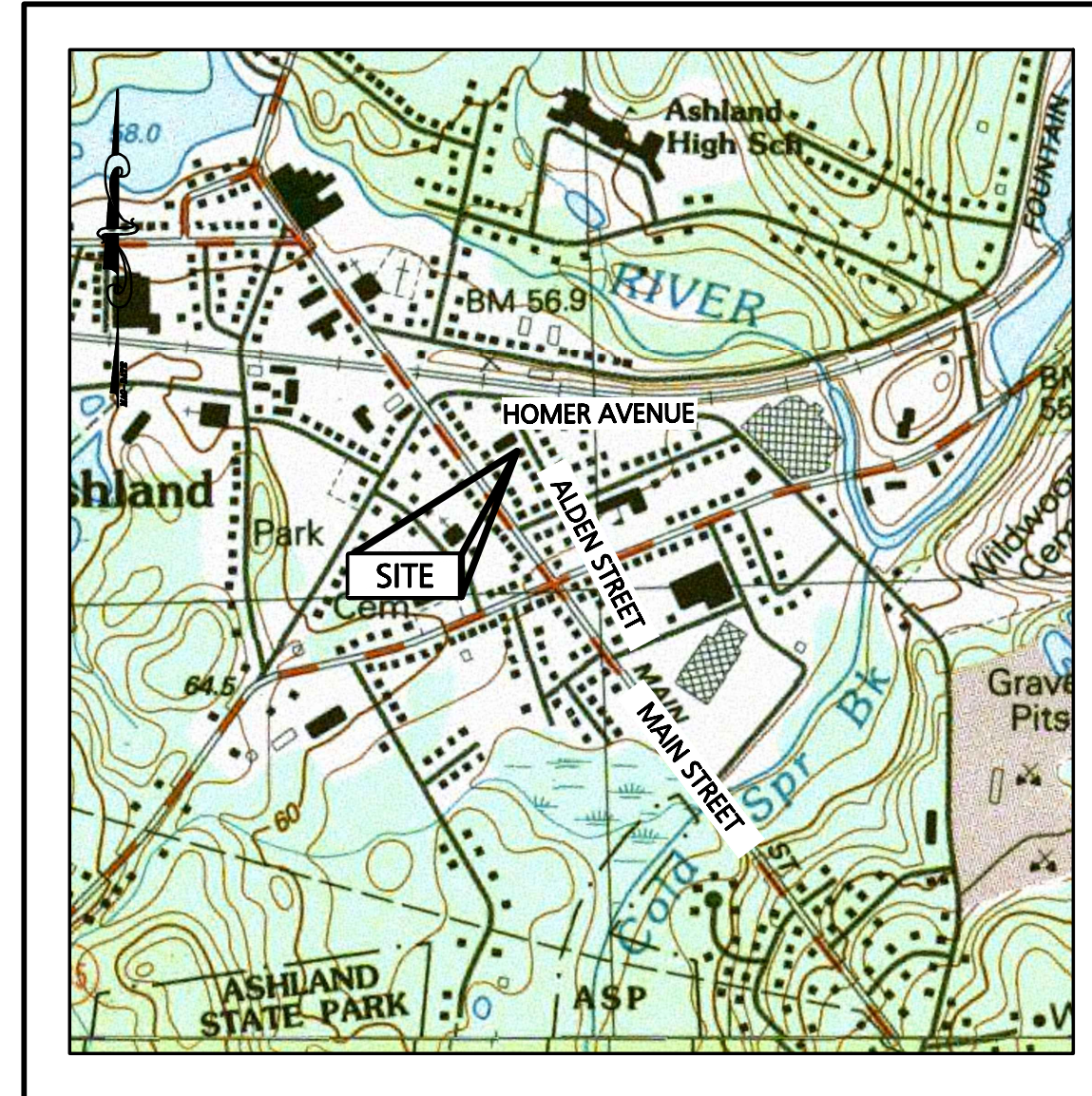


PROPOSED MULTI-FAMILY BUILDING

29 & 41 Alden Street
 (Tax Map I6, Lots 356 & 357)
 Ashland, Massachusetts 01721

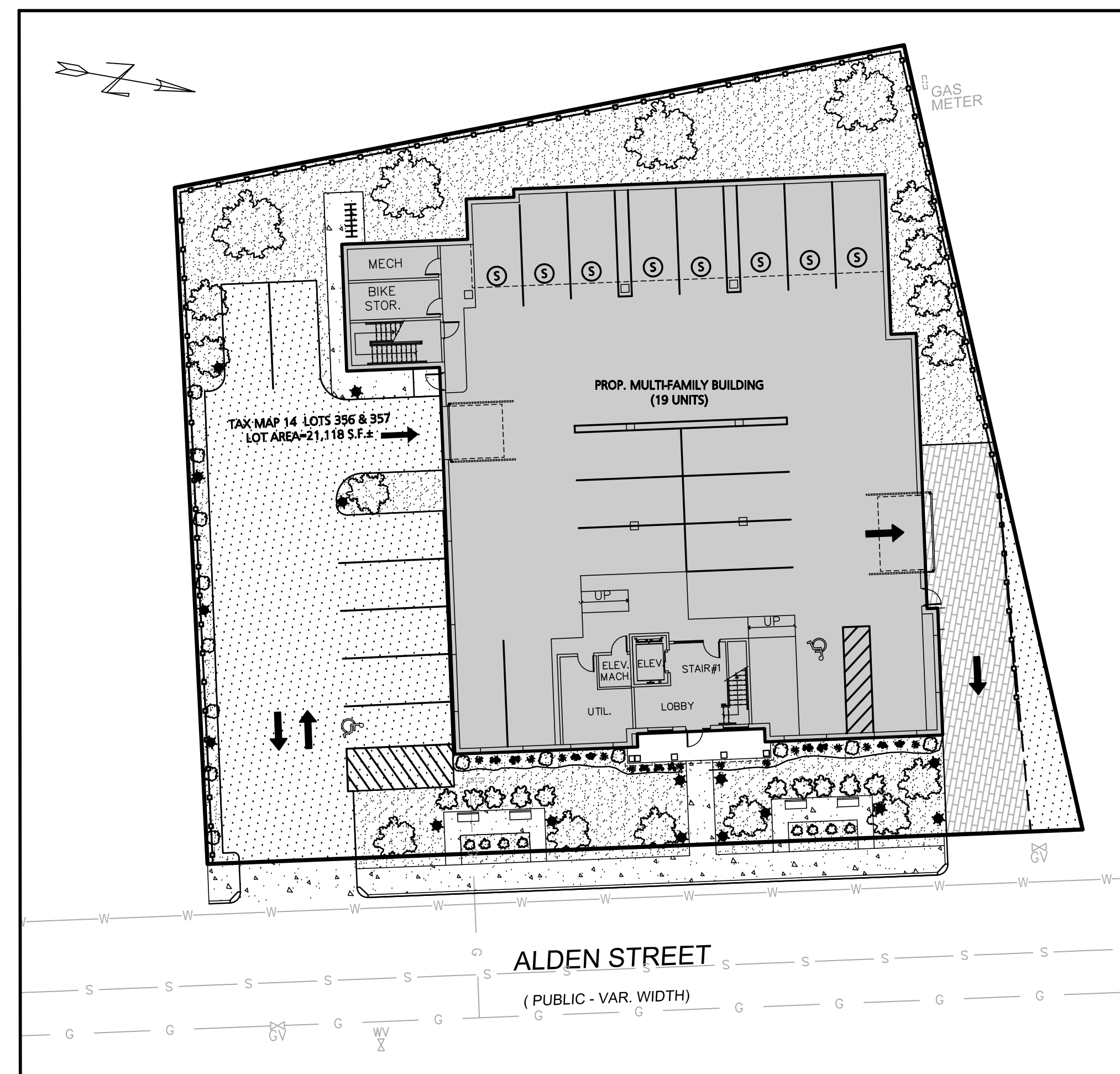


LOCUS MAP
 SCALE: 1"=1000'

OWNER/APPLICANT:
 29 & 49 ALDEN STREET REALTY TRUST.
 11 PLACID ROAD
 NEWTON, MA 02549

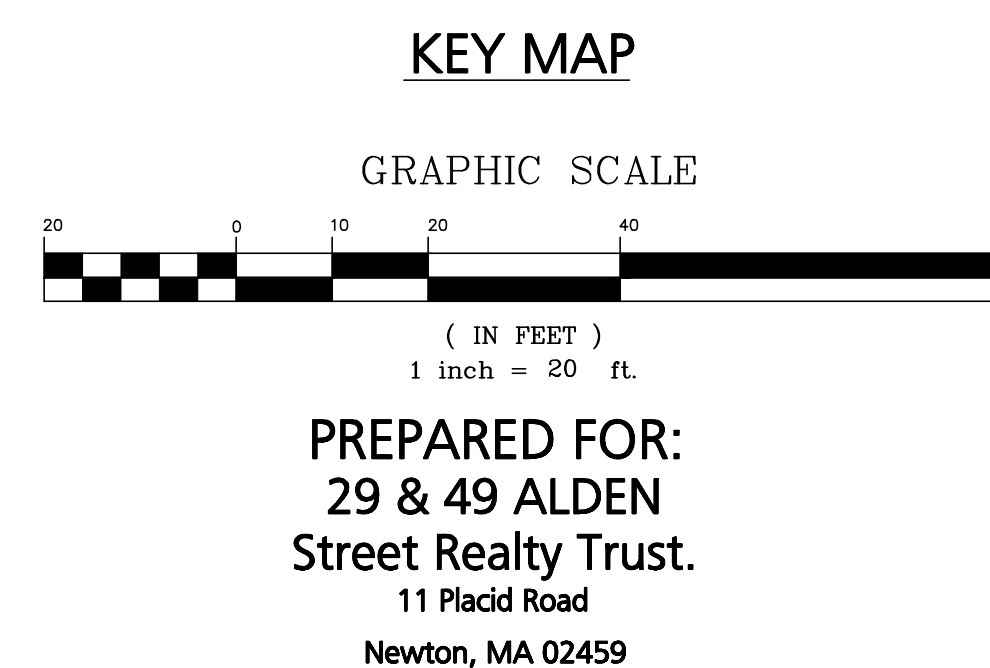
CIVIL ENGINEER:
 ENGINEERING ALLIANCE, INC.
 194 CENTRAL STREET
 SAUGUS, MA 01906
 (781) 231-1349

ARCHITECT:
 BOURQUE DESIGN
 9 MORTON STREET
 WALTHAM, MA 02543
 (781) 296-6654



PREPARED BY:

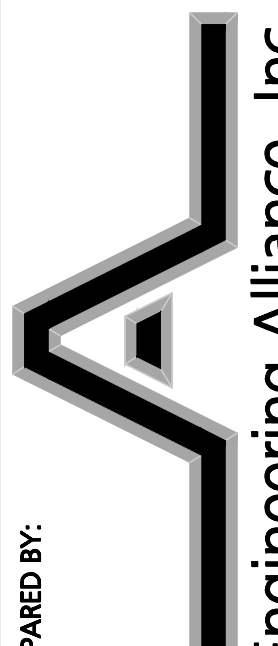
Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020



SHEET NUMBER AND TITLE

- C-0 COVER SHEET
- A1 FIRST & SECOND FLOOR PLANS
- A2 THIRD & FOURTH FLOOR PLANS
- A3 FRONT & REAR BUILDING ELEVATIONS
- A4 LEFT & RIGHT BUILDING ELEVATIONS
- C-1 EXISTING CONDITIONS PLAN
- C-2 EROSION CONTROL & DEMOLITION PLAN
- C-3 SITE LAYOUT PLAN
- C-4 GRADING, DRAINAGE & UTILITIES PLAN
- L-1 LANDSCAPE PLAN
- D-1 CONSTRUCTION DETAILS

REVISED PER TOWN COMMENT	DATE
	3/24/2020

PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020

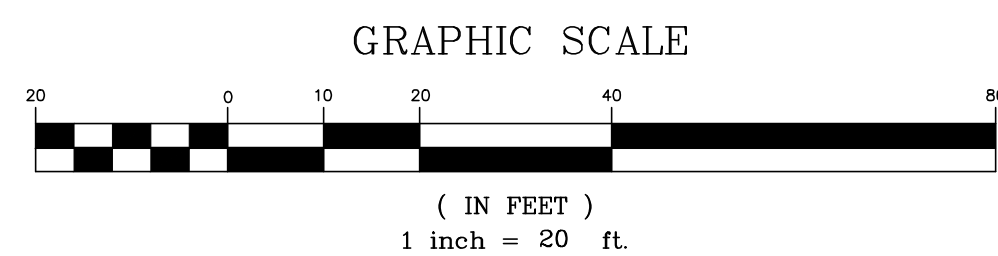
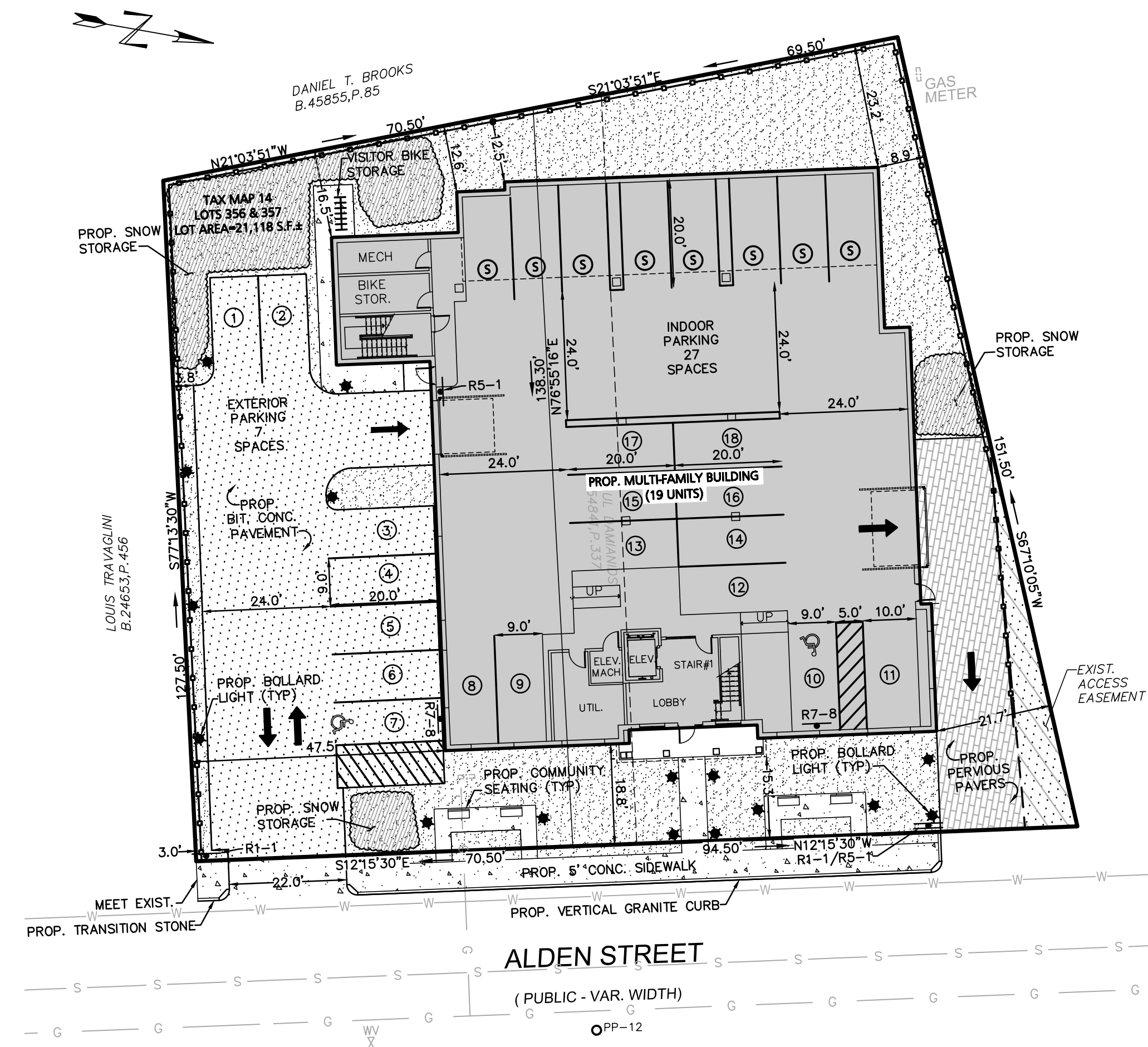
PROJECT:
Site Plan
 29 & 41 Alden Street
 (Tax Map I6 Lots 356 & 357)
 Ashland, Massachusetts

PROJECT #: 19-58507
 DATE: January 13, 2020
 SCALE: AS NOTED
 DWG FILE NAME: 19-58507.dwg
 DESIGN BY: Calvin Reach
 CHECKED BY: Richard A. Salvo, P.E.



APPLICANT:
 29 & 41 Alden Street Realty Trust
 11 Placid Road
 Newton, MA 02549

DWG. NO. **C-0**
 DRAWING TITLE:
Cover Sheet



LEGEND - SITE LAYOUT PLAN

PROPERTY LINE	
EXISTING BUILDING	
EXISTING EDGE OF PAVEMENT	
EXISTING CURB	
PROPOSED BUILDING	
PROPOSED PARKING COUNT	③
PROPOSED TRAFFIC ARROW	
PROPOSED ACCESSIBLE PARKING SPACE	
PROPOSED LANDSCAPED AREA	
PROPOSED CONCRETE SIDEWALK	
PROPOSED MECHANICAL STACKED SPACE	Ⓢ
PROPOSED BOLLARD LIGHT	★
PROPOSED SNOW STORAGE AREA	

LAND USAGE TABLE
ASHLAND DOWNTOWN DISTRICT (ADD)

ITEM	REQUIRED	PROVIDED	EXEMPT REQUESTED
MINIMUM LOT AREA (S.F.)	8,000 S.F.	21,118 S.F.	NO
MINIMUM FRONTAGE	50 FT	165 FT	NO
MINIMUM FRONT YARD SETBACK	0 FT	15.3 FT	NO
MAXIMUM FRONT YARD SETBACK	15 FT	-	NO
MINIMUM SIDE YARD SETBACK	-	8.9 FT	NO
MINIMUM REAR YARD SETBACK	12 FT	12.5 FT	NO
MAXIMUM NUMBER OF STORIES	3 (4) ¹	4	NO
MAXIMUM HEIGHT (FT)	35 (45) ²	42.3 FT	NO
MAXIMUM FAR	1.5	1.5 ³	NO

- NOTE:
1. AN ADDITIONAL FLOOR MAY BE ADDED IF AGREED TO BY PLANNING BOARD.
 2. 45' BUILDING HEIGHT IS ALLOWED UPON ISSUANCE OF SPECIAL PERMIT.
 3. AVERAGE GRADES:
187.0 + 187.0 + 190.0 + 188.0 + 186.5 + 188.5 + 186.5 + 188.0 = 1501.5
1501.5 / 8 = 187.69
 4. FAR:
FIRST FLOOR: 9,720 S.F.
SECOND FLOOR: 7,470 S.F.
THIRD FLOOR: 7,470 S.F.
FOURTH FLOOR: 6,990 S.F.
TOTAL: 31,650 S.F.
31,650 / 21,118 = 1.50

PARKING CALCULATIONS

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY DWELLING	29 SPACES	9 SPACES (Standard Storage Spaces)
RESIDENTIAL (19 UNITS)	(2 SPACES PER UNIT) 19 UNITS x 2 spaces = 38 Spaces 38 x 0.75% = 28.5 Spaces (A.D.D.)	2 SPACES (Gov. Accessible Parking) 7 SPACES (Exterior Spaces) 16 SPACES (Stipulated Spaces) (2 per parking stall)
TOTAL	29 SPACES	34 SPACES

- NOTE:
- 1A. TOTAL NUMBER OF PARKING SPACES IN DEVELOPMENT: 36 SPACES
MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED FOR 26-50 SPACES: 2 SPACES
 - 2A. STANDARD PARKING SPACES ARE 9'x20'

SIGN TABLE

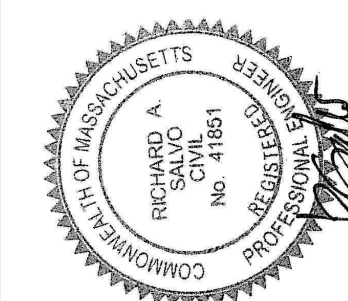
REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT (SHOULD BE MINIMUM OF 5 FT.)	DESCRIPTION	REFLECTORIZED
R7-8		12" X 20"	7' - 0"	BLUE ON WHITE	YES
R1-1		24" x 24"	7' - 0"	WHITE ON RED	YES
R5-1		24" x 24"	7' - 0"	RED ON WHITE	YES

PREPARED BY:

PROJECT:

APPLICANT:

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts



29 & 41 Alden Street Realty Trust
11 Pledd Road
Newton, MA 02459

DRAWING TITLE:
Site Layout Plan

DWG. NO.
C-3

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
1950 Lafayette Road
Portsmouth, NH 03801
Saugus, MA 01906
Tel: (603) 510-7100
Fax: (603) 417-0020

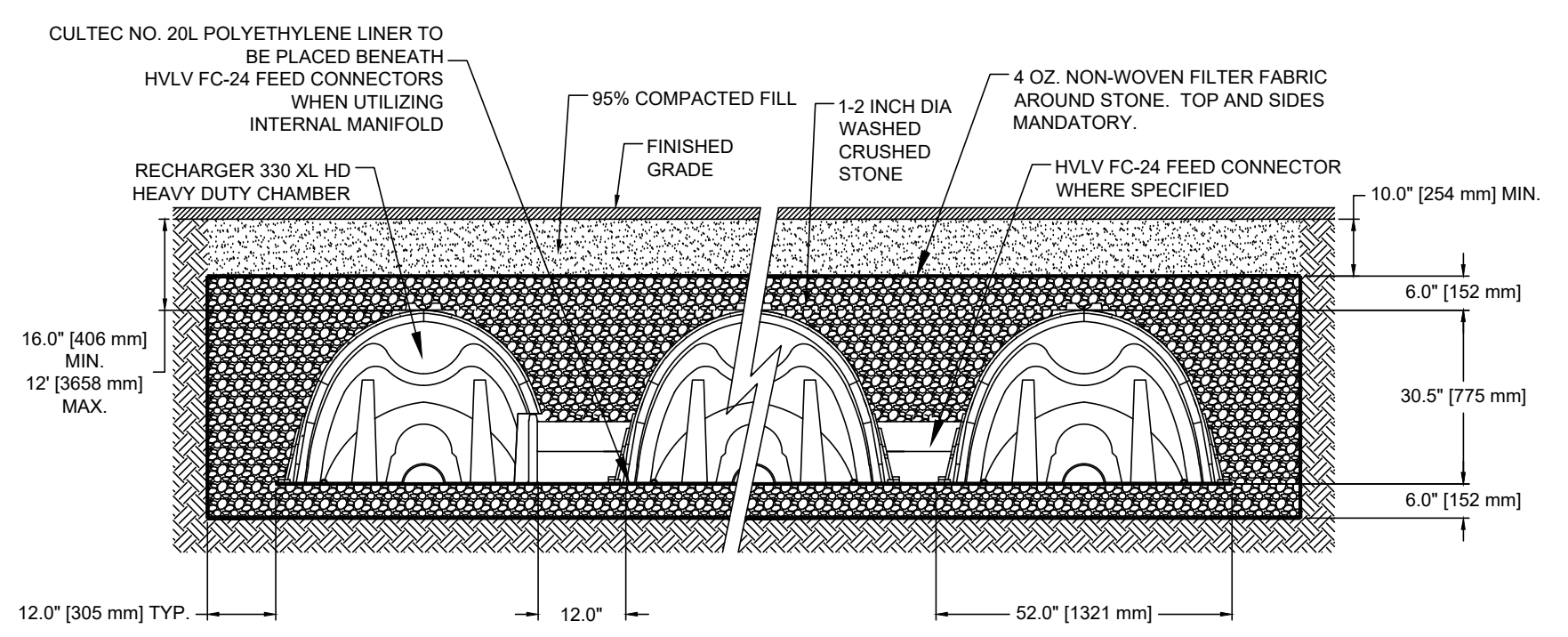
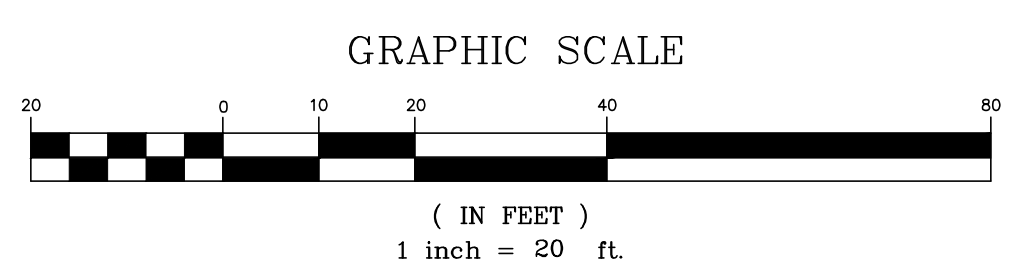
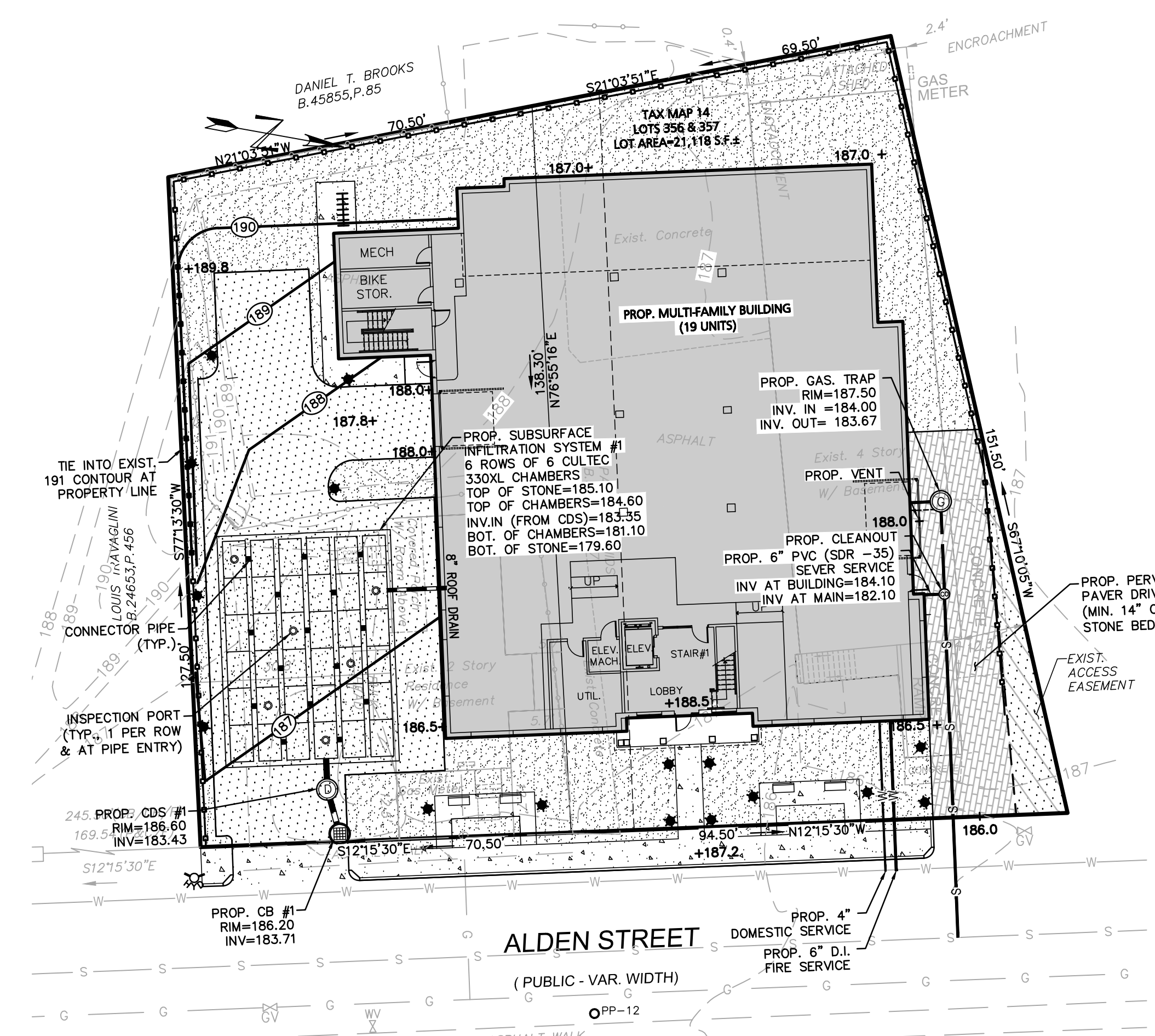
DATE: January 13, 2020
DWG FILE NAME: 19-58507.dwg
SCALE: AS NOTED
DESIGN BY: Calvin Reach
CHECKED BY: Richard A. Salvio, P.E.

3/24/2020
DATE
REVISED PER TOWN COMMENT
DESCRIPTION OF REVISION

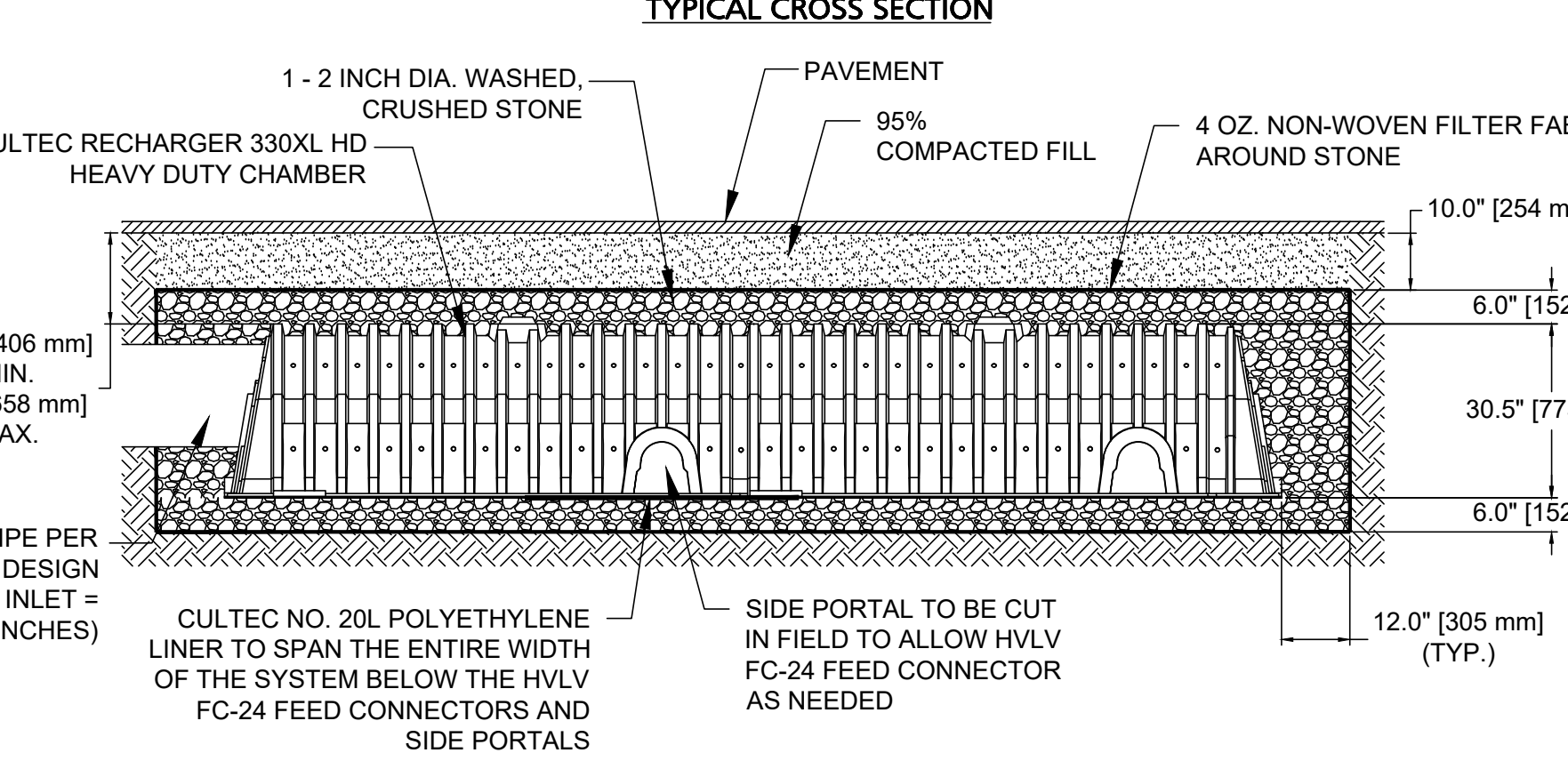
LEGEND - GRADING, DRAINAGE, & UTILITY

PROPERTY LINE	—
EXISTING BUILDING	▨
PROPOSED BUILDING	▩
PROPOSED BIT. CONCRETE SIDEWALK	▧
PROPOSED LANDSCAPED AREA	▨
PROPOSED BIT. CONC. CURB	▩
PROPOSED DRAIN	—
PROPOSED CATCHBASIN	⊗
PROPOSED CDS UNIT (WQ MANHOLE)	⊙
PROPOSED GAS TRAP	⊙
PROPOSED WATER LINE	—W—W—W—
PROPOSED SEWER LINE	—S—S—S—
PROPOSED CONTOUR	189
PROPOSED SPOT SHOT	+187.2

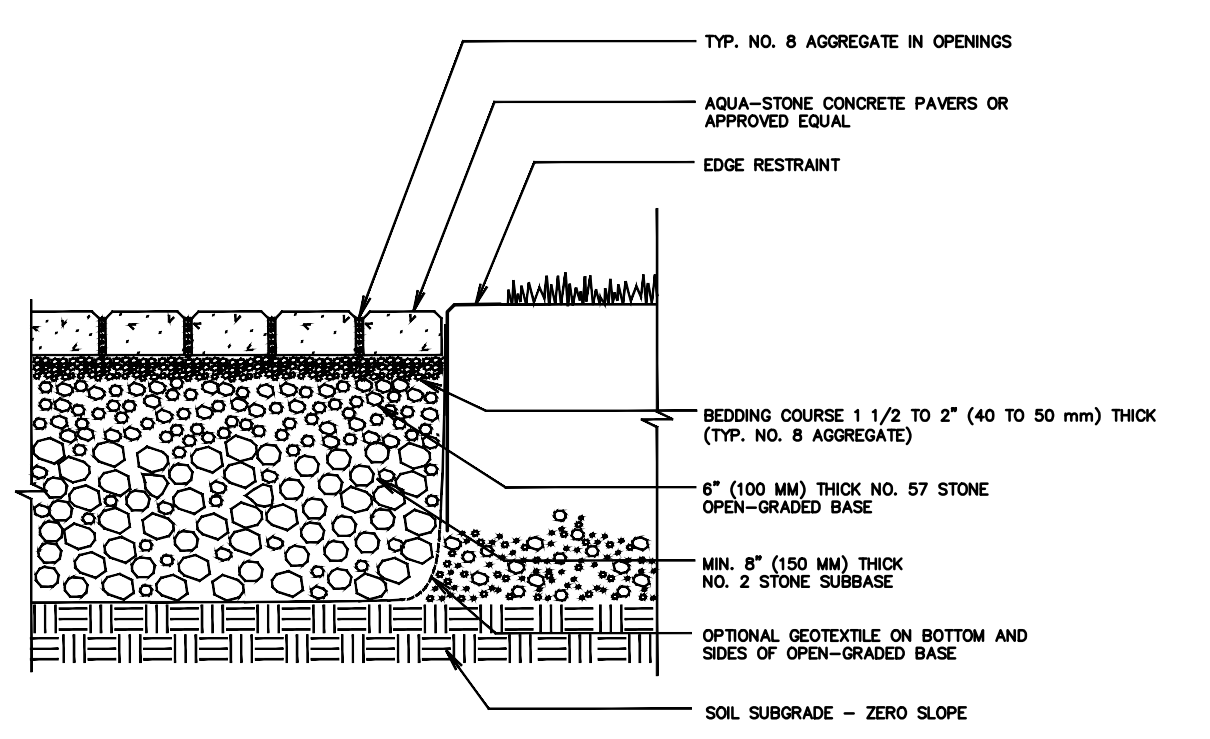
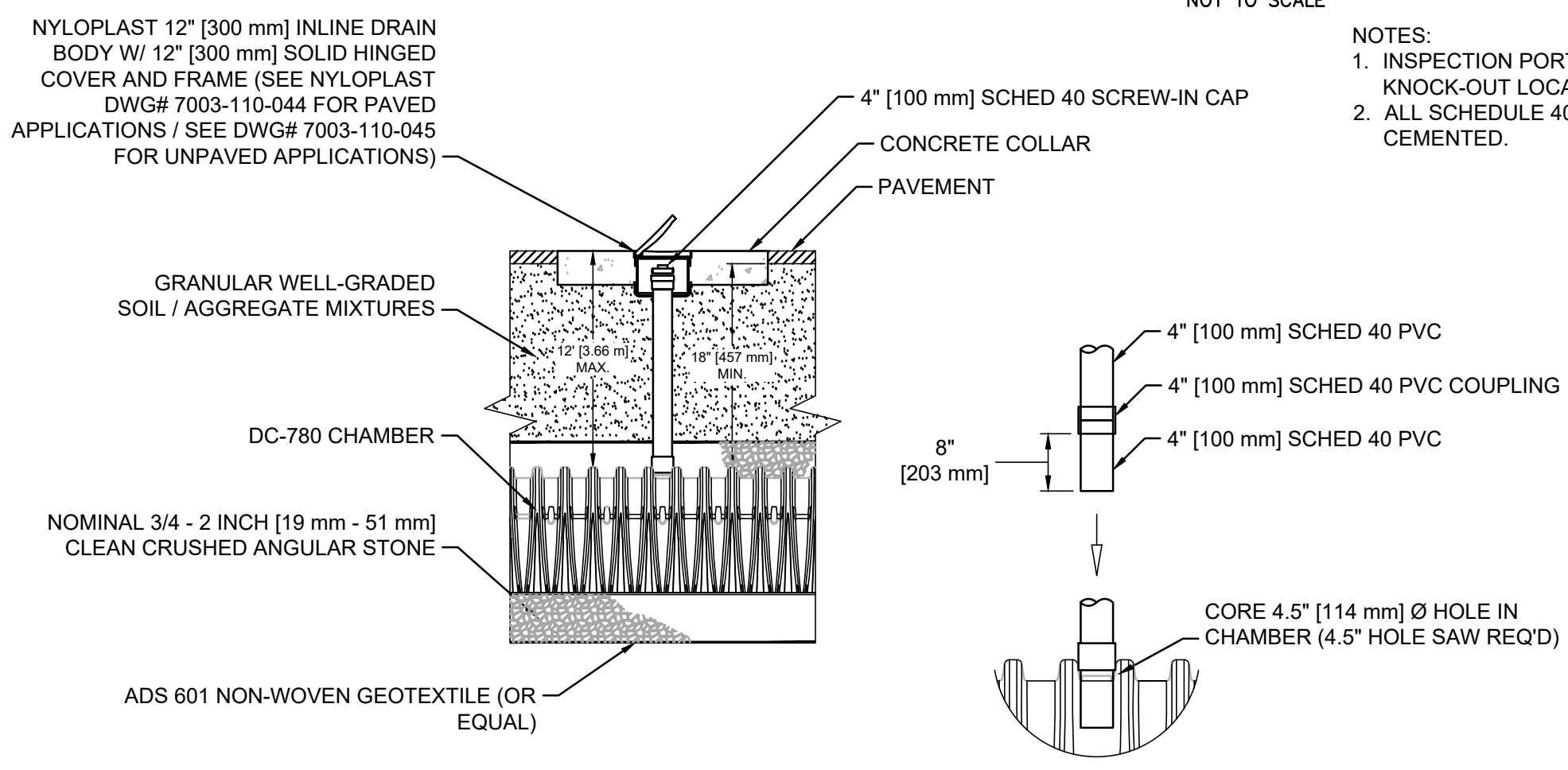
SEWER CALCULATIONS:
 SEWER CALCULATION FOR EACH UNIT 110 GPD/ BEDROOM
 (4) 1 BEDROOM UNITS X 110 GPD = 440 GPD
 (15) 2 BEDROOM UNITS = 30 X 110 GPD = 3,300 GPD
TOTAL = 3,740 GPD



GENERAL NOTES:
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.
 ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



INSPECTION PORT DETAIL
 NOT TO SCALE



PERVIOUS PAVEMENT WITH FULL EXFILTRATION TO SOIL SUBGRADE
 NOT TO SCALE

GENERAL UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DISCOVER" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO DETERMINE THE EXACT LOCATION OF WATER AND GAS SERVICES.
- ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE TOWN OF ASHLAND, AND IS SUBJECT TO QUALITY CONTROL TESTING AT THE DISCRETION OF THE ENGINEERING DEPT. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE TOWN OF ASHLAND D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
- ALL UTILITY WORK WITHIN ANY RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
- ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
- DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT & SHALL SUBMIT AN AUTOCAD "AS-BUILT" TO THE ENGINEERING DEPT. UPON COMPLETION OF THE BUILDING & UTILITY WORK.

DRAINAGE NOTES:

- ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
- ALL STORM DRAINAGE PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10-FT OF THE BUILDING WALLS.

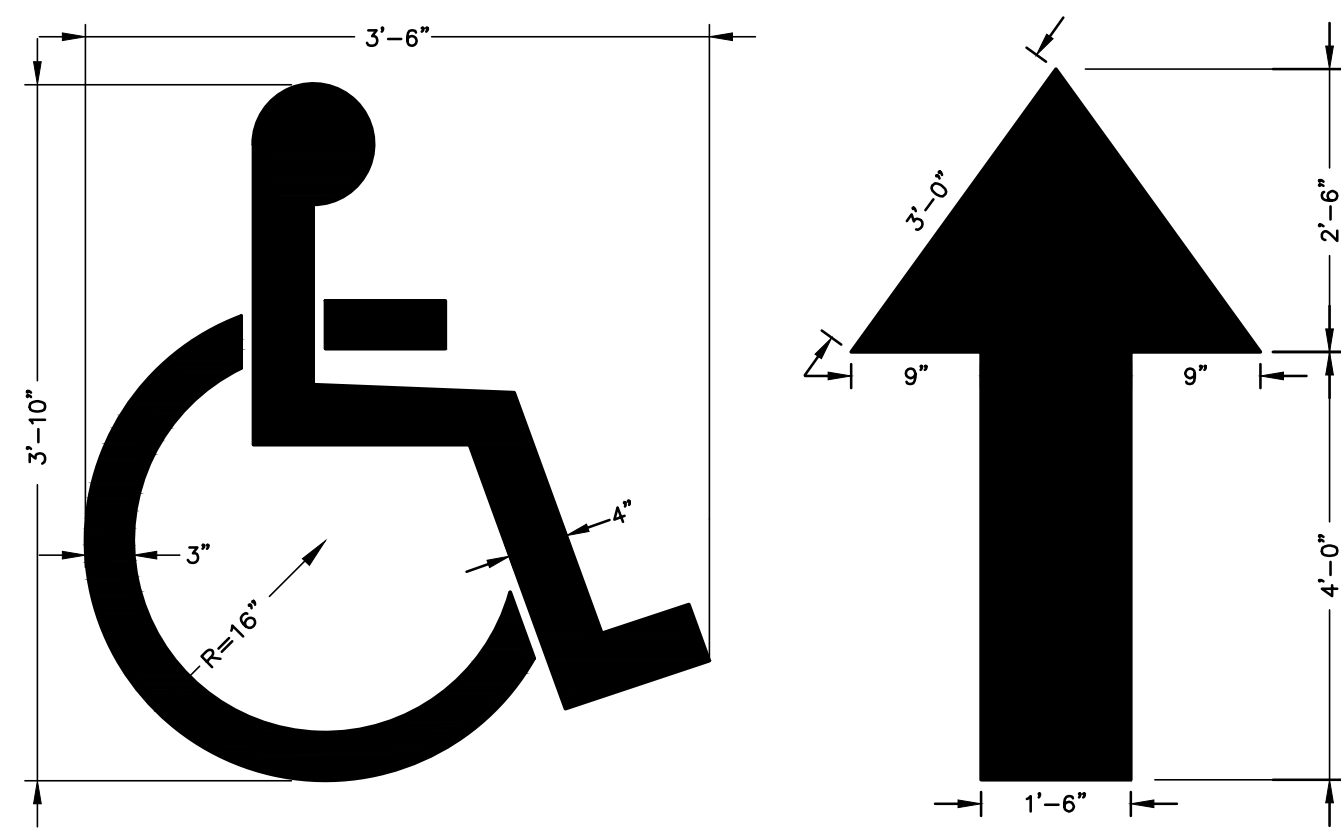
APPLICANT:	29 & 41 Alden Street Realty Trust 11 Plead Street Newton, MA 02459
PROJECT:	Site Plan 29 & 41 Alden Street (Tax Map 14 Lots 356 & 357) Ashland, Massachusetts
DATE:	3/24/2020
REVISIONS:	REVISED PER TOWN COMMENT
DESCRIPTION OF REVISION:	

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 1950 Lafayette Road
 Portsmouth, NH 03801
 Salem, MA 01906
 Tel: (603) 231-1349
 Fax: (603) 417-0020

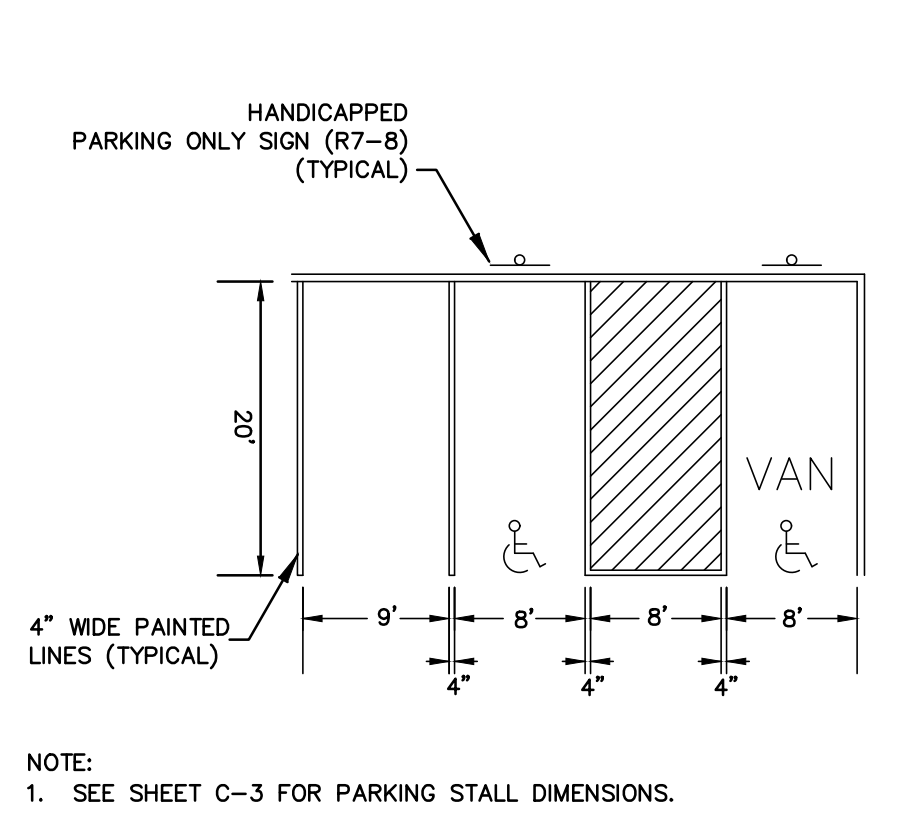
PREPARED BY: [Signature]
 PROJECT: [Signature]
 DATE: January 13, 2020
 DWG FILE NAME: 19-98507.dwg
 SCALE: AS NOTED
 DESIGN BY: Calvin Reach
 CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
 Engineering Alliance, Inc.
 [Professional Seal]

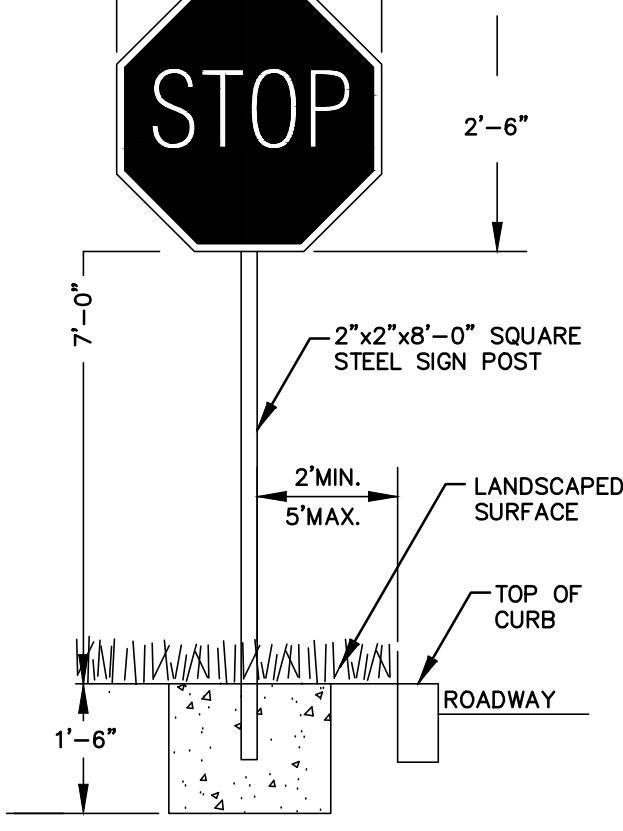
APPLICANT: 29 & 41 Alden Street Realty Trust
 11 Plead Street
 Newton, MA 02459
 DRAWING TITLE: Grading, Drainage and Utility Plan
 DWG. NO. C-4



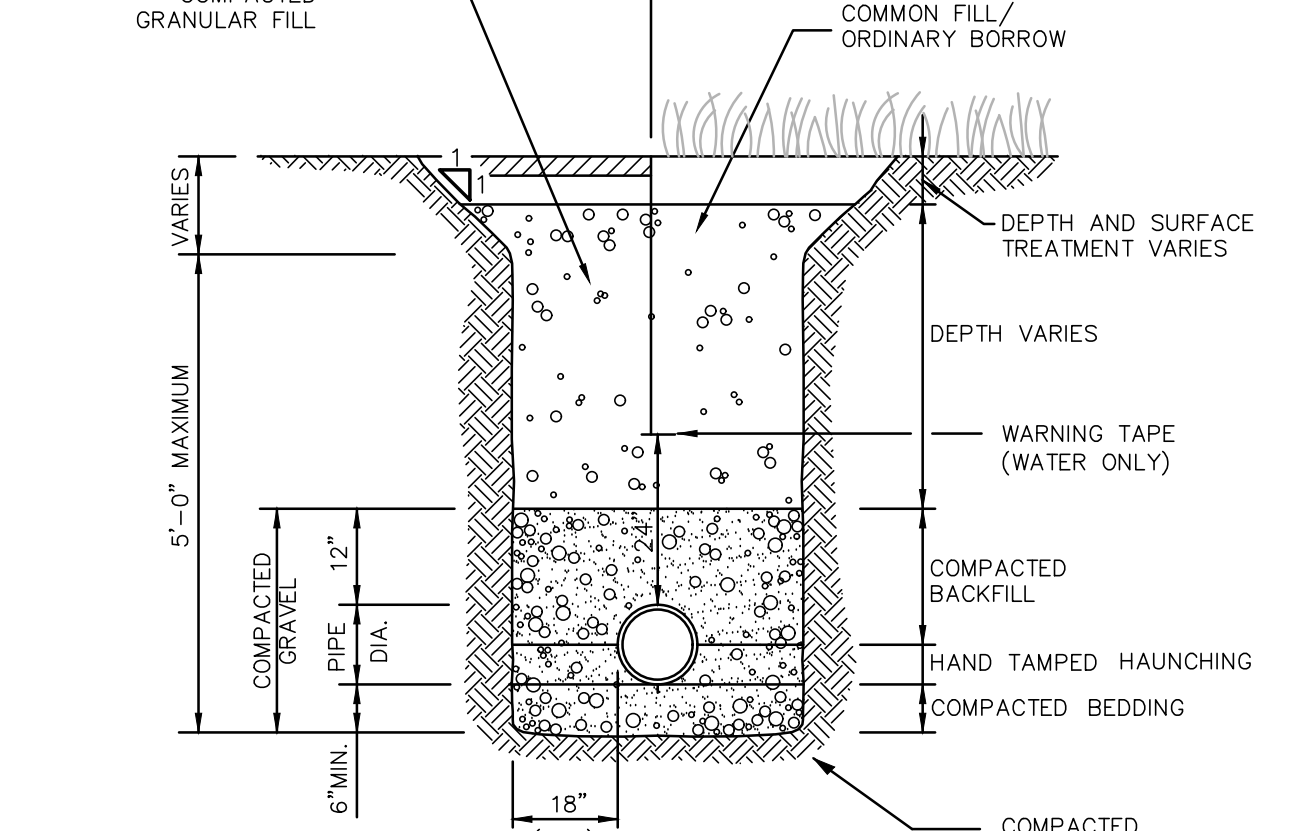
PAINTED HANDICAP SYMBOL & TRAFFIC ARROW DETAIL
NOT TO SCALE



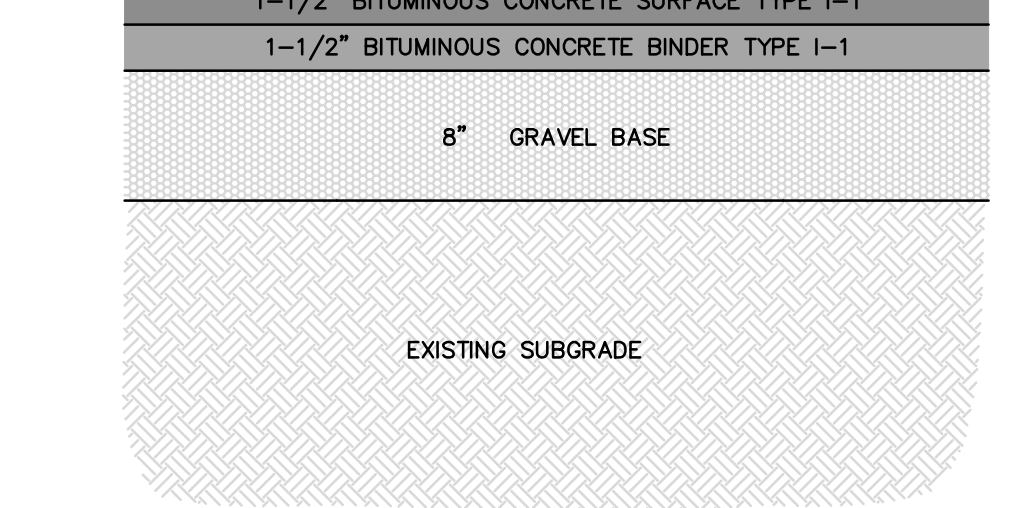
HANDICAP AND STANDARD PARKING DETAIL
NOT TO SCALE



TYPICAL SIGN DETAIL
NOT TO SCALE

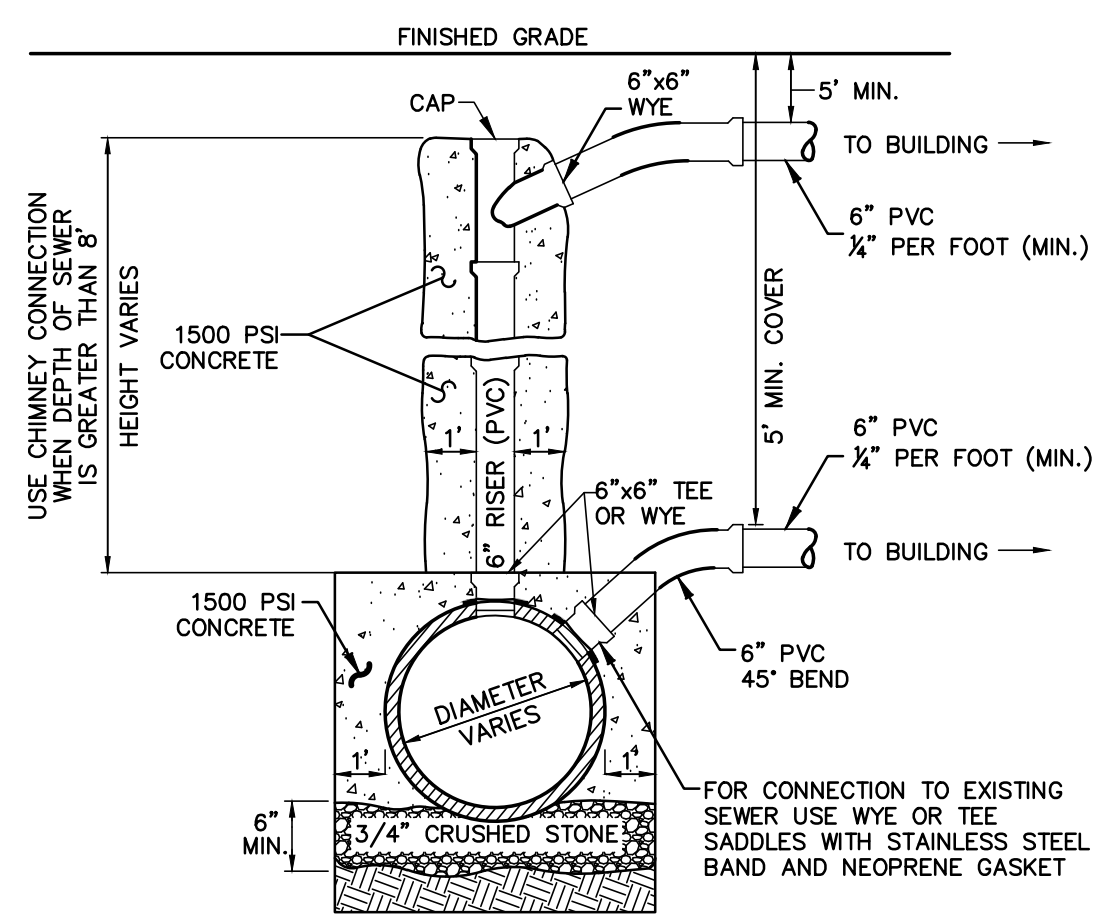


UTILITY TRENCH
NOT TO SCALE

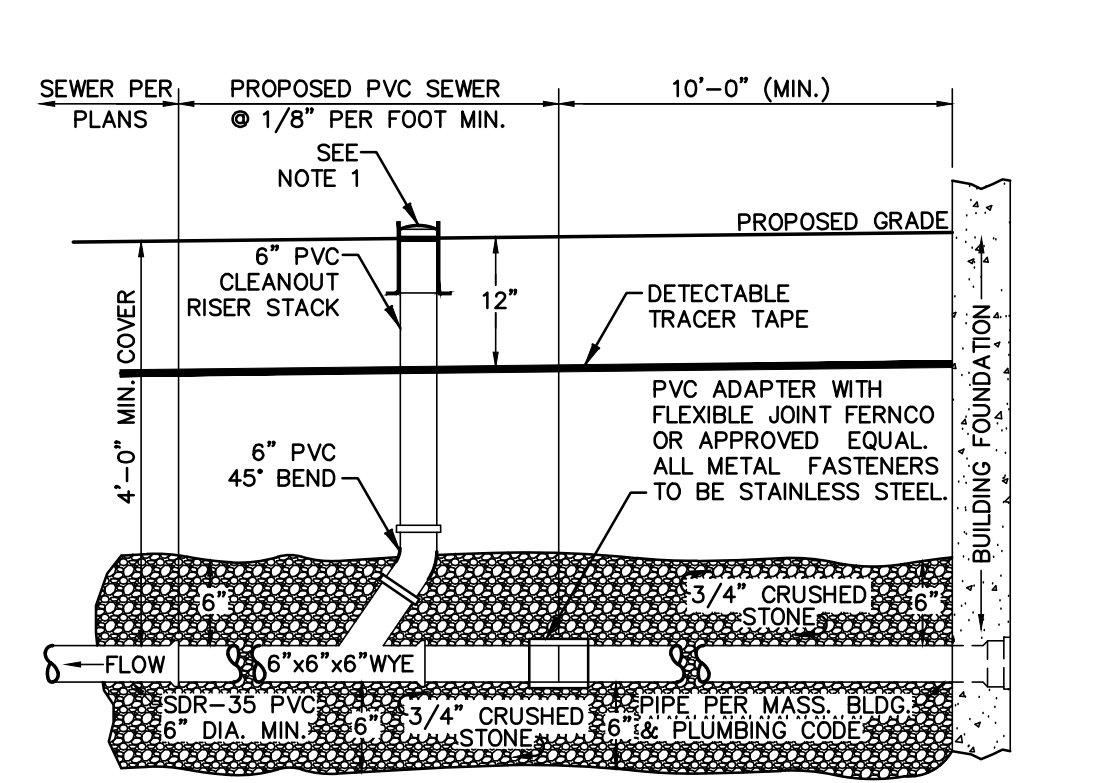


NOTES:
1. NEW STANDARD PAVEMENT SHALL CONSIST OF A 3" TOTAL THICKNESS IN ALL PAVED AREAS OF MASSHIGHWAY CLASS 1, TYPE 1 BITUMINOUS CONCRETE APPLIED IN TWO COURSES, ONE 1-1/2" SURFACE COURSE OVER ONE 1-1/2" BINDER COURSE OVER AN 8" GRAVEL BASE COURSE. COMPACT THE UPPER 1 1/2" OF PAVEMENT SUBGRADE, BASE COURSE, PAVEMENT BINDER AND SURFACE COURSES TO 95 PERCENT OF MAXIMUM DENSITY, AS DETERMINED FOR EACH MATERIAL BY THE APPLICABLE TEST METHODS.
2. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST

STANDARD PAVEMENT SECTION
NOT TO SCALE

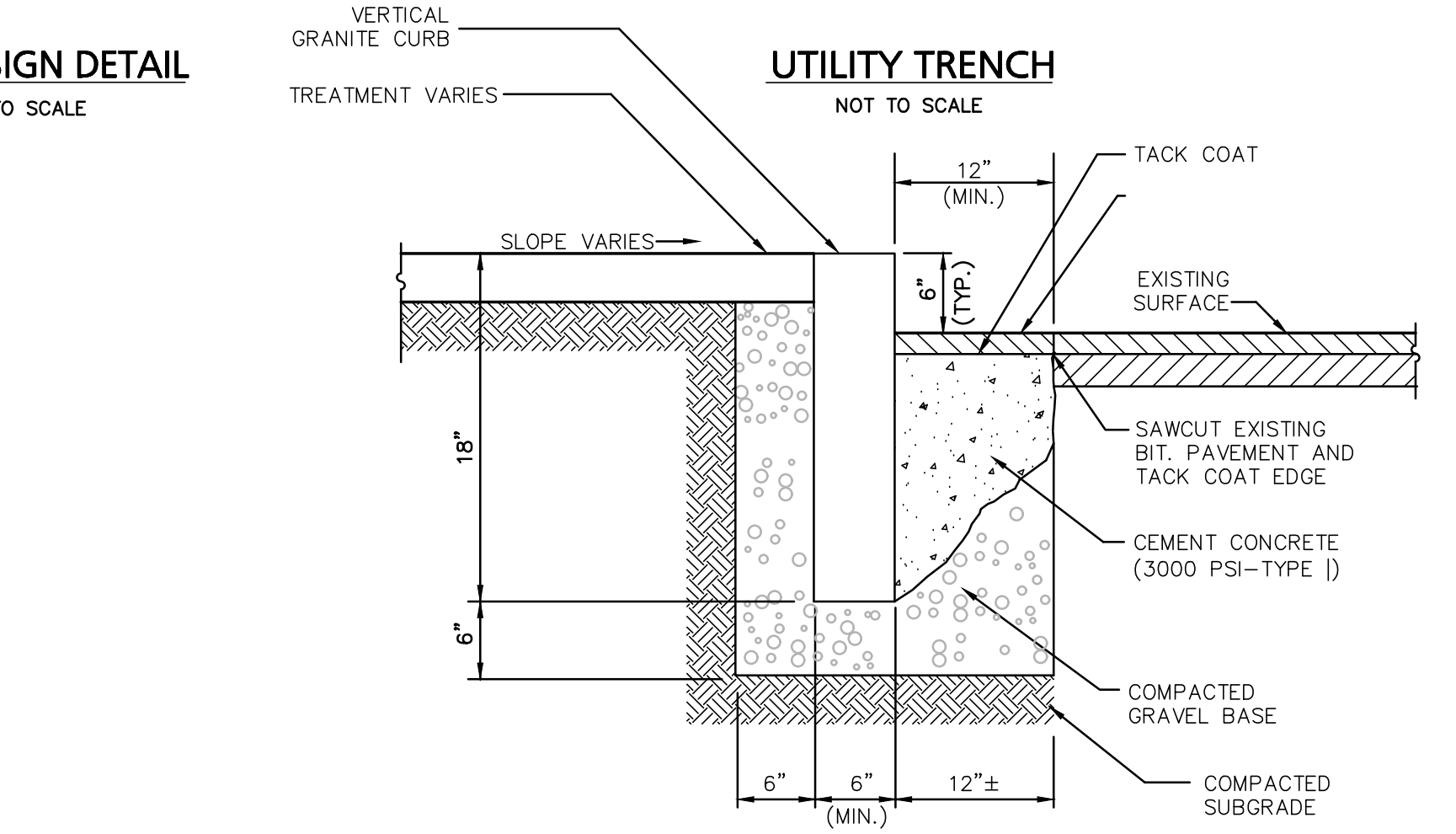


SANITARY SEWER SERVICE AT MAIN
NOT TO SCALE



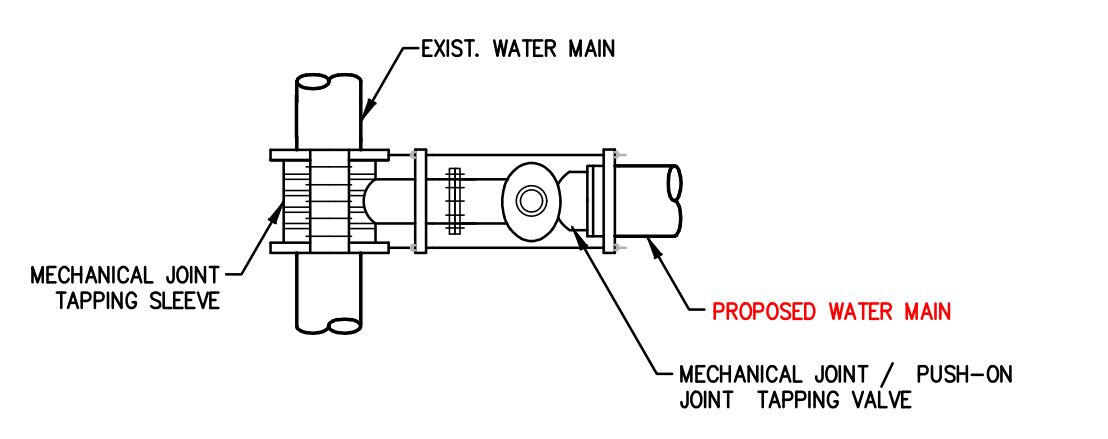
NOTES:
1. LeBaron CAST IRON SEWER CLEANOUT RING COVER. COVER TO BE CAST WITH THE WORD "CLEANOUT" AND HAVE FLAT DIAMOND SURFACE.

SANITARY SEWER SERVICE AT BUILDING
NOT TO SCALE

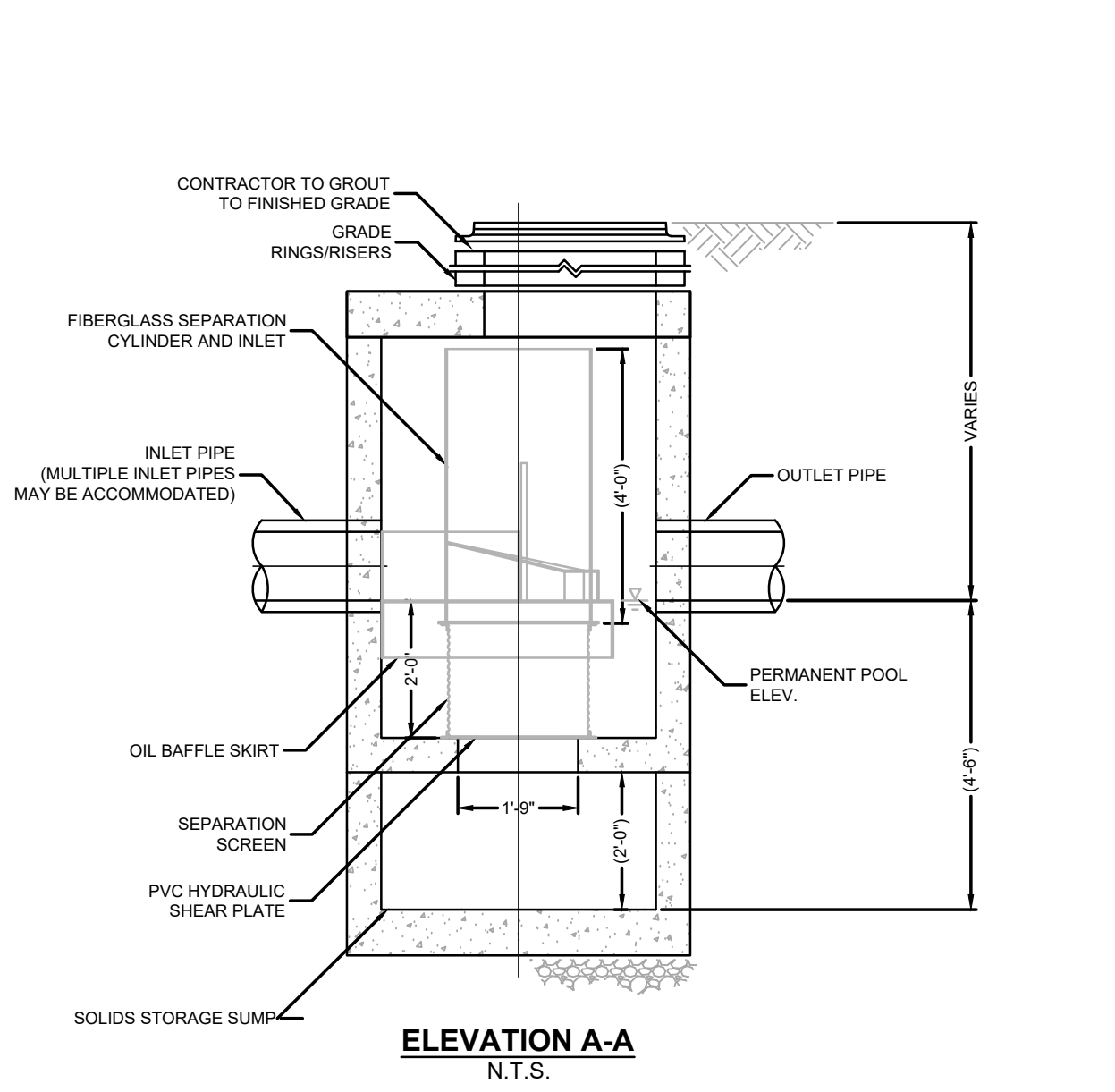


VERTICAL GRANITE CURB SET IN EXISTING PAVEMENT
NOT TO SCALE

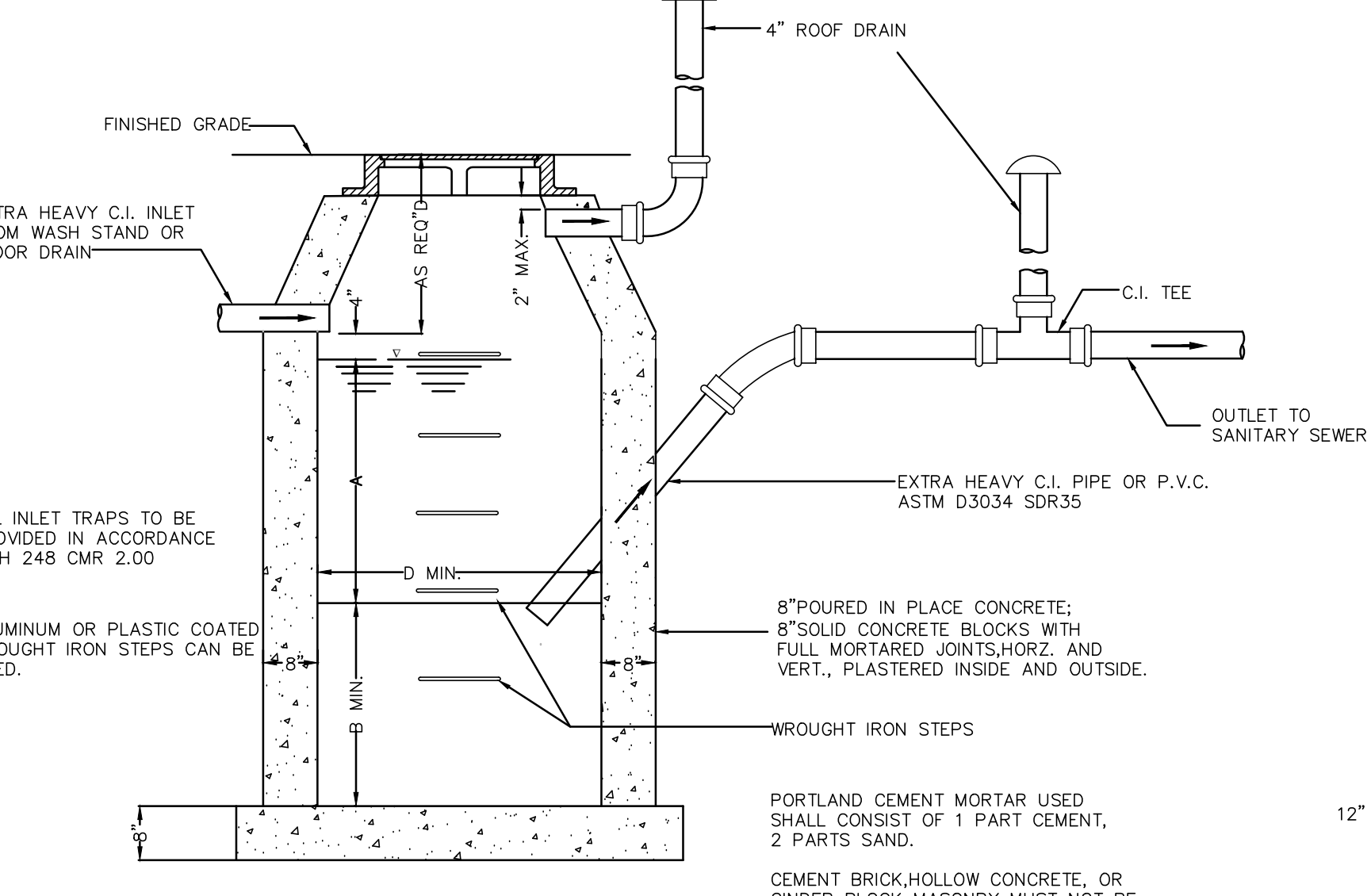
INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	8"	5'-0"	6'-0"	5'-0"
5"	3'-6"	5'-0"	4'-0"	8"	5'-6"	5'-6"	4'-0"
	3'-6"	3'-6"	3'-0"	8"	6'-0"	6'-0"	3'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-0"	6'-0"	2'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-6"	6'-6"	3'-0"
	3'-6"	3'-6"	3'-0"	8"	6'-6"	6'-6"	2'-6"
6"	4'-0"	5'-0"	4'-6"	10"	5'-6"	7'-6"	6'-6"
	4'-0"	4'-0"	3'-6"	10"	6'-0"	6'-0"	4'-6"
	4'-6"	4'-0"	3'-6"	10"	6'-0"	6'-6"	5'-6"
	4'-6"	4'-6"	3'-6"	10"	6'-0"	6'-6"	5'-6"
	5'-0"	5'-0"	3'-0"	10"	6'-6"	6'-6"	4'-0"



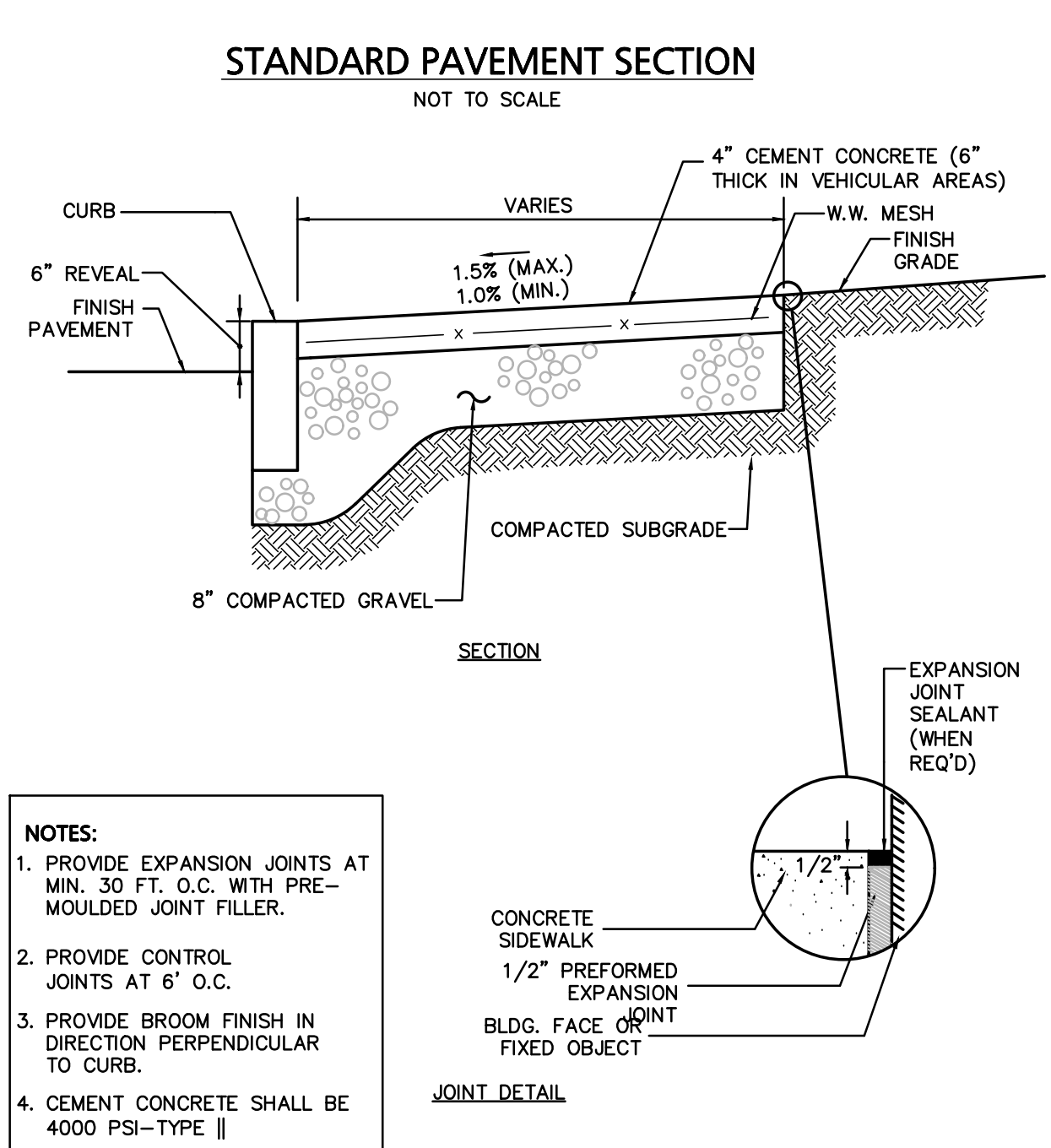
TAPPING SLEEVE AND VALVE
NOT TO SCALE



WATER QUALITY MANHOLE
NOT TO SCALE

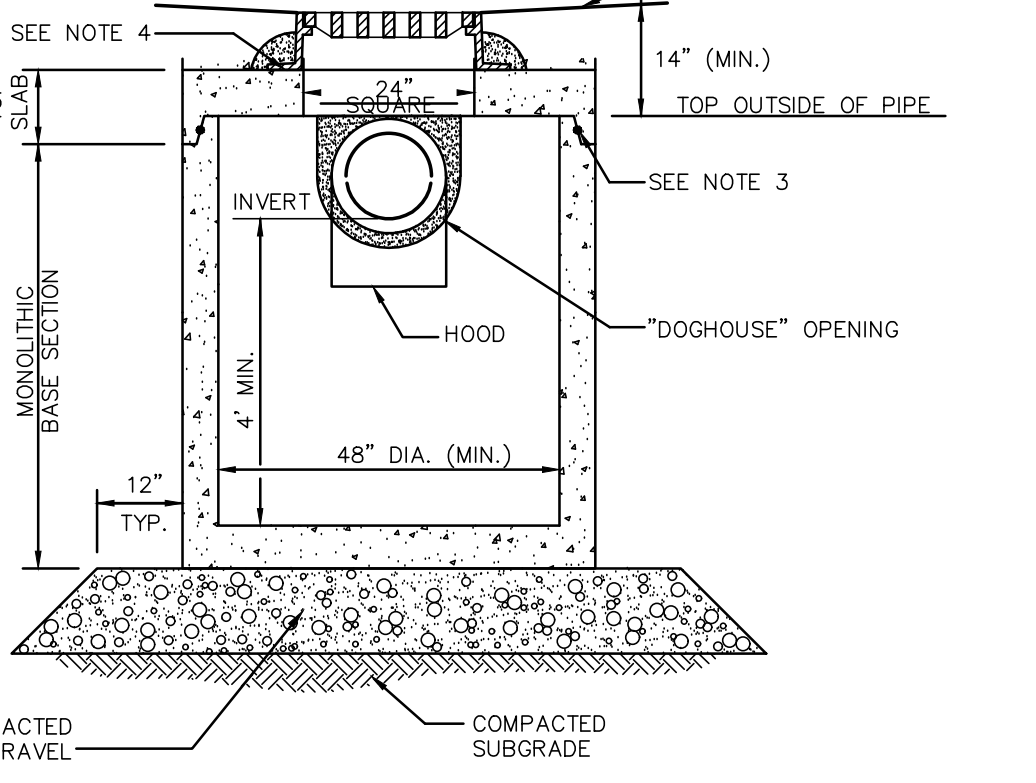


GAS TRAP
SCALE: N.T.S.

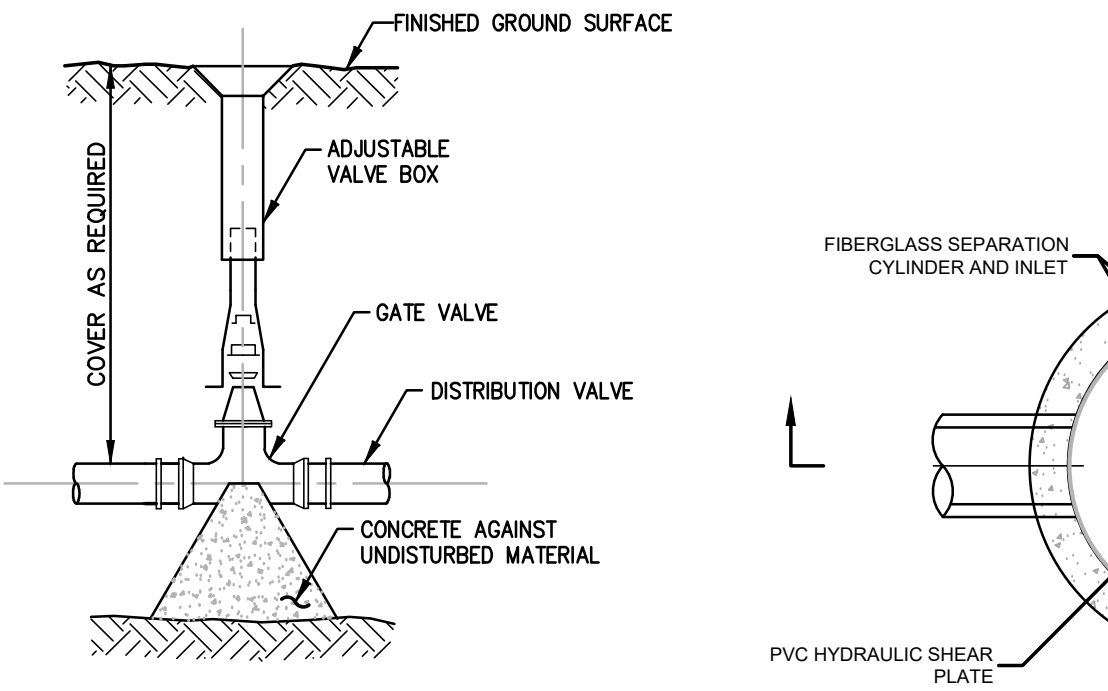


CONCRETE SIDEWALK
NOT TO SCALE

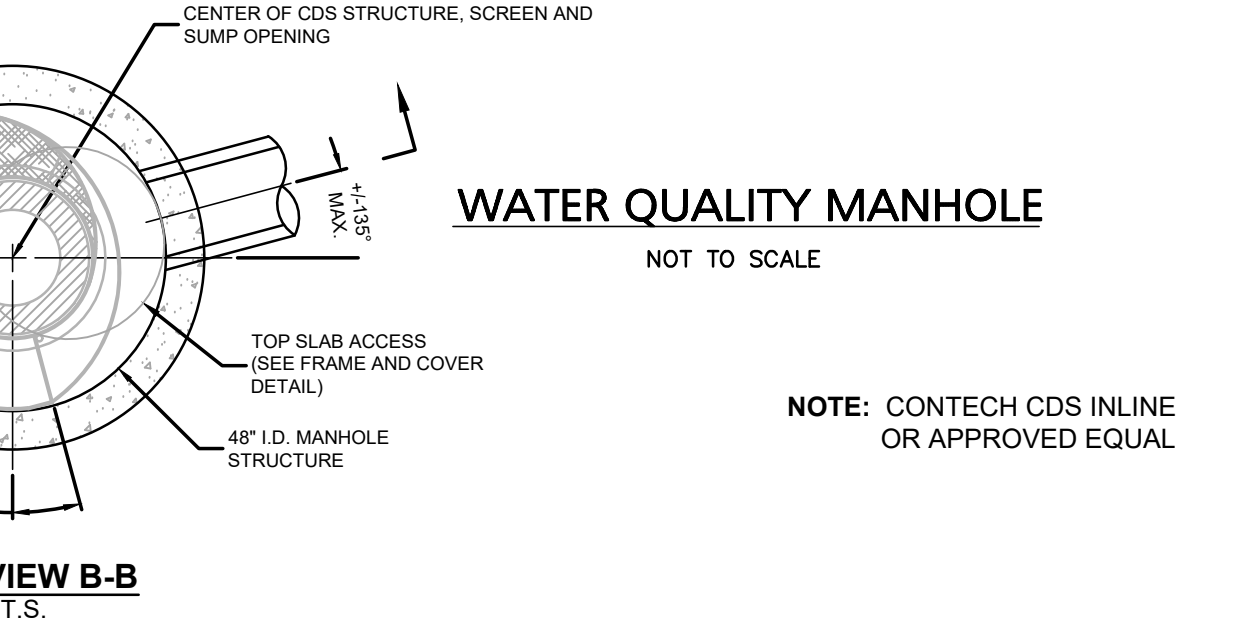
NOTES:
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
2. PROVIDE CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II



TYPICAL CATCH BASIN SHALLOW COVER WITH HOOD



WATER GATE DETAIL
NOT TO SCALE



PLAN VIEW B-B
N.T.S.

NOTE: CONTECH CDS INLINE OR APPROVED EQUAL

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Portsmouth, NH 03801
Saugus, MA 01906
Tel: (603) 5107100
Fax: (603) 6107101

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

PROJECT #: 19-58507
SCALE: AS NOTED
DESIGN BY: Calvin Reach

DATE: January 13, 2020
DWG FILE NAME: 19-58507.dwg
CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
Engineering Alliance, Inc.

APPLICANT: 29 & 41 Alden Street Realty Trust
11 Placid Road
Newton, MA 02459

DRAWING TITLE: Construction Details

DWG. NO. D-1

DATE	DESCRIPTION OF REVISION