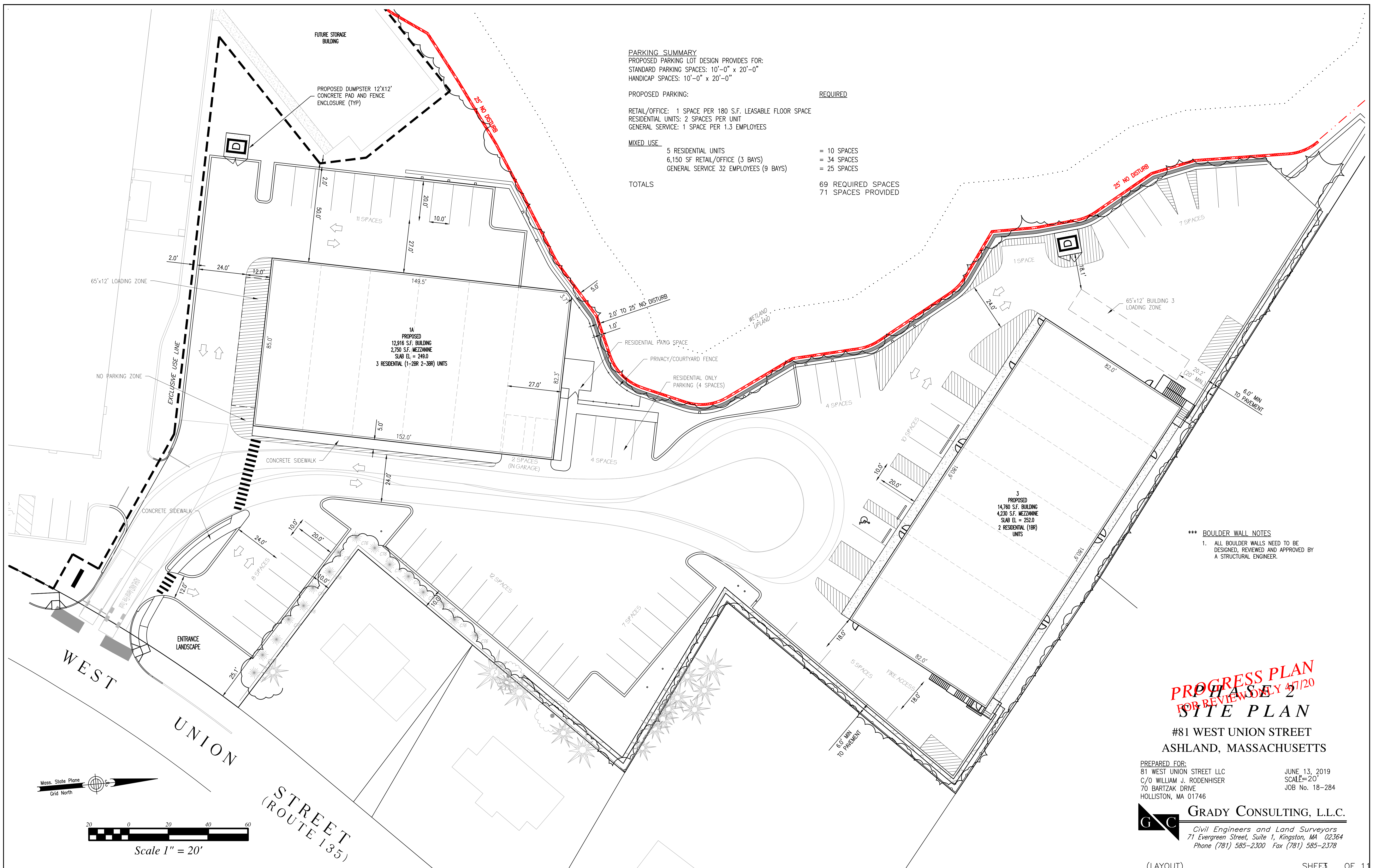


PARKING SUMMARY
 PROPOSED PARKING LOT DESIGN PROVIDES FOR:
 STANDARD PARKING SPACES: 10'-0" x 20'-0"
 HANDICAP SPACES: 10'-0" x 20'-0"

PROPOSED PARKING:

RETAIL/OFFICE: 1 SPACE PER 180 S.F. LEASABLE FLOOR SPACE
 RESIDENTIAL UNITS: 2 SPACES PER UNIT
 GENERAL SERVICE: 1 SPACE PER 1.3 EMPLOYEES

MIXED USE	REQUIRED
5 RESIDENTIAL UNITS	= 10 SPACES
6,150 SF RETAIL/OFFICE (3 BAYS)	= 34 SPACES
GENERAL SERVICE 32 EMPLOYEES (9 BAYS)	= 25 SPACES
TOTALS	69 REQUIRED SPACES
	71 SPACES PROVIDED



***** BOULDER WALL NOTES**
 1. ALL BOULDER WALLS NEED TO BE DESIGNED, REVIEWED AND APPROVED BY A STRUCTURAL ENGINEER.

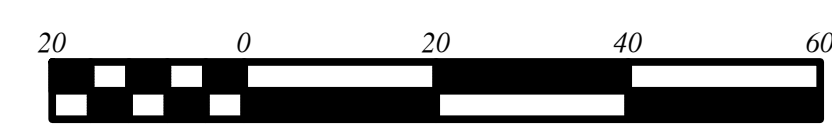
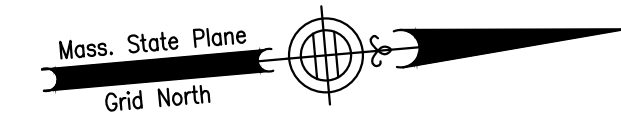
PROGRESS PLAN
 FOR PHASE 2
 FOR REVIEW BY 4/7/20
SITE PLAN

#81 WEST UNION STREET
 ASHLAND, MASSACHUSETTS

PREPARED FOR:
 81 WEST UNION STREET LLC
 C/O WILLIAM J. RODENHISER
 70 BARTZAK DRIVE
 HOLLISTON, MA 01746

JUNE 13, 2019
 SCALE=20'
 JOB No. 18-284

GC GRADY CONSULTING, L.L.C.
 Civil Engineers and Land Surveyors
 71 Evergreen Street, Suite 1, Kingston, MA 02364
 Phone (781) 585-2300 Fax (781) 585-2378



Scale 1" = 20'