



Architect

BD
Bourque Design

Bourque Design
Architectural Design from
Conception to Construction

Ron Bourque
781 296-6654
rbourq@gmail.com

9 Morton Street, Waltham, MA 02453

Proposed Residential Development

for

29-41 Alden Street, Ashland, MA.

February 04, 2020

Developer

CHARLES ZAMMUTO
President

charles@legacym.com
Phone: (781) 391- 5629
Cell: (781) 589-4113
Fax: (617) 244 - 4251

- Construction • Painting
- Snow Removal

legacym.com





HOMER STREET

ALDEN STREET

TAX MAP 14
LOTS 356 & 357
TOTAL AREA=21,344 S.F.±



Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020

1950 Lafayette Road
 Portsmouth, NH 03801
 Tel: (603) 610-7100
 Fax: (603) 6107101



View from Alden Street looking north

View from Alden Street looking south

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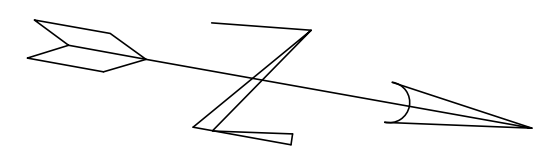
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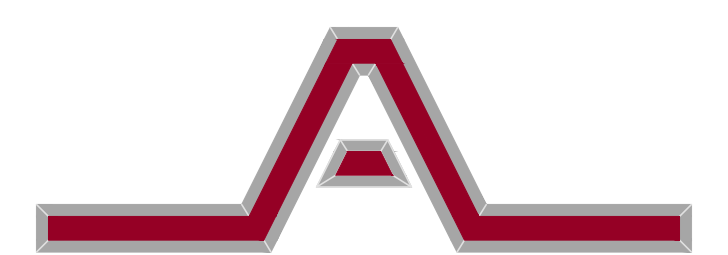
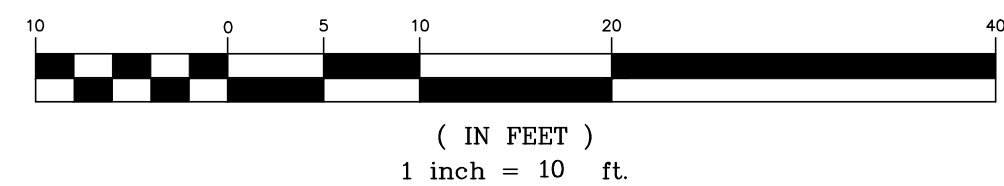


ALDEN STREET

(PUBLIC - VAR. WIDTH)

ASPHALT WALK

GRAPHIC SCALE



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LEGEND - SITE LAYOUT PLAN

PROPERTY LINE	
EXISTING BUILDING	
EXISTING EDGE OF PAVEMENT	
EXISTING CURB	
PROPOSED BUILDING	
PROPOSED PARKING COUNT	③
PROPOSED TRAFFIC ARROW	
PROPOSED ACCESSIBLE PARKING SPACE	
PROPOSED LANDSCAPED AREA	
PROPOSED CONCRETE SIDEWALK	
PROPOSED MECHANICAL STACKED SPACE	⑤
PROPOSED BOLLARD LIGHT	*
PROPOSED SNOW STORAGE AREA	

LAND USAGE TABLE
ASHLAND DOWNTOWN DISTRICT (ADD)

ITEM	REQUIRED	PROVIDED	EXEMPT REQUESTED
MINIMUM LOT AREA (S.F.)	8,000 S.F.	21,118 S.F.	NO
MINIMUM FRONTAGE	50 FT	165 FT	NO
MINIMUM FRONT YARD SETBACK	0 FT	15.3 FT	NO
MAXIMUM FRONT YARD SETBACK	15 FT	-	NO
MINIMUM SIDE YARD SETBACK	-	8.9 FT	NO
MINIMUM REAR YARD SETBACK	12 FT	12.5 FT	NO
MAXIMUM NUMBER OF STORIES	3 (4) ¹	4	NO
MAXIMUM HEIGHT (FT)	35 (45) ²	41 FT	NO
MAXIMUM FAR	1.5	1.4 ³	NO

NOTE:
 1. AN ADDITIONAL FLOOR MAY BE ADDED IF AGREED TO BY PLANNING BOARD.
 2. 45' BUILDING HEIGHT IS ALLOWED UPON ISSUANCE OF SPECIAL PERMIT.
 3. AVERAGE GRADE:
 169.0+188.0+186.5+186.7+186.2 = 936.4
 936.4 / 5 = 187.28 RIDGE=228.33 HEIGHT=228.33-187.28=41'
 4. FAR:
 FIRST FLOOR: 9,482 S.F.
 SECOND FLOOR: 7,071 S.F.
 THIRD FLOOR: 7,071 S.F.
 FOURTH FLOOR: 6,454 S.F.
 TOTAL: 30,078 S.F.
 30,078 / 21,118 = 1.42

PARKING CALCULATIONS

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY DWELLING	29 SPACES (2 SPACES PER UNIT)	27 SPACES (Average Spaces)
RESIDENTIAL (19 UNITS)	19 UNITS x 2 spaces = 38 Spaces 38 x 0.75% = 28.5 Spaces	7 SPACES (Exterior Spaces) 1 SPACE (Accessible Exterior Parking)
TOTAL	29 SPACES	36 SPACES

NOTE:
 1A. TOTAL NUMBER OF PARKING SPACES IN DEVELOPMENT: 36 SPACES
 MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED FOR 26-50 SPACES: 2 SPACES
 2A. STANDARD PARKING SPACES ARE 9'X20'

SIGN TABLE

REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT (TO TOP OF SIGN)	DESCRIPTION	REFLECTORIZED
R7-8		12" X 20"	7' - 0"	BLUE ON WHITE	YES
R1-1		24" x 24"	7' - 0"	WHITE ON RED	YES
R5-1		24" x 24"	7' - 0"	RED ON WHITE	YES

REVISION	DATE	DESCRIPTION OF REVISION
1	4/2/2020	REVISED PER TOWN COMMENT
2	3/24/2020	REVISED PER TOWN COMMENT

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 1950 Lafayette Road
 Portsmouth, NH 03801
 Salem, MA 01906
 Tel: (603) 510-7100
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Site Plan
 29 & 41 Alden Street
 (Tax Map 14 Lots 356 & 357)
 Ashland, Massachusetts

DATE: January 13, 2020
 DWG FILE NAME: 19-58507.dwg
 PROJECT #: 19-58507
 SCALE: AS NOTED
 DESIGN BY: Calvin Reach
 CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
 Engineering Alliance, Inc.

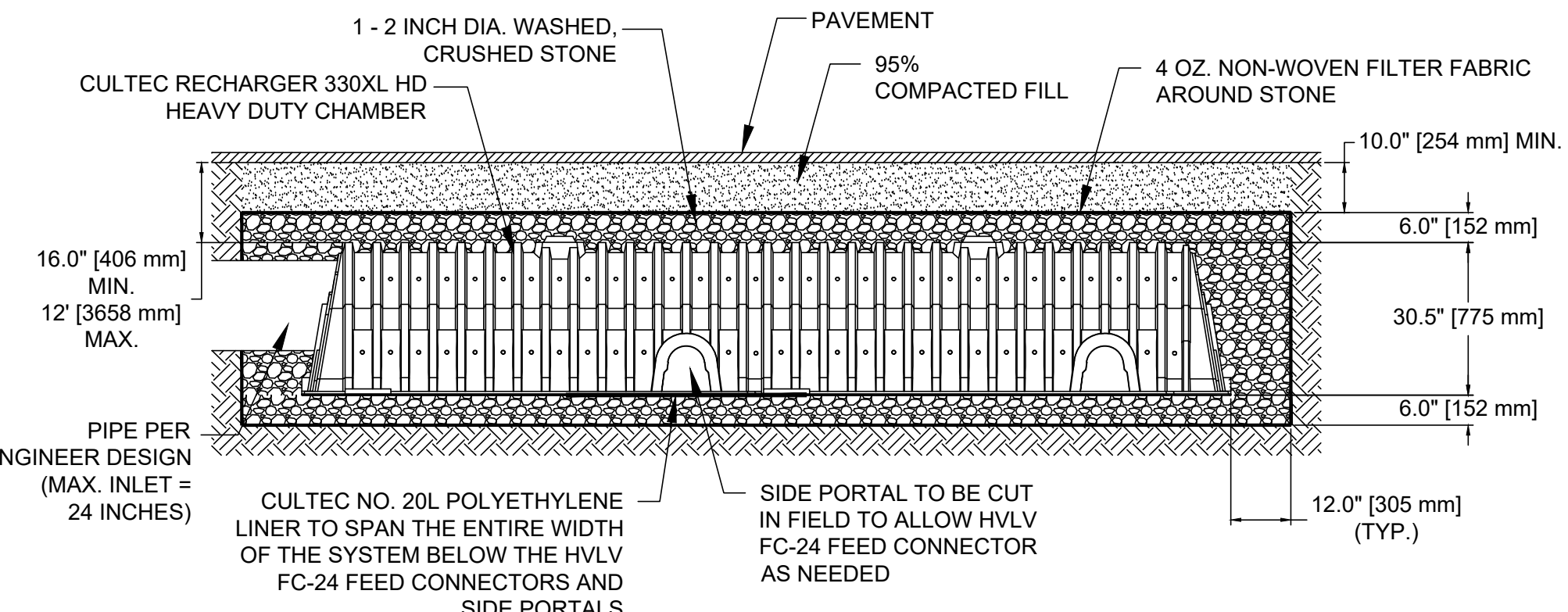
APPLICANT:
 29 & 41 Alden Street Realty Trust
 11 Placid Road
 Newton, MA 02459

DRAWING TITLE:
 Site Layout Plan

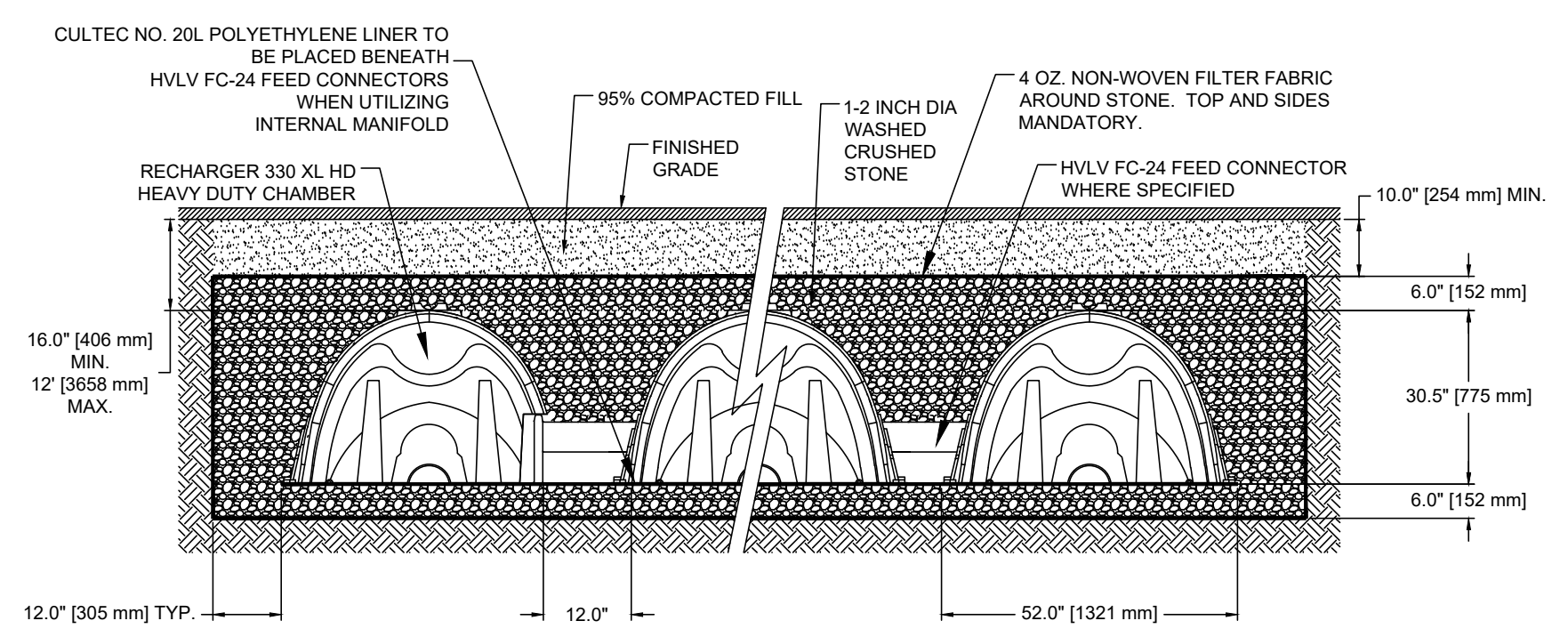
DWG. NO.
 C-3



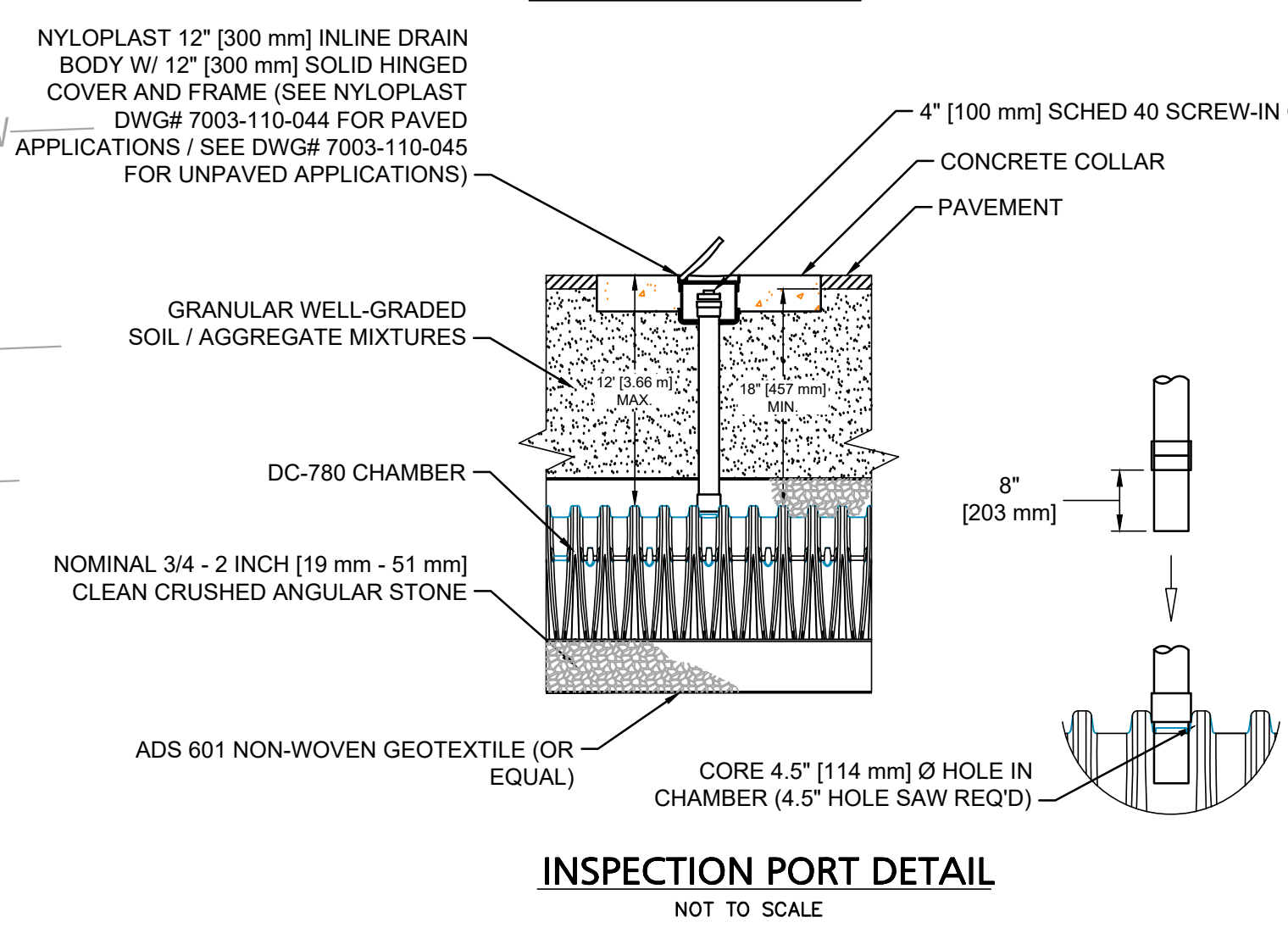
LEGEND - GRADING, DRAINAGE, & UTILITY	
PROPERTY LINE	—
EXISTING BUILDING	▨
PROPOSED BUILDING	▩
PROPOSED BIT. CONCRETE SIDEWALK	▧
PROPOSED LANDSCAPED AREA	▨
PROPOSED BIT. CONC. CURB	▩
PROPOSED DRAIN	—
PROPOSED CATCHBASIN	⊙
PROPOSED CDS UNIT (WQ MANHOLE)	⊙
PROPOSED GAS TRAP	⊙
PROPOSED WATER LINE	—
PROPOSED SEWER LINE	—
PROPOSED CONTOUR	⊙
PROPOSED SPOT SHOT	+187.2



**MAINFOLD DETAIL
SUB-SURFACE DRAINAGE FACILITY DETAIL
CULTEC 330XL HD**
NOT TO SCALE



TYPICAL CROSS SECTION



INSPECTION PORT DETAIL
NOT TO SCALE

GENERAL NOTES
RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CFPT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR HIGH APPLICATIONS.

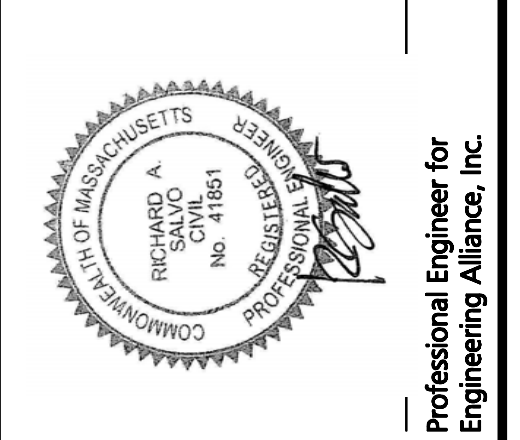
ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

REVISION PER TOWN COMMENT	DATE
REVISION PER TOWN COMMENT	4/27/2020
REVISION PER TOWN COMMENT	3/24/2020
DESCRIPTION OF REVISION	DATE

Prepared By:
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Applicant:
29 & 41 Alden Street Realty Trust
 11 Plead Road
 Newton, MA 02459

Drawing Title:
Grading, Drainage and Utility Plan

DWG. NO.:
C-4

