
 Tel: (603) 5107100
 Fax: (603) 6107101

Site Plan
 29 & 41 Alden Street
 (Tax Map 14 Lots 356 & 357)
 Ashland, Massachusetts

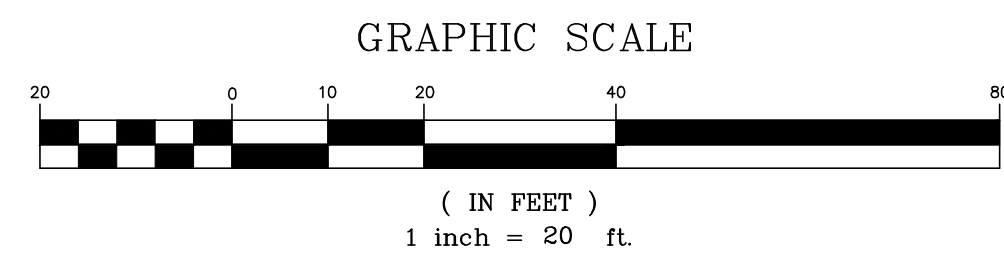
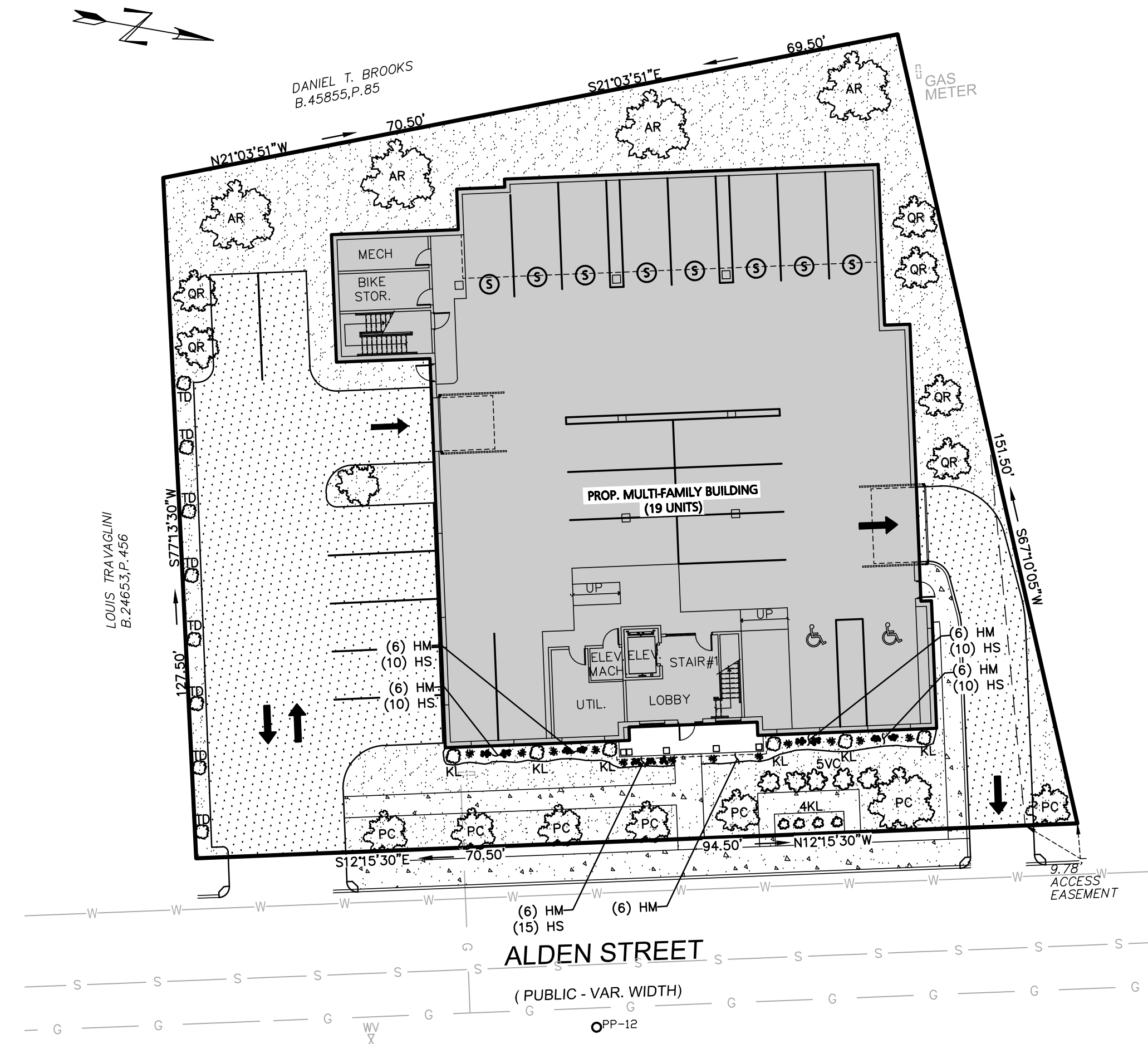
DATE: January 13, 2020
 DWG FILE NAME: 19-0607.dwg
 SCALE: AS NOTED
 DESIGN BY: Calvin Reach
 CHECKED BY: Richard A. Salvo, P.E.

29 & 41 Alden Street Realty Trust
 11 Placid Road
 Newton, MA 02459

DRAWING TITLE:
Grading, Drainage and Utility Plan

DESCRIPTION OF REVISION

DATE

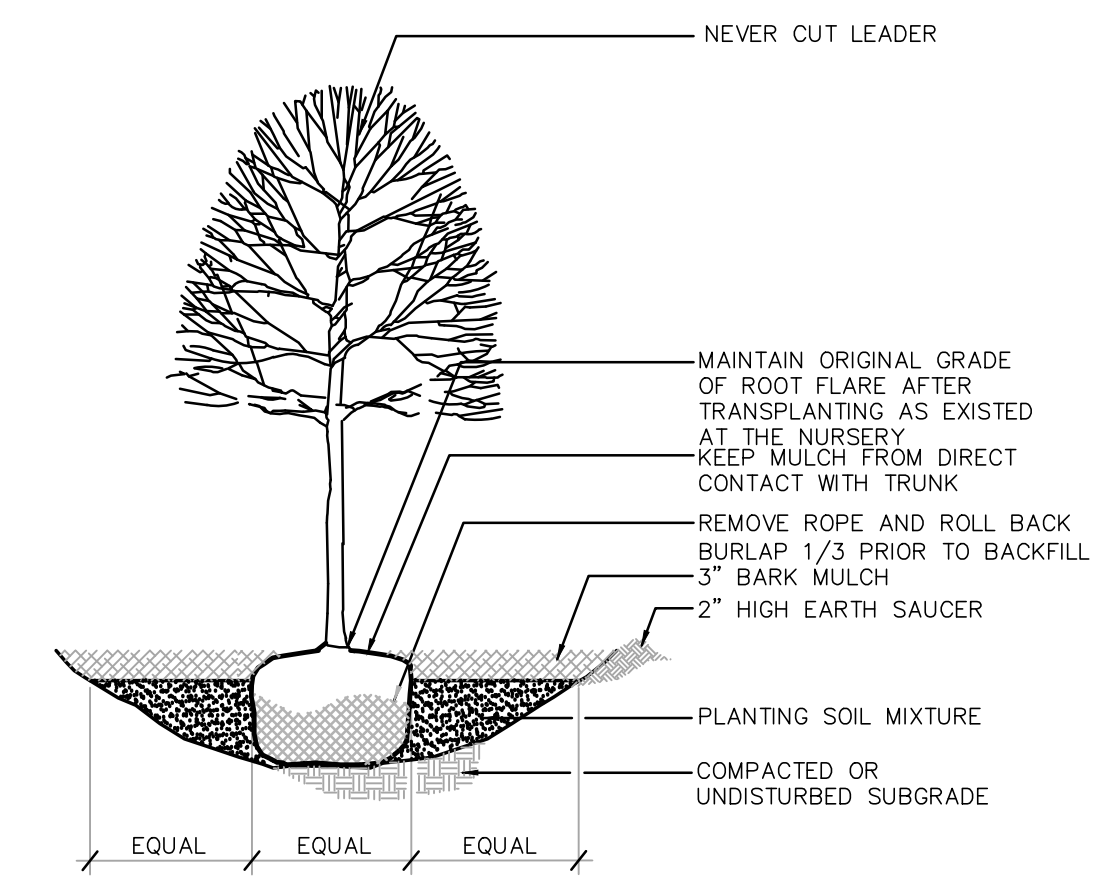


PLANT LIST

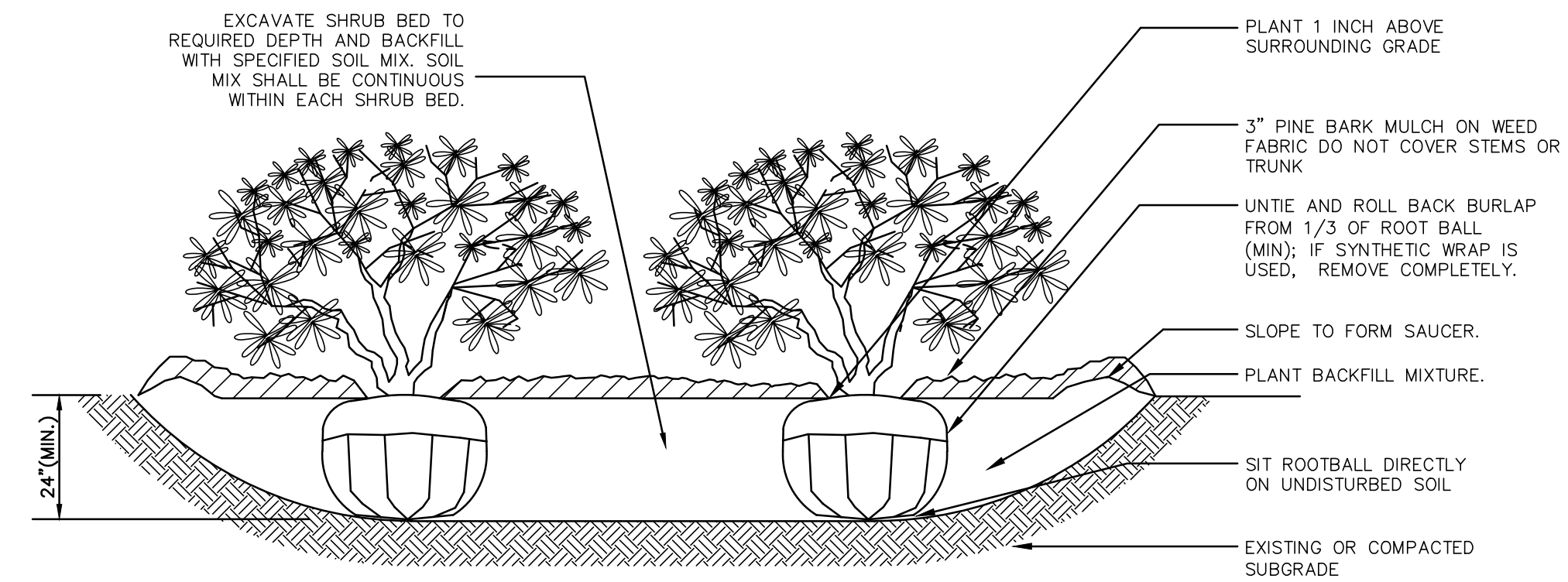
Key	Qty.	Botanical Name	Common Name	Size
TREES	AR	Acer Rubrum	Red Maple	8'-10'
	PC	Pyrus Calleryana	Bradford Pear	8'-10'
	QR	Quercus Rubra	Red Oak	8'-10'
SHRUBS	KL	Kalmia Latifolia	Mountain Laurel	2'-3'
	TD	Taxus Densiformis	Dense Yew	2'-3'
	VC	Viburnum Carlesii	Mayflower Viburnum	2'-3'
PERENNIALS	HM	Hemerocallis	'Happy Returns' Daylily	8"-10"
	HS	Hosta	'Dream Weaver' Hosta	8"-10"

GENERAL NOTES

- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the plantings shown on the drawing.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurseries, Inc. ANSI Z60.1-1990
- All plants to be balled in burlap or container grown. No plastic burlap.
- All roots shall be dusted with appropriate mycorrhizal inoculant product, prior to planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Heal all construction scars with native/naturalized grass, lawn or mulch.



DECIDUOUS AND FLOWERING TREE DETAIL
NOT TO SCALE



NOTE:
LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER-GROWN SHRUBS.

SHRUB BED PLANTING
NOT TO SCALE

NO.	DATE	DESCRIPTION OF REVISION

PREPARED BY:

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Lafayette Road
Portsmouth, NH 03801
Tel: (603) 610-7100
Fax: (603) 610-7101

PROJECT:

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

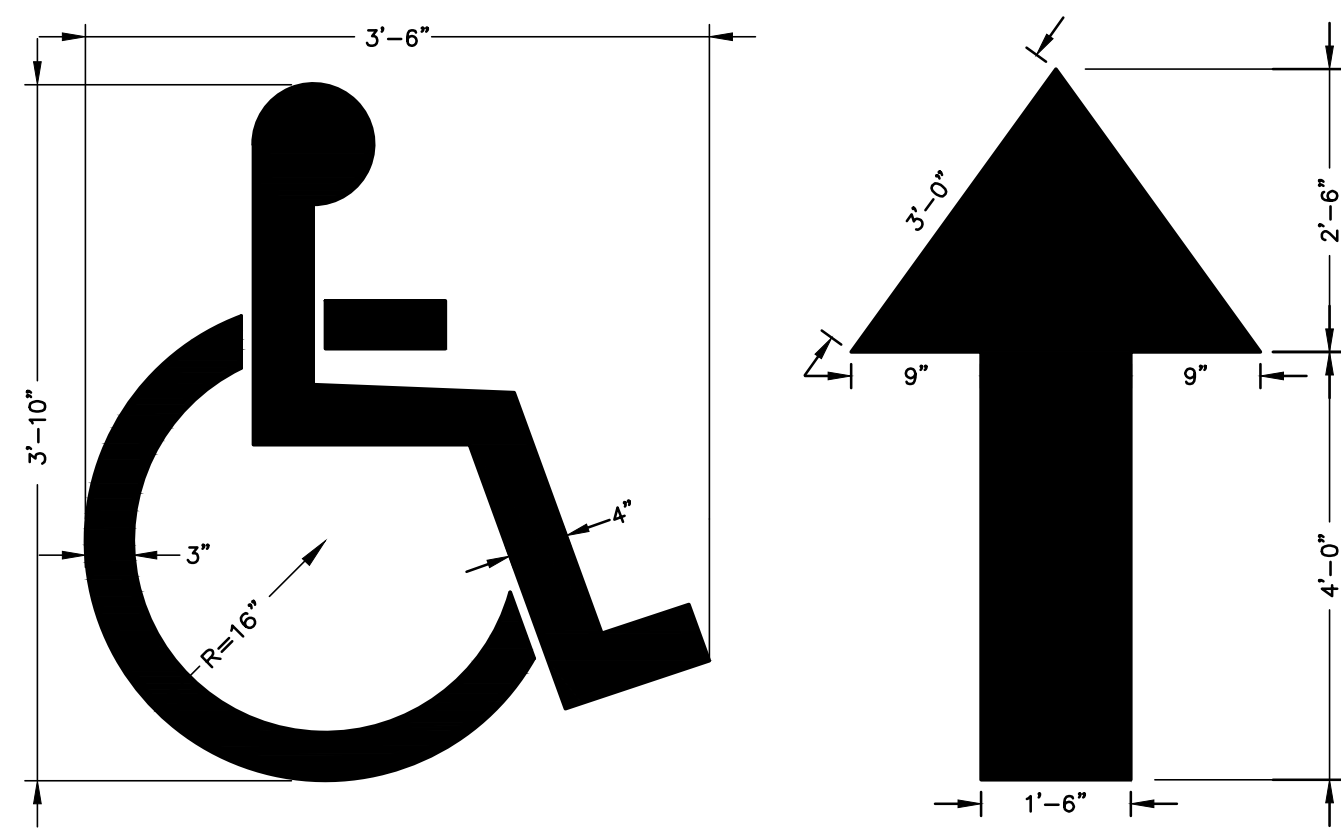
DATE: January 13, 2020
DWG FILE NAME: 19-58507.dwg
PROJECT #: 19-58507
SCALE: AS NOTED
DESIGN BY: Calvin Reach
CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
Engineering Alliance, Inc.

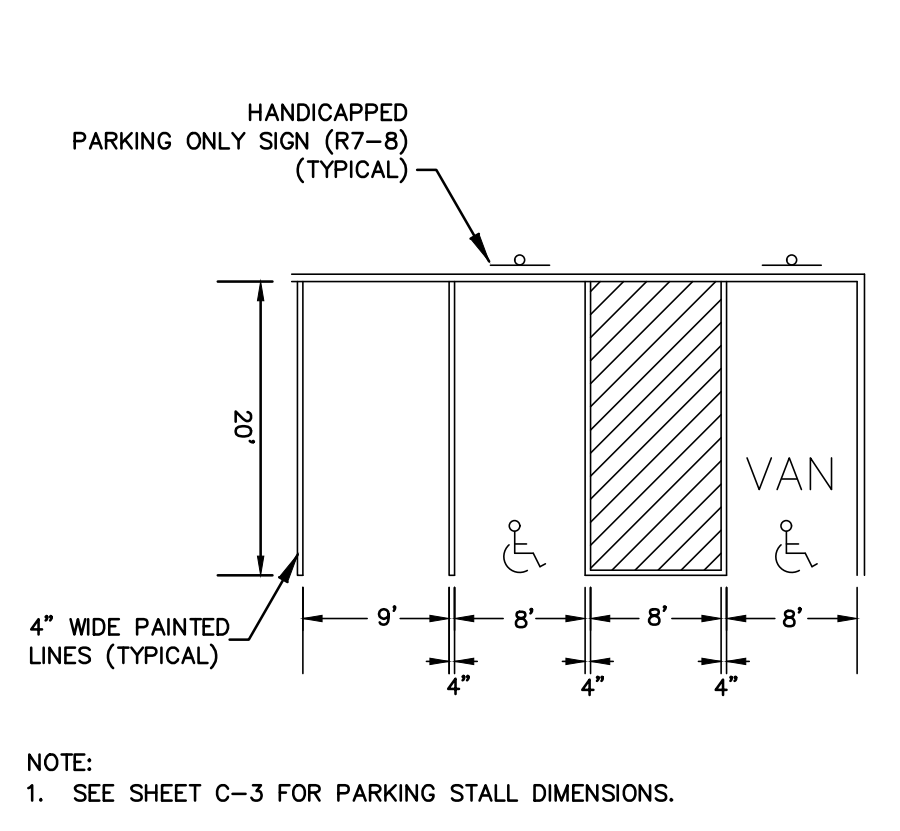
APPLICANT:
29 & 41 Alden Street Realty Trust
11 Pleadd Road
Newton, MA 02459

DWG. NO.:
L-1

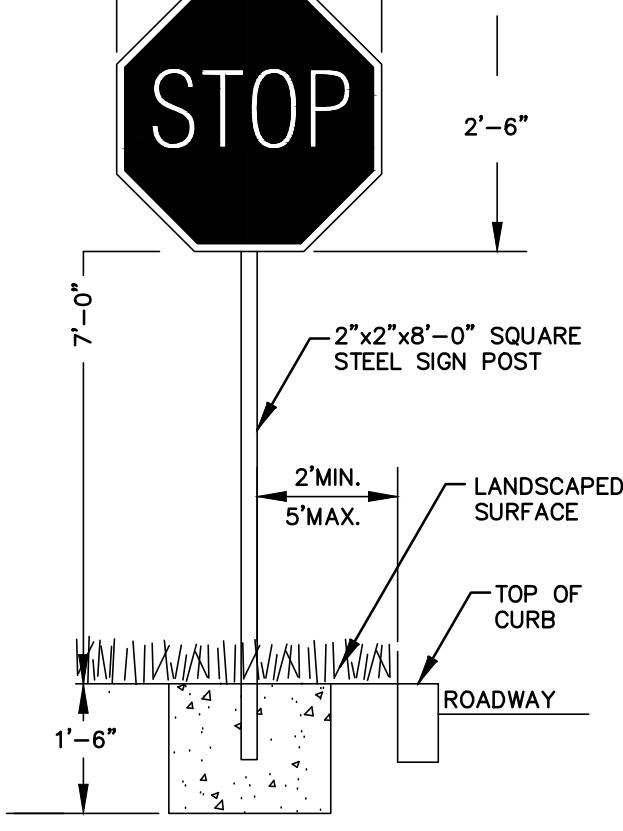
DRAWING TITLE:
Landscape Plan



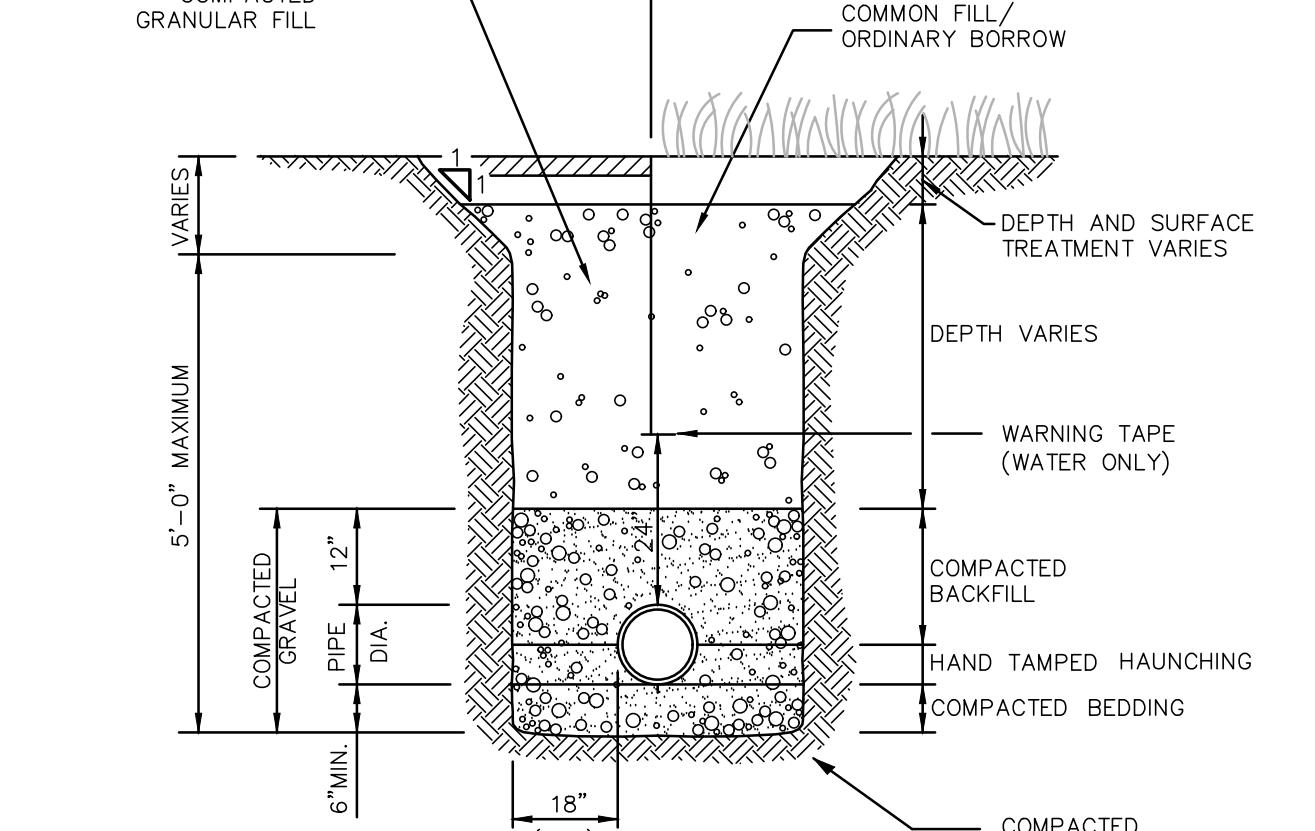
PAINTED HANDICAP SYMBOL & TRAFFIC ARROW DETAIL
NOT TO SCALE



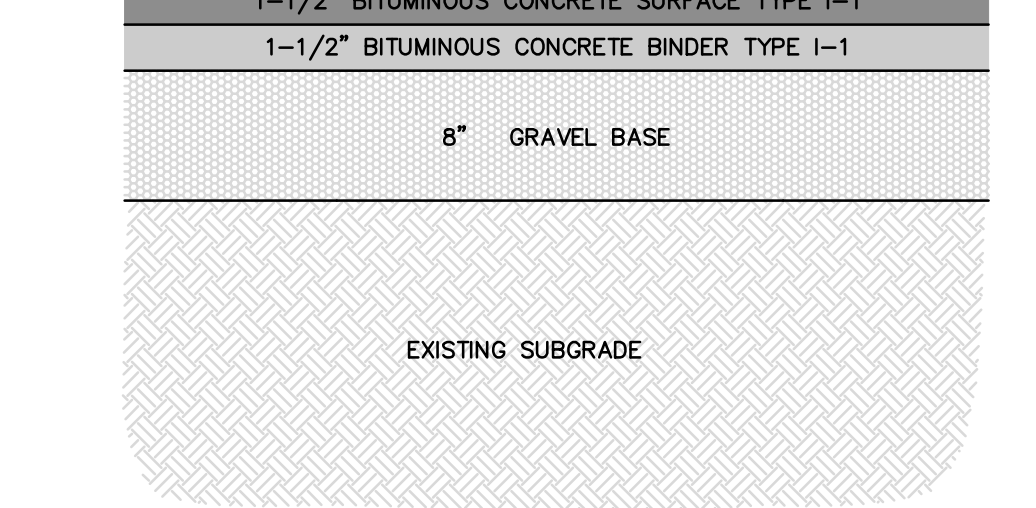
HANDICAP AND STANDARD PARKING DETAIL
NOT TO SCALE



TYPICAL SIGN DETAIL
NOT TO SCALE

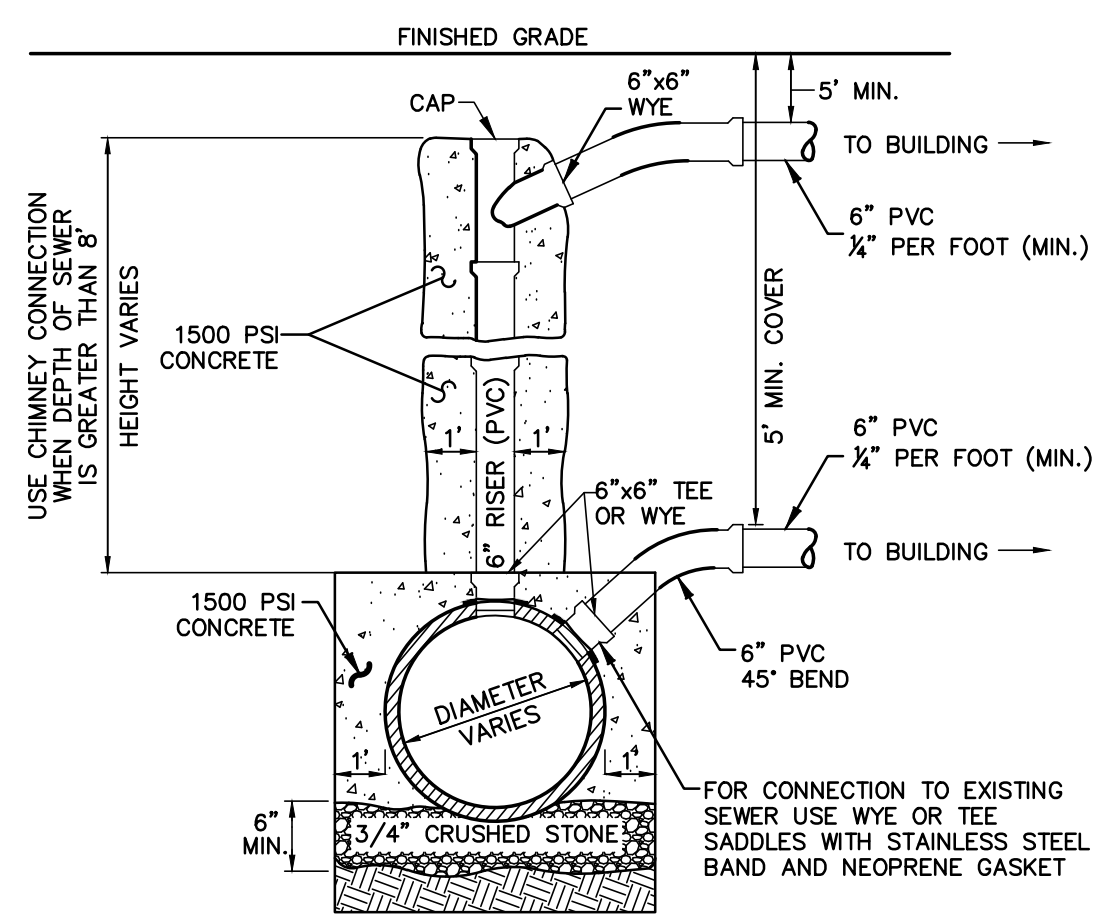


UTILITY TRENCH
NOT TO SCALE

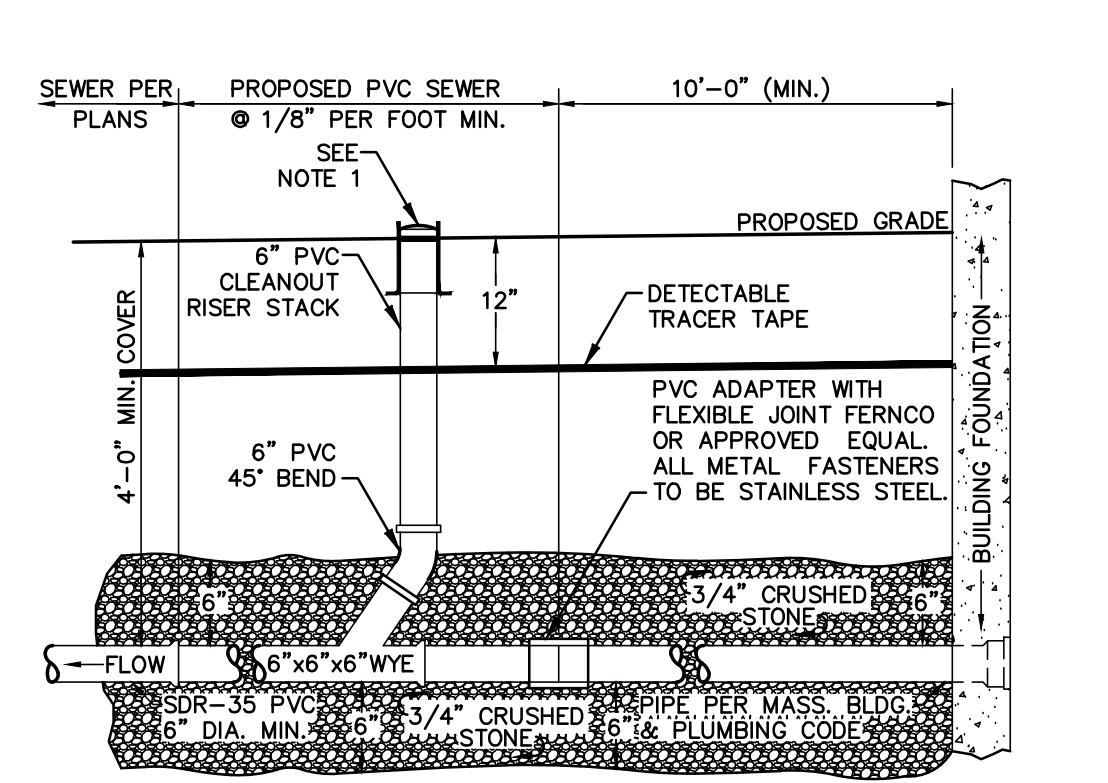


NOTES:
1. NEW STANDARD PAVEMENT SHALL CONSIST OF A 3" TOTAL THICKNESS IN ALL PAVED AREAS OF MASSHIGHWAY CLASS 1, TYPE 1 BITUMINOUS CONCRETE APPLIED IN TWO COURSES, ONE 1-1/2" SURFACE COURSE OVER ONE 1-1/2" BINDER COURSE OVER AN 8" GRAVEL BASE COURSE. COMPACT THE UPPER 1 1/2" OF PAVEMENT SUBGRADE, BASE COURSE, PAVEMENT BINDER AND SURFACE COURSES TO 95 PERCENT OF MAXIMUM DENSITY, AS DETERMINED FOR EACH MATERIAL BY THE APPLICABLE TEST METHODS.
2. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST

STANDARD PAVEMENT SECTION
NOT TO SCALE

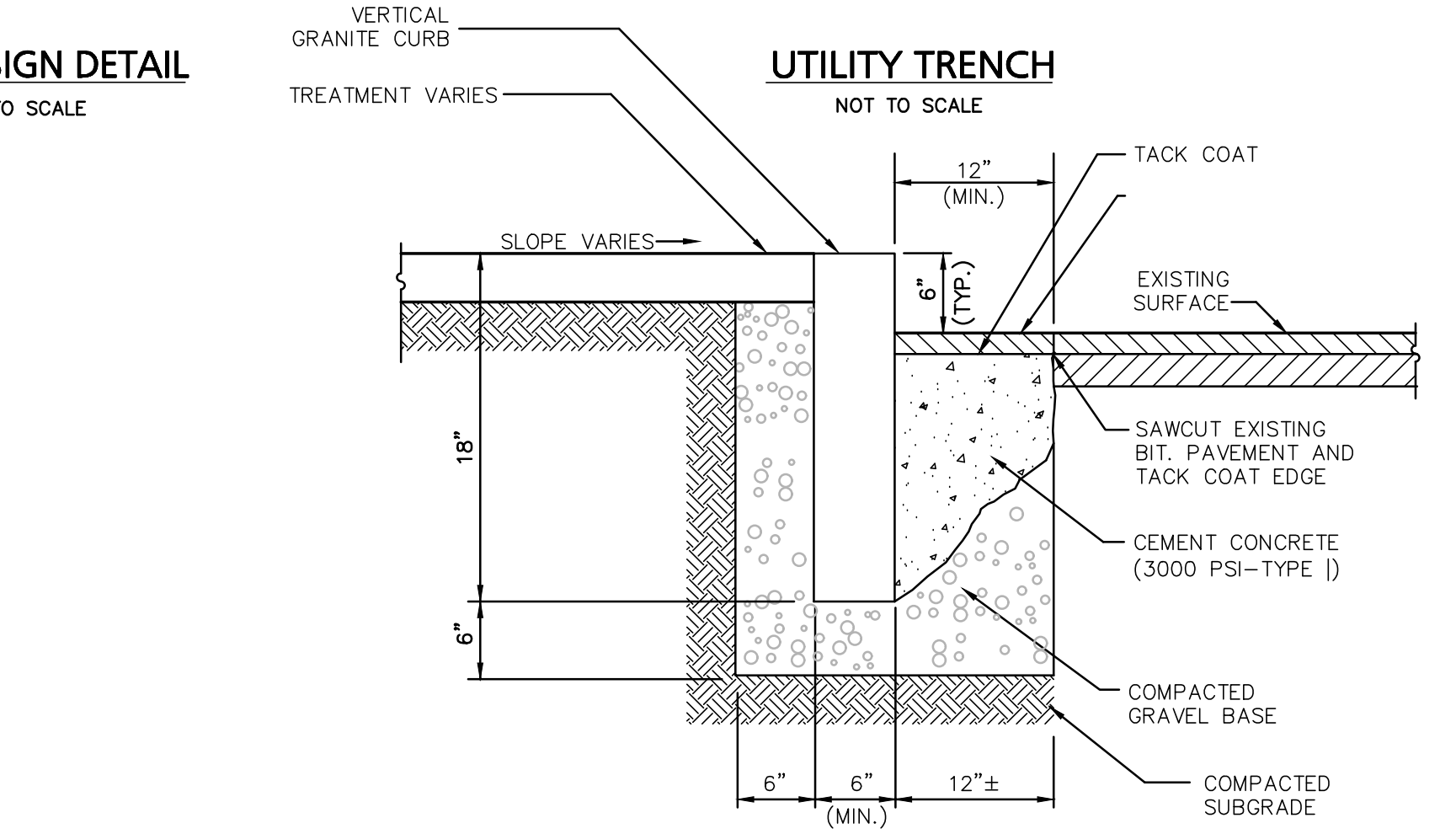


SANITARY SEWER SERVICE AT MAIN
NOT TO SCALE

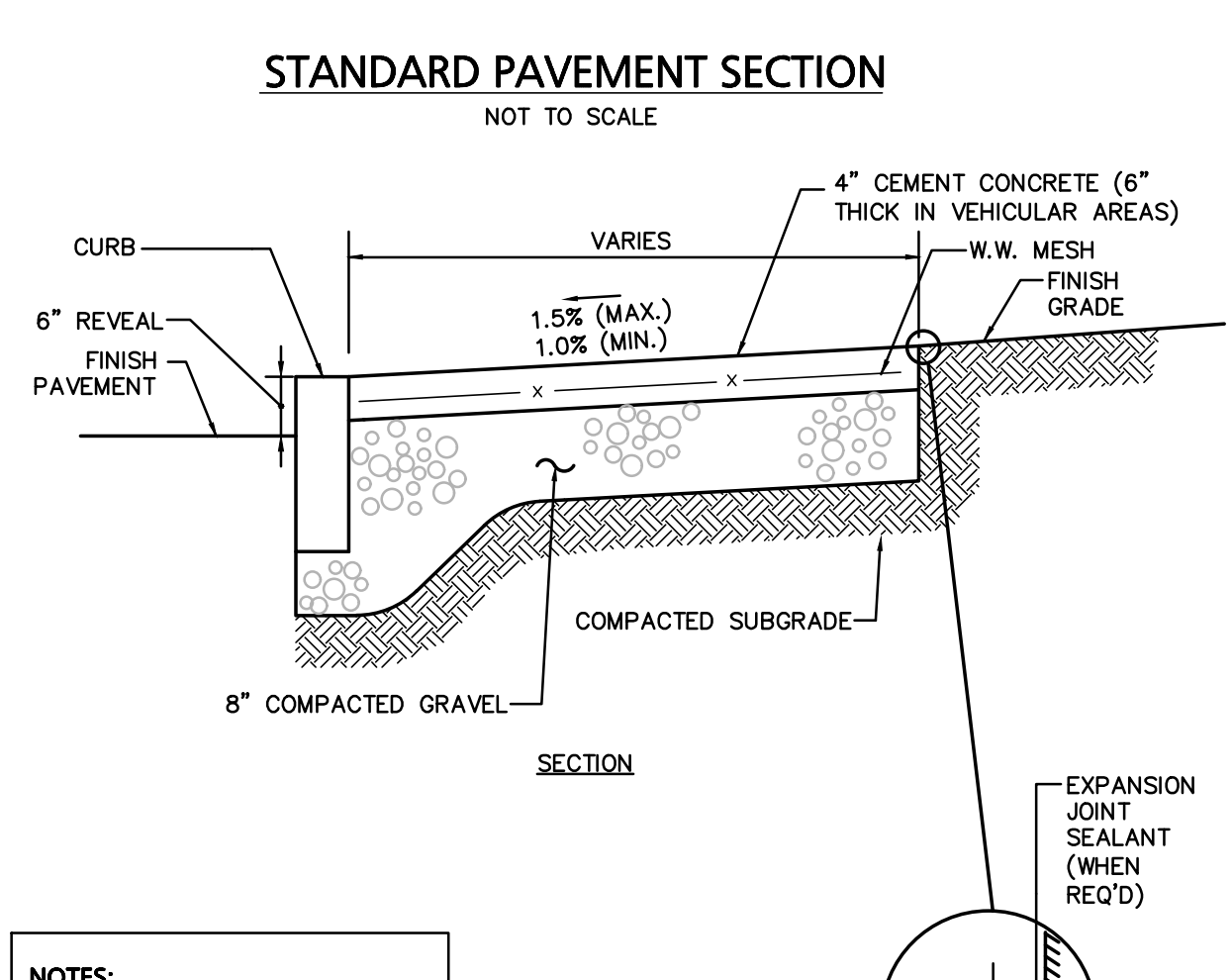


NOTES:
1. LeBaron CAST IRON SEWER CLEANOUT RING COVER. COVER TO BE CAST WITH THE WORD "CLEANOUT" AND HAVE FLAT DIAMOND SURFACE.

SANITARY SEWER SERVICE AT BUILDING
NOT TO SCALE



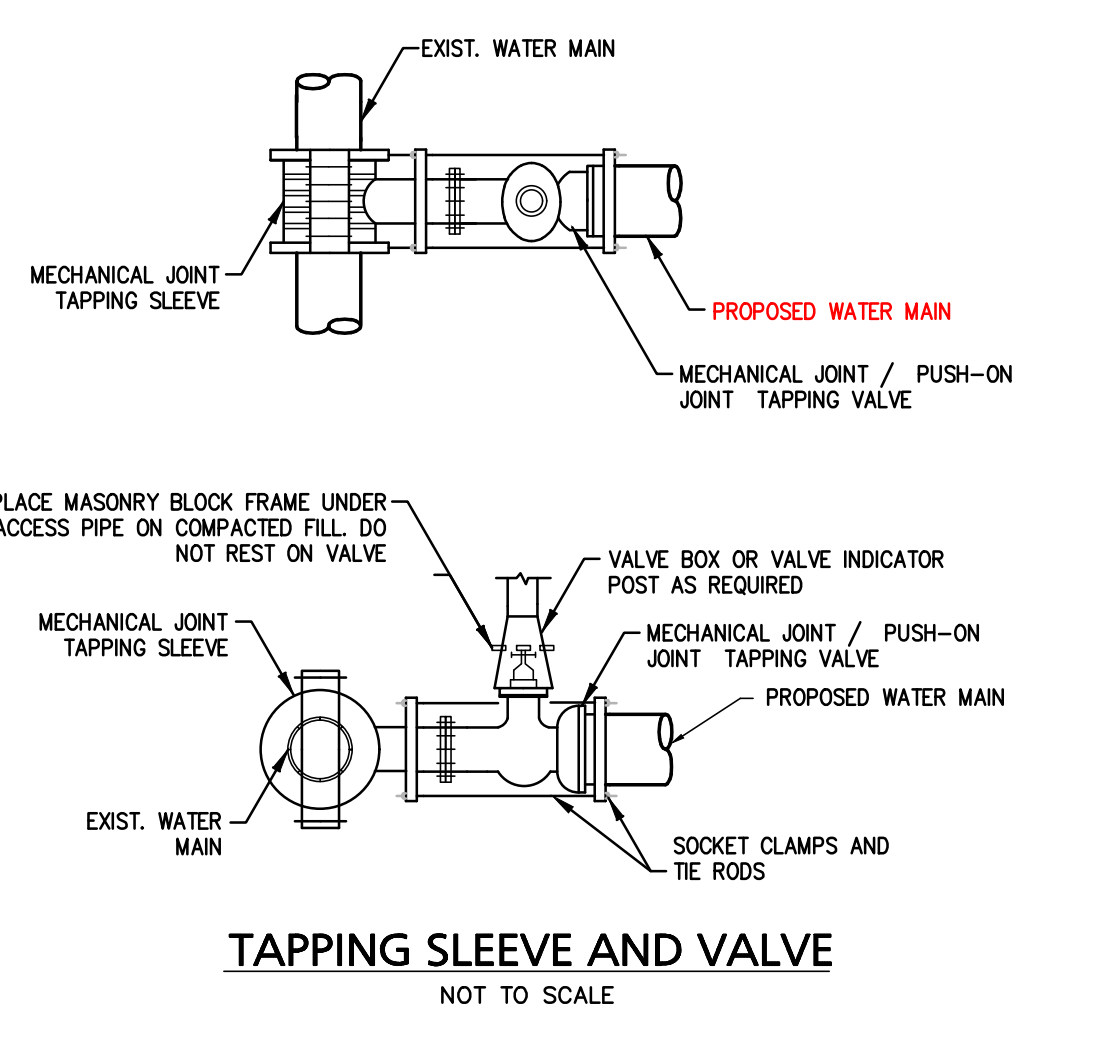
VERTICAL GRANITE CURB SET IN EXISTING PAVEMENT
NOT TO SCALE



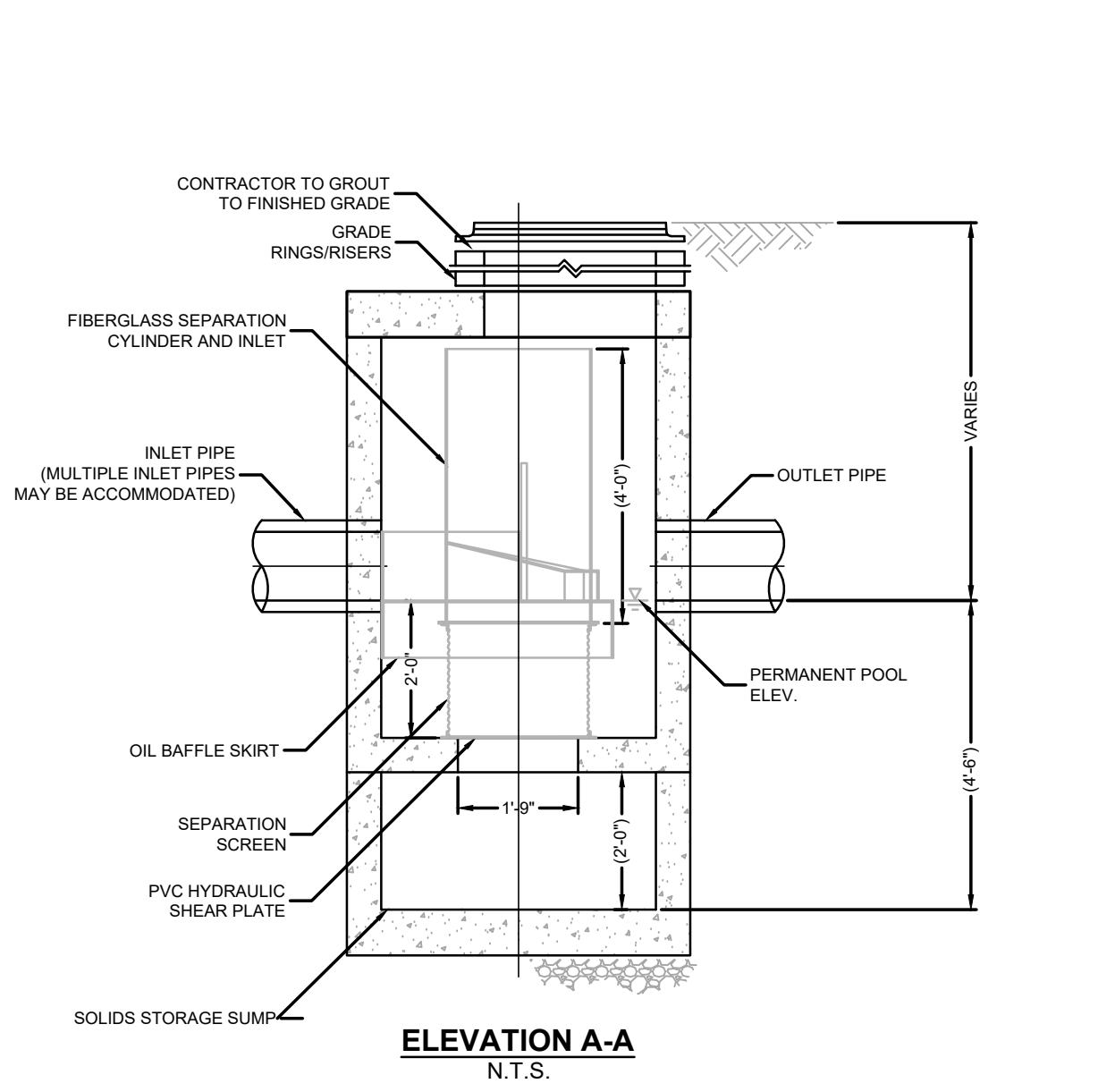
NOTES:
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
2. PROVIDE CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II

CONCRETE SIDEWALK
NOT TO SCALE

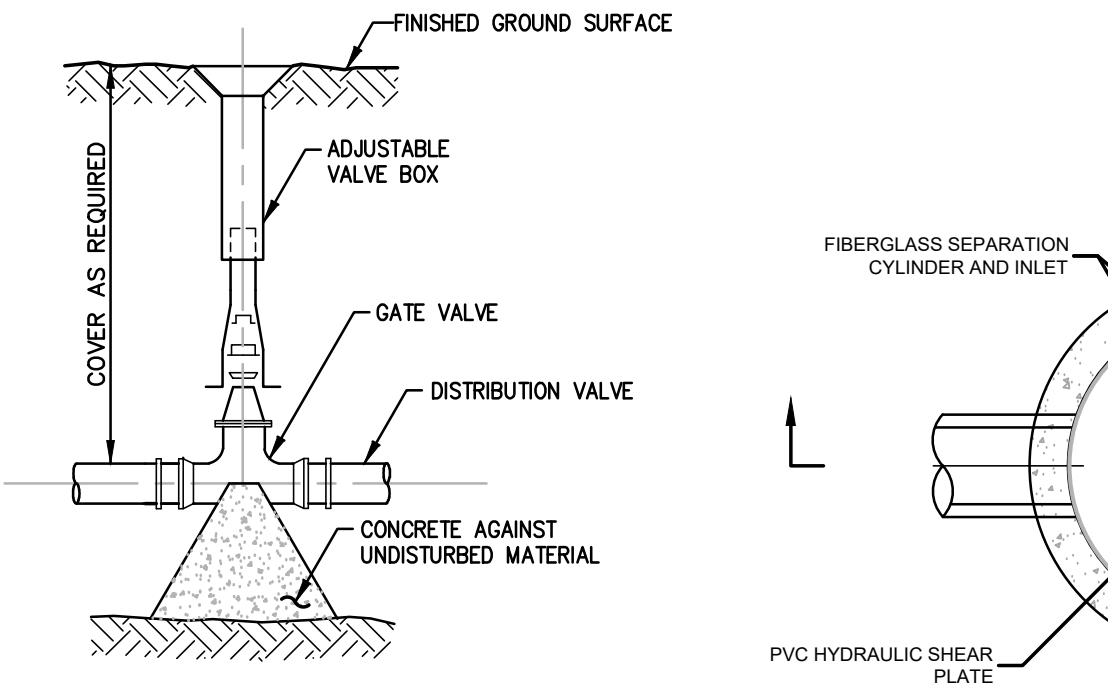
INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	8"	5'-0"	6'-0"	5'-0"
5"	3'-6"	5'-0"	4'-0"	8"	5'-6"	5'-6"	4'-0"
	3'-6"	3'-6"	3'-0"	8"	6'-0"	6'-0"	3'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-0"	6'-0"	2'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-6"	6'-6"	3'-0"
	3'-6"	3'-6"	2'-6"	8"	6'-6"	6'-6"	2'-6"
6"	4'-0"	5'-0"	4'-6"	10"	5'-6"	7'-6"	6'-6"
	4'-0"	4'-0"	3'-6"	10"	6'-0"	6'-0"	4'-6"
	4'-6"	4'-0"	3'-6"	10"	6'-0"	6'-6"	5'-6"
	4'-6"	4'-6"	3'-0"	10"	6'-0"	6'-6"	5'-6"
	5'-0"	5'-0"	3'-0"	10"	6'-6"	6'-6"	4'-0"



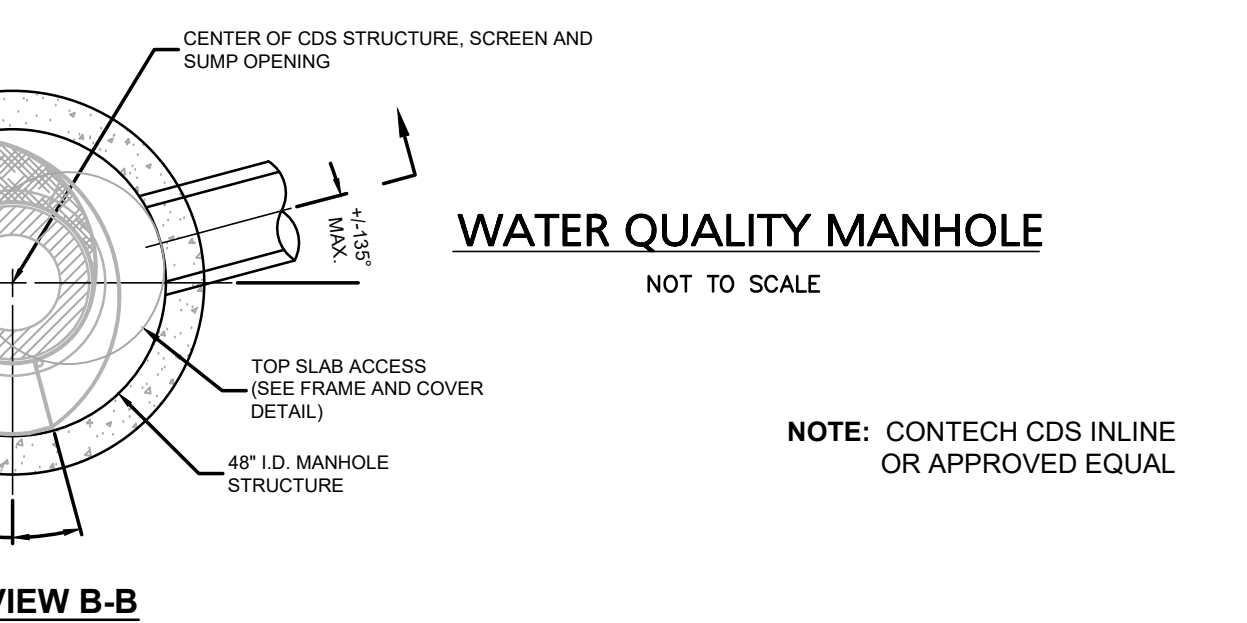
TAPPING SLEEVE AND VALVE
NOT TO SCALE



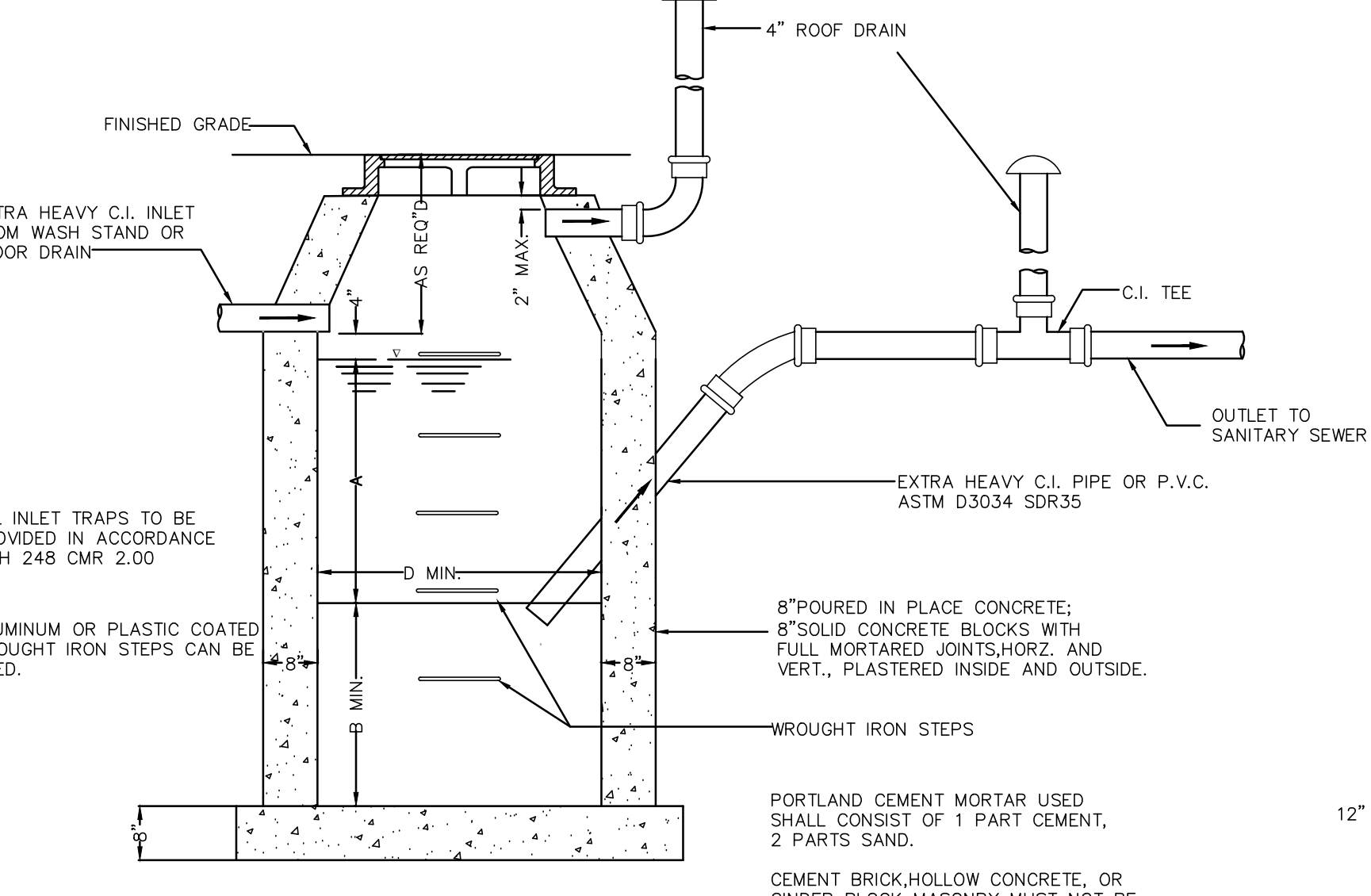
WATER QUALITY MANHOLE
NOT TO SCALE



WATER GATE DETAIL
NOT TO SCALE



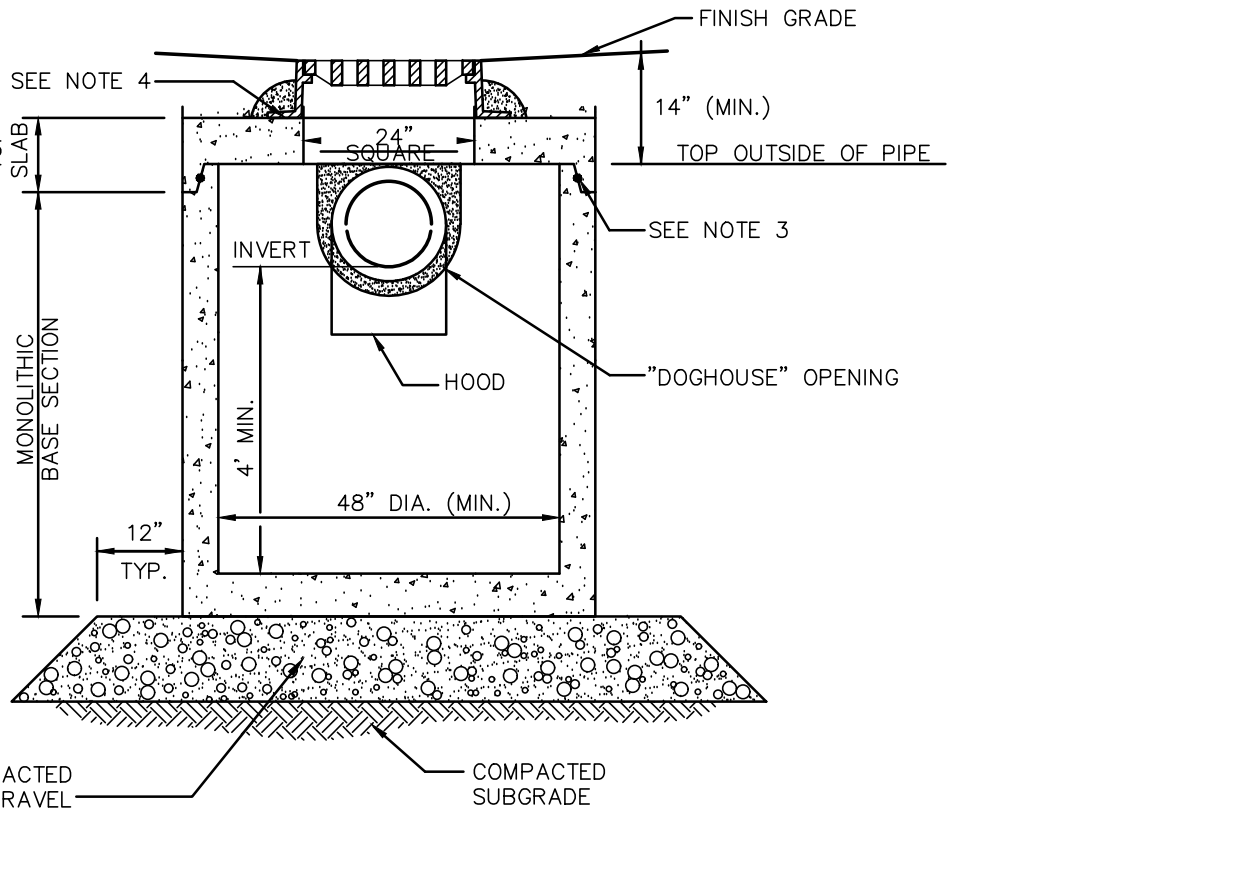
PLAN VIEW B-B
N.T.S.



NOTES:
FOR USE TO DRAIN INDOOR COVER AREAS ONLY.
FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE
PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.

GAS TRAP
SCALE: N.T.S.

NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE (4" DEPTH) SHALL BE SET IN FULL MORTAR BED.
5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.



TYPICAL CATCH BASIN SHALLOW COVER WITH HOOD

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Portsmouth, NH 03801
Saugus, MA 01906
Tel: (603) 510-1100
Fax: (603) 610-1011

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

PROJECT #: 19-58507
SCALE: AS NOTED
DESIGN BY: Calvin Reach

DATE: January 13, 2020
DWG FILE NAME: 19-58507.dwg
CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
Engineering Alliance, Inc.

APPLICANT: 29 & 41 Alden Street Realty Trust
11 Placid Road
Newton, MA 02459

DRAWING TITLE: Construction Details

DWG. NO. D-1

DESCRIPTION OF REVISION

DATE