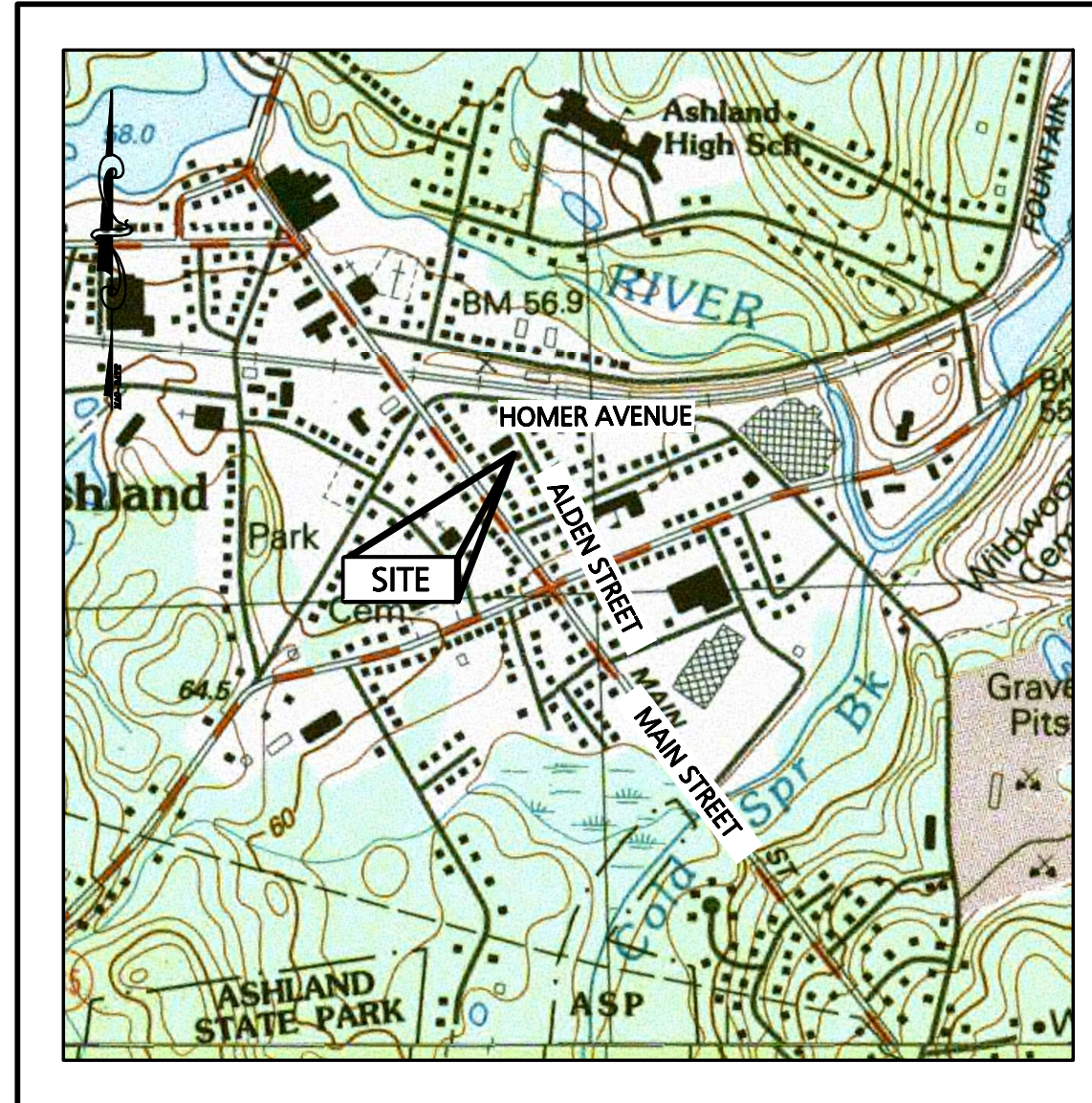


PROPOSED MULTI-FAMILY BUILDING

29 & 41 Alden Street
 (Tax Map 16, Lots 356 & 357)
 Ashland, Massachusetts 01721



LOCUS MAP
 SCALE: 1"=1000'

OWNER/APPLICANT:
 29 & 49 ALDEN STREET REALTY TRUST.
 11 PLACID ROAD
 NEWTON, MA 02549

CIVIL ENGINEER:
 ENGINEERING ALLIANCE, INC.
 194 CENTRAL STREET
 SAUGUS, MA 01906
 (781) 231-1349

ARCHITECT:
 BOURQUE DESIGN
 9 MORTON STREET
 WALTHAM, MA 02543
 (781) 296-6654



PREPARED BY:


Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020



SHEET NUMBER AND TITLE

- C-0 COVER SHEET
- A1 FIRST & SECOND FLOOR PLANS
- A2 THIRD & FOURTH FLOOR PLANS
- A3 FRONT & REAR BUILDING ELEVATIONS
- A4 LEFT & RIGHT BUILDING ELEVATIONS
- C-1 EXISTING CONDITIONS PLAN
- C-2 EROSION CONTROL & DEMOLITION PLAN
- C-3 SITE LAYOUT PLAN
- C-4 GRADING, DRAINAGE & UTILITIES PLAN
- L-1 LANDSCAPE PLAN
- D-1 CONSTRUCTION DETAILS
- D-2 CONSTRUCTION DETAILS

REVISED PER DESIGN REVIEW	REVISED PER TOWN COMMENT	REVISED PER TOWN COMMENT	DESCRIPTION OF REVISION
4/3/2020	4/2/2020	3/24/2020	DATE

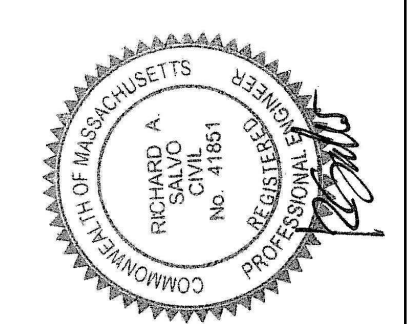
PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Saugus, MA 01906
 Tel: (781) 231-1349
 Fax: (781) 417-0020

PROJECT:
Site Plan
 29 & 41 Alden Street
 (Tax Map 14 Lots 356 & 357)
 Ashland, Massachusetts

DATE: January 13, 2020
 DWG FILE NAME: 19-58507.dwg
 CHECKED BY: Richard A. Salvo, P.E.

PROJECT #: 19-58507
 SCALE: AS NOTED
 DESIGN BY: Calvin Reach

Professional Engineer for
 Engineering Alliance, Inc.



APPLICANT:
 29 & 41 Alden Street Realty Trust
 11 Placid Road
 Newton, MA 02549

DWG. NO. **C-0**
 DRAWING TITLE:
Cover Sheet



LEGEND - SITE LAYOUT PLAN

PROPERTY LINE	
EXISTING BUILDING	
EXISTING EDGE OF PAVEMENT	
EXISTING CURB	
PROPOSED BUILDING	
PROPOSED PARKING COUNT	
PROPOSED TRAFFIC ARROW	
PROPOSED ACCESSIBLE PARKING SPACE	
PROPOSED LANDSCAPED AREA	
PROPOSED CONCRETE SIDEWALK	
PROPOSED MECHANICAL STACKED SPACE	
PROPOSED BOLLARD LIGHT	
PROPOSED SNOW STORAGE AREA	

LAND USAGE TABLE
ASHLAND DOWNTOWN DISTRICT (ADD)

ITEM	REQUIRED	PROVIDED	EXEMPT REQUESTED
MINIMUM LOT AREA (S.F.)	8,000 S.F.	21,118 S.F.	NO
MINIMUM FRONTAGE	50 FT	165 FT	NO
MINIMUM FRONT YARD SETBACK	0 FT	15.3 FT	NO
MAXIMUM FRONT YARD SETBACK	15 FT	-	NO
MINIMUM SIDE YARD SETBACK	-	8.9 FT	NO
MINIMUM REAR YARD SETBACK	12 FT	12.5 FT	NO
MAXIMUM NUMBER OF STORIES	3 (4) ¹	4	NO
MAXIMUM HEIGHT (FT)	35 (45) ²	41 FT	NO
MAXIMUM FAR	1.5	1.4 ³	NO

NOTE:
 1. AN ADDITIONAL FLOOR MAY BE ADDED IF AGREED TO BY PLANNING BOARD.
 2. 45' BUILDING HEIGHT IS ALLOWED UPON ISSUANCE OF SPECIAL PERMIT.
 3. AVERAGE GRADE:
 189.0+188.0+186.5+186.7+186.2 = 936.4
 936.4 / 5 = 187.28 RIDGE=228.33 HEIGHT=228.33-187.28=41'
 4. FAR:
 FIRST FLOOR: 9,482 S.F.
 SECOND FLOOR: 7,071 S.F.
 THIRD FLOOR: 7,071 S.F.
 FOURTH FLOOR: 6,454 S.F.
 TOTAL: 30,078 S.F.
 30,078 / 21,118 = 1.42

PARKING CALCULATIONS

COMPONENT	REQUIRED	PROPOSED
MULTI-FAMILY DWELLING	29 SPACES (2 SPACES PER UNIT)	26 SPACES (Generic Spaces)
RESIDENTIAL (19 UNITS)	19 UNITS x 2 spaces = 38 Spaces 38 x 0.75% = 28.5 Spaces	7 SPACES (Gen. Accessible Parking) 7 SPACES (Exterior Spaces) 1 SPACE (Accessible Exterior Parking)
TOTAL	29 SPACES	35 SPACES

NOTE:
 1A. TOTAL NUMBER OF PARKING SPACES IN DEVELOPMENT: 36 SPACES
 MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES REQUIRED FOR 26-50 SPACES: 2 SPACES
 2A. STANDARD PARKING SPACES ARE 9'X20'

SIGN TABLE

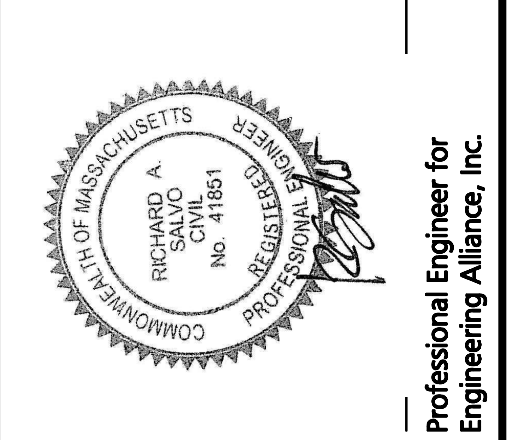
REGULATORY DESCRIPTION	SIGN	SIZE	MOUNTING HEIGHT (TO TOP OF SIGN)	DESCRIPTION	REFLECTORIZED
R7-8		12" X 20"	7' - 0"	BLUE ON WHITE	YES
R1-1		24" x 24"	7' - 0"	WHITE ON RED	YES
R5-1		24" x 24"	7' - 0"	RED ON WHITE	YES

DATE	DESCRIPTION OF REVISION
4/9/2020	ADD ON STREET PARKING AND HISTORIC SIGNS
4/27/2020	REVISED PER TOWN COMMENT
3/24/2020	REVISED PER TOWN COMMENT

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 1950 Lafayette Road
 Portsmouth, NH 03801
 Salem, MA 01906
 Tel: (781) 231-1349
 Fax: (603) 6107101

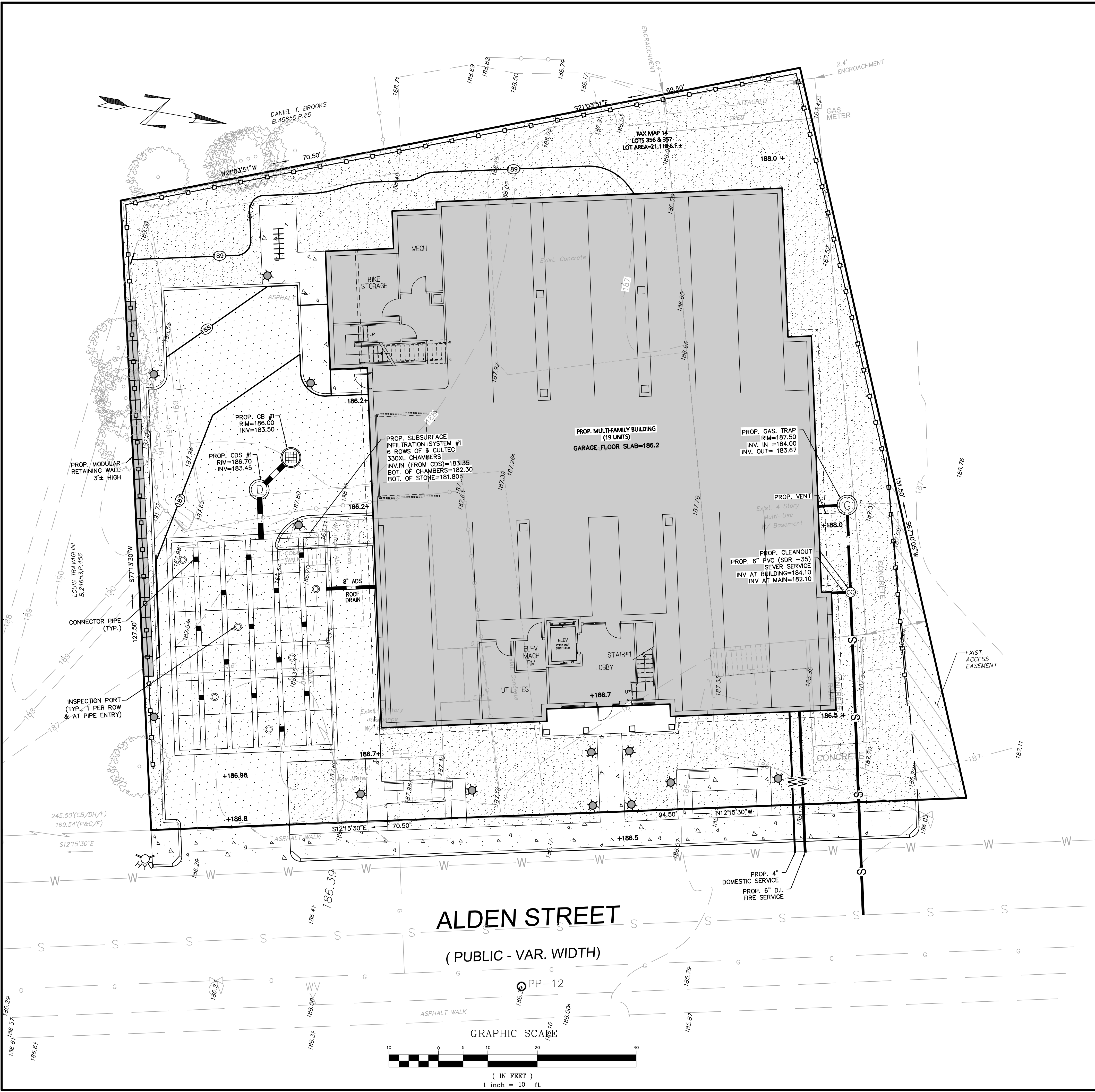
Site Plan
 29 & 41 Alden Street
 (Tax Map 14 Lots 356 & 357)
 Ashland, Massachusetts

DATE: January 13, 2020
 DWG FILE NAME: 19-58507.dwg
 PROJECT #: 19-58507
 SCALE: AS NOTED
 DESIGN BY: Calvin Reach
 CHECKED BY: Richard A. Salvo, P.E.



APPLICANT:
 29 & 41 Alden Street Realty Trust
 11 Pleiad Road
 Newton, MA 02459

DWG. NO. C-3
 DRAWING TITLE: Site Layout Plan



LEGEND - GRADING, DRAINAGE, & UTILITY	
PROPERTY LINE	—
EXISTING BUILDING	▨
PROPOSED BUILDING	▩
PROPOSED BIT. CONCRETE SIDEWALK	▧
PROPOSED LANDSCAPED AREA	▨
PROPOSED BIT. CONC. CURB	▩
PROPOSED DRAIN	—
PROPOSED CATCHBASIN	⊗
PROPOSED CDS UNIT (WQ MANHOLE)	⊙
PROPOSED GAS TRAP	⊙
PROPOSED WATER LINE	—W—W—W—
PROPOSED SEWER LINE	—S—S—S—
PROPOSED CONTOUR	⊕189
PROPOSED SPOT SHOT	+187.2

GENERAL UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL EXCAVATE TEST PITS PRIOR TO COMMENCING WORK TO DETERMINE THE EXACT LOCATION OF WATER AND GAS SERVICES.
4. ALL PROPOSED WORK SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE TOWN OF ASHLAND, AND IS SUBJECT TO QUALITY CONTROL TESTING AT THE DISCRETION OF THE ENGINEERING DEPT. AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY THE TOWN OF ASHLAND D.P.W. PRIOR TO THE COMMENCEMENT OF ANY UTILITY WORK.
5. ALL UTILITY WORK WITHIN ANY RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW & OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW.
6. ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO ENSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN CONFORM TO STANDARD ENGINEERING AND CONSTRUCTION PRACTICES AND ADEQUATE TO SERVE THE PROJECT'S NEEDS AND COMPLY WITH APPLICABLE STANDARDS AND REGULATIONS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH THESE REGULATIONS.
8. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
9. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
10. DISPOSAL OF ALL MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT & SHALL SUBMIT AN AUTOCAD "AS-BUILT" TO THE ENGINEERING DEPT. UPON COMPLETION OF THE BUILDING & UTILITY WORK.

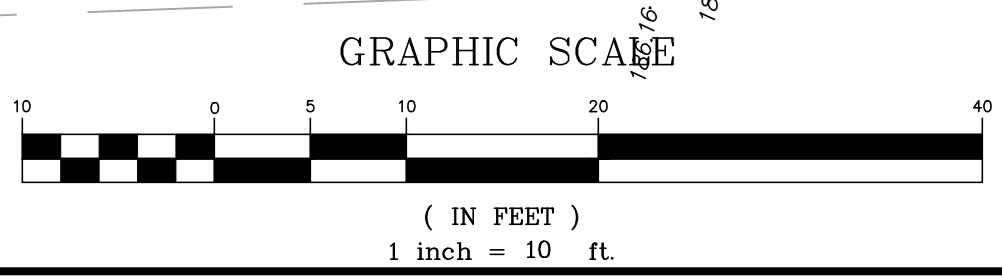
DRAINAGE NOTES:

1. ALL CATCH BASINS ON-SITE SHALL BE EQUIPPED WITH GAS/OIL HOODS AND 4 FOOT SUMPS.
2. ALL STORM DRAINAGE PIPES SHALL BE 12" HIGH DENSITY POLYETHYLENE PIPE (H.D.P.E.) CORRUGATED OUTSIDE & SMOOTH INSIDE UNLESS NOTED OTHERWISE.
3. A MINIMUM OF 10" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES. WATER SERVICES SHALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE WHEN PASSING BELOW STORM DRAIN LINES. ENCASEMENT SHALL EXTEND ALONG WATER SERVICE A MINIMUM DISTANCE OF 10' FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SERVICE CONNECTIONS (I.E., ROOF DRAINS, WATER AND SEWER SERVICES, ETC.) WITHIN 10'-FT OF THE BUILDING WALLS.

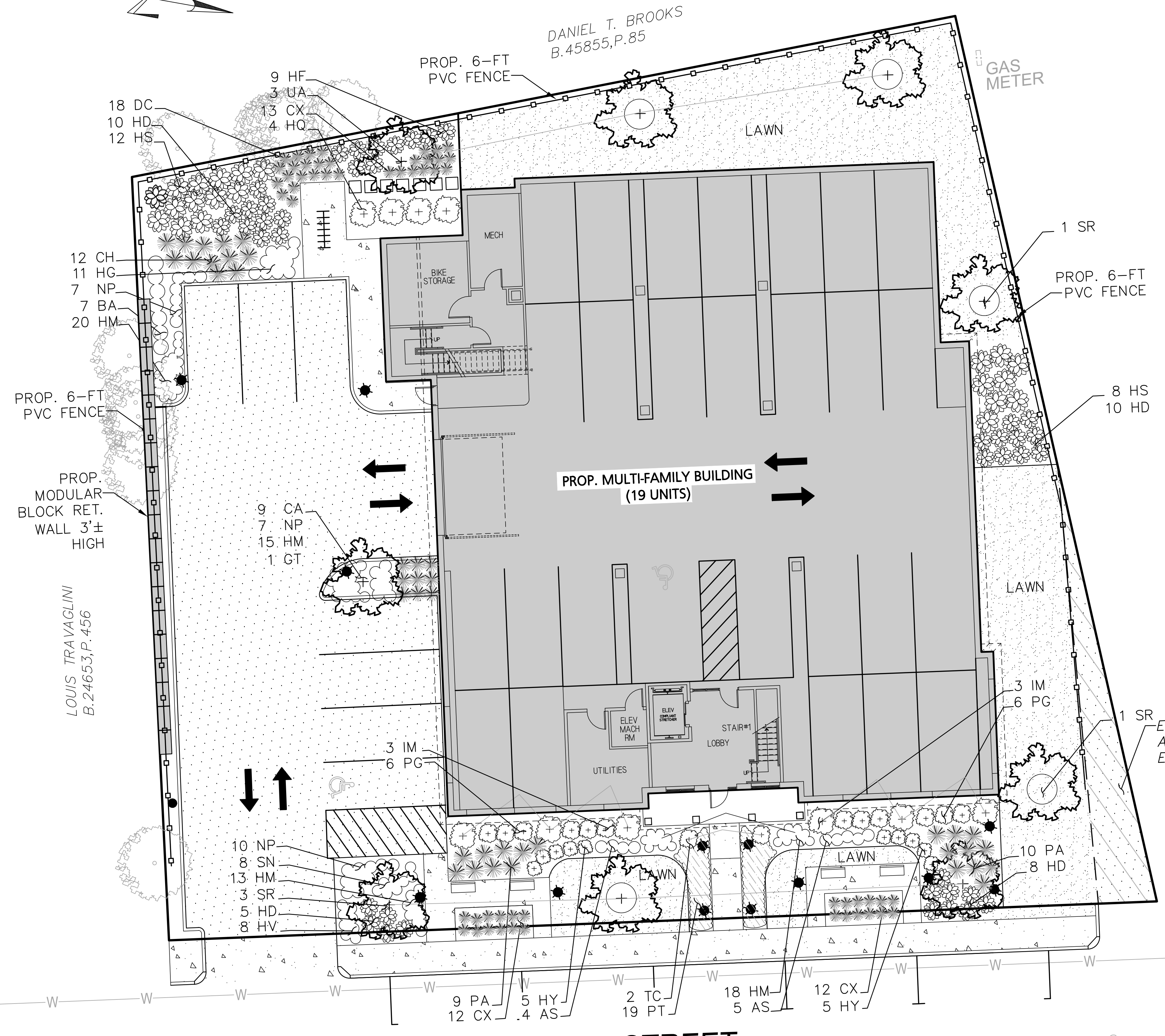
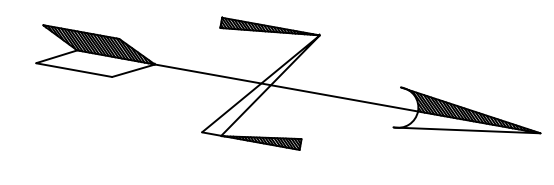
SEWER CALCULATIONS:

SEWER CALCULATION FOR EACH UNIT 110 GPD/ BEDROOM
 (4) 1 BEDROOM UNITS X 110 GPD = 440 GPD
 (15) 2 BEDROOM UNITS = 30 X 110 GPD = 3,300 GPD
TOTAL = 3,740 GPD

ALDEN STREET
 (PUBLIC - VAR. WIDTH)



Engineering Alliance, Inc. Civil Engineering & Land Planning Consultants 1950 Lafayette Road Portsmouth, NH 03801 Tel: (603) 6107100 Fax: (603) 6107101	REVISION PER TOWN COMMENT 4/27/2020 REVISION PER TOWN COMMENT 3/24/2020 DATE
Site Plan 29 & 41 Alden Street (Tax Map 14 Lots 356 & 357) Ashland, Massachusetts	PREPARED BY: DATE: January 13, 2020 DWG FILE NAME: 19-58507.dwg SCALE: AS NOTED DESIGN BY: Calvin Reach CHECKED BY: Richard A. Salvo, P.E.
	PROJECT:
APPLICANT: 29 & 41 Alden Street Realty Trust 11 Piledd Road Newton, MA 02459	DRAWING TITLE: Grading, Drainage and Utility Plan DWG. NO. C-4

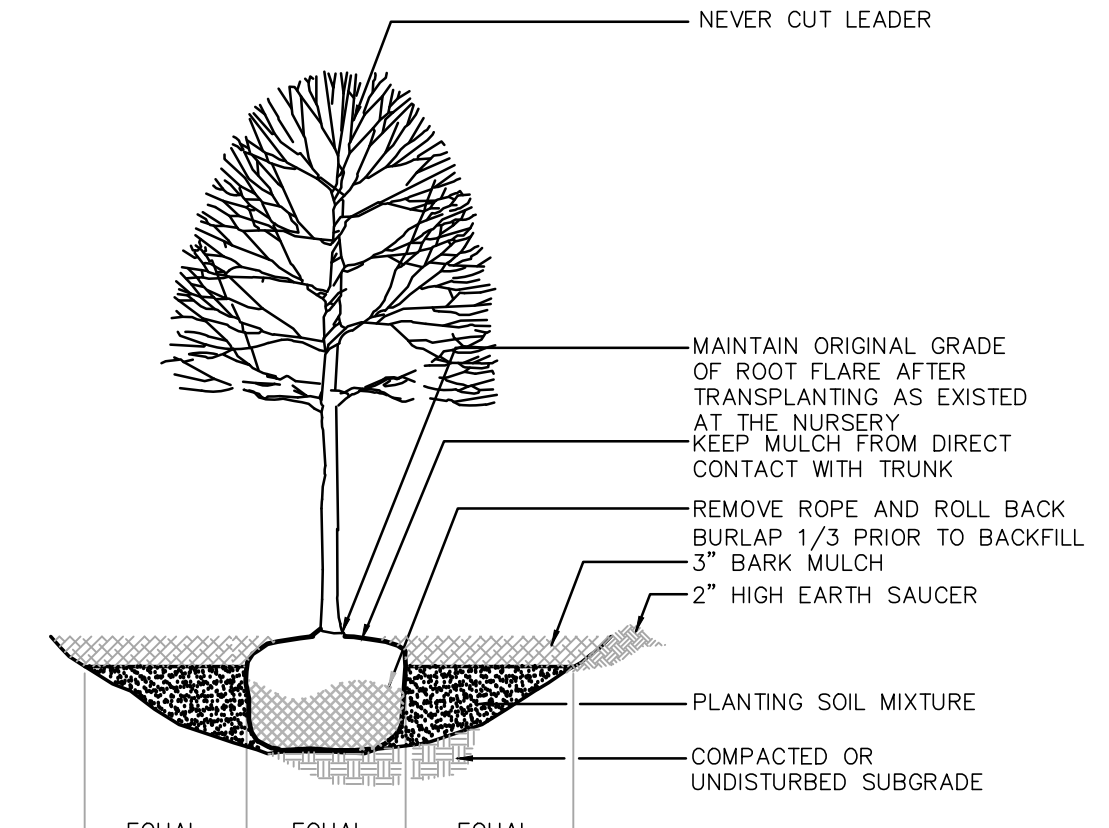


GENERAL NOTES

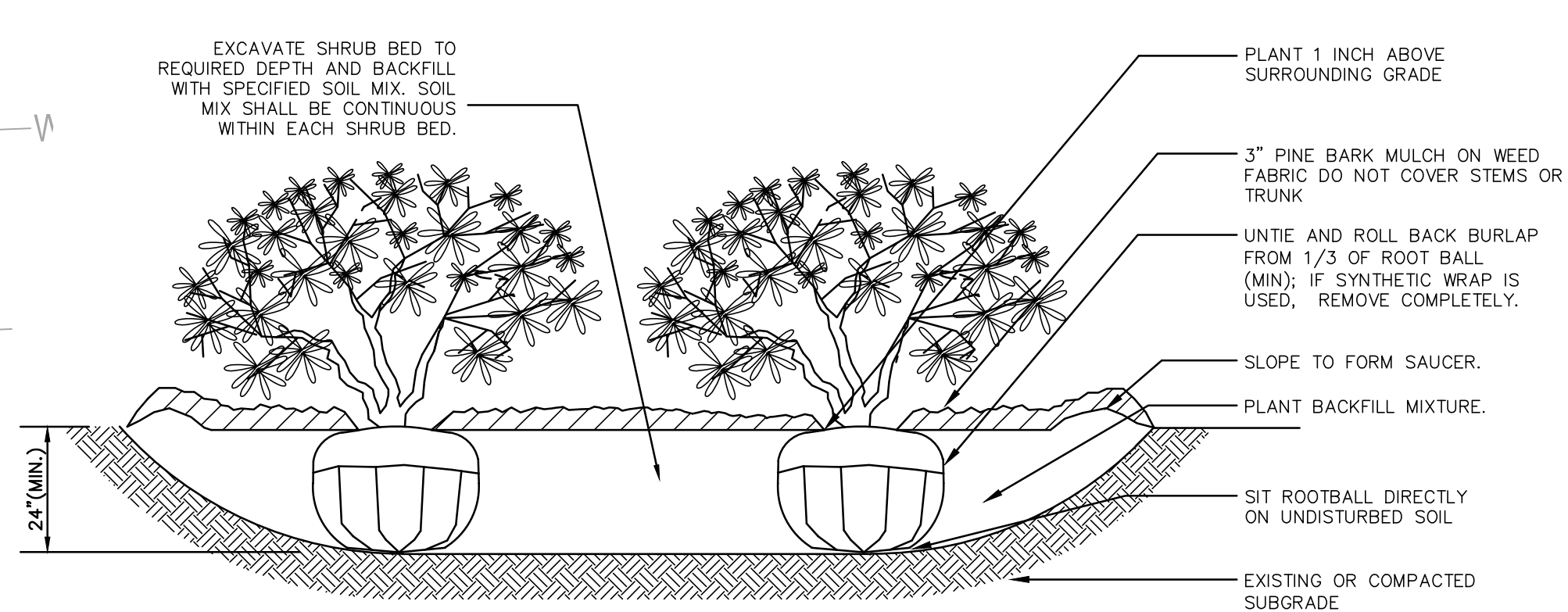
1. All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
2. The Contractor shall supply all plant material in quantities sufficient to complete the plantings shown on the drawing.
3. All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc. ANSI Z60.1-1990
4. All plants to be balled in burlap or container grown. No plastic burlap.
5. All roots shall be dusted with appropriate mycorrhizal inoculant product, prior to planting.
6. The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
7. Heal all construction scars with native/naturalized grass, lawn or mulch.

PLANT LIST

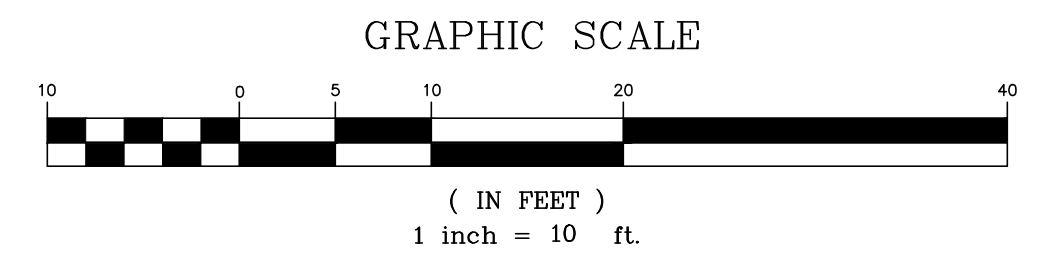
KEY	QTY	BOTANICAL / COMMON NAME	SIZE
TREES:			
GT	1	Gleditsia triacanthus inermis	8-10'
SR	5	Syringa reticulata / Japanese Lilac Tree 'Ivory Silk'	8-10'
UA	3	Ulmus americana / Elm Tree 'Princeton'	8-10'
SHRUBS:			
HQ	4	Hydrangea pan. 'Quickfire'	5 gal.
HY	10	Hydrangea pan. 'Bobo'	5 gal.
IM	6	Ilex mesevievee / Blue Holly 'Blue Maid'	3'
TC	2	Taxus cusp. / Yew 'Capitata'	3-3.5'
PG	12	Pieris japonica / Andromeda 'Cavatine'	18-24"
PERENNIALS:			
AS	9	Astilbe chin. / Plume Flower 'Visions in Pink'	1 gal.
BA	7	Baptisia australis / False indigo	1 gal.
CA	9	Calamagrostis acut. / Feather Reed Grass 'Karl Foerster'	2 gal.
CX	37	Carex flacca / Sedge 'Blue Zinger'	1 gal.
CH	12	Chasmanthium lat. / Northern Sea Oats	2 gal.
DC	18	Deschampsia cesp. / Tussock Grass	2 gal.
HG	11	Hemerocallis / Daylily 'Little Grapette'	1 gal.
HM	66	Hemerocallis / Daylily 'Happy Returns'	1 gal.
HV	8	Heuchera villosa / Coral Bells 'Georgia Peach'	1 gal.
HS	20	Hosta 'Blue Angel'	1 gal.
HD	33	Hosta 'Dream Weaver'	1 gal.
HF	9	Hosta 'Francee'	1 gal.
NP	24	Nepeta / Catmint 'Walker's Low'	1 gal.
PT	19	Pachysandra terminalis / Japanese Spurge	flat of 25
PA	19	Pennisetum alop. / Dwarf Fountain Grass 'Hameln'	2 gal.
SN	8	Salvia nemerosa / Sage 'Caradonna'	1 gal.



DECIDUOUS AND FLOWERING TREE DETAIL
NOT TO SCALE



SHRUB BED PLANTING
NOT TO SCALE



REVISIONS

NO.	DATE	DESCRIPTION
1	4/9/2020	REVISED PER DESIGN REVIEW
2	4/2/2020	ISSUED FOR DESIGN REVIEW
3	3/30/2020	ISSUED FOR DESIGN REVIEW
4	3/16/2020	REVISED PER TOWN COMMENT
5		DESCRIPTION OF REVISION

PREPARED BY: Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Saugus, MA 01906
Tel: (781) 231-1349
Fax: (781) 417-0020

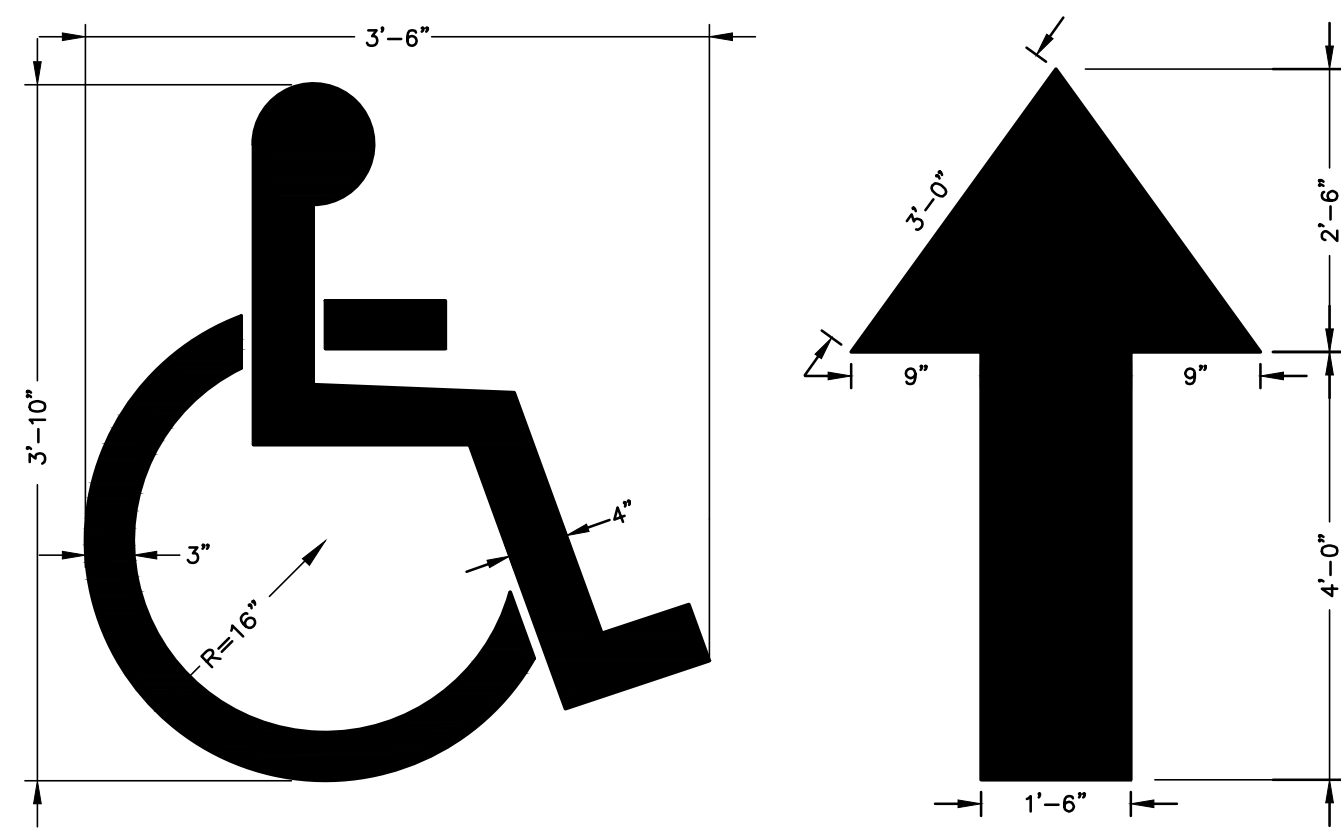
PROJECT: Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

DATE: January 13, 2020
DWG FILE NAME: 19-0807.dwg
SCALE: AS NOTED
DESIGN BY: Calvin Reach
CHECKED BY: Richard A. Salvo, P.E.

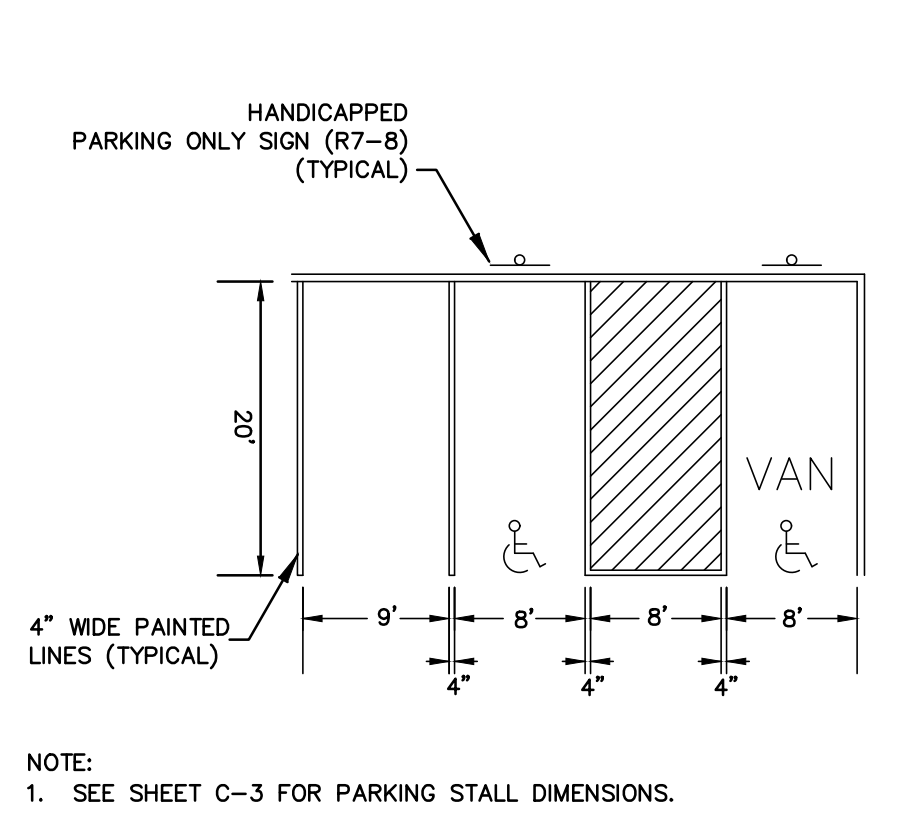
APPLICANT: 29 & 41 Alden Street Realty Trust
11 Placid Road
Newton, MA 02459

DRAWING TITLE: Landscape Plan
DWG. NO.: L-1

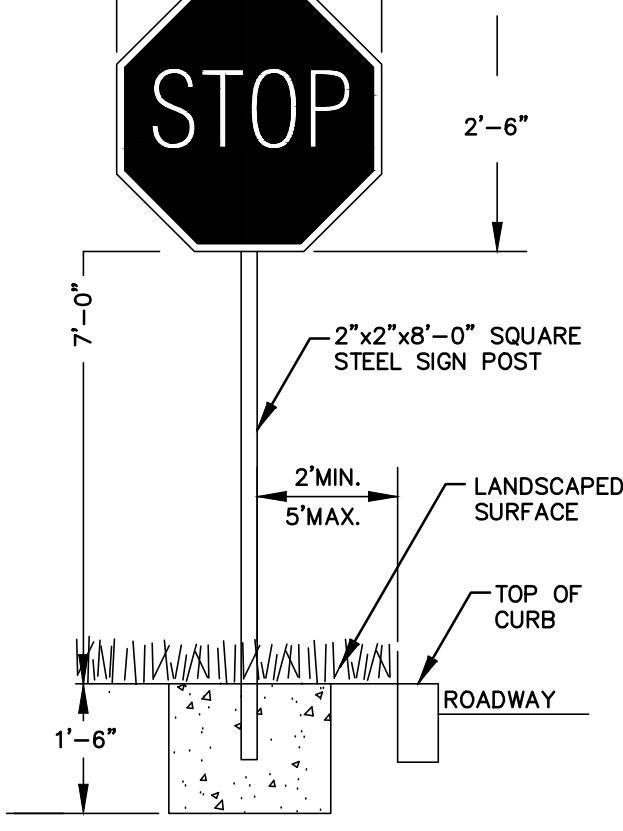
Professional Engineer for Engineering Alliance, Inc.



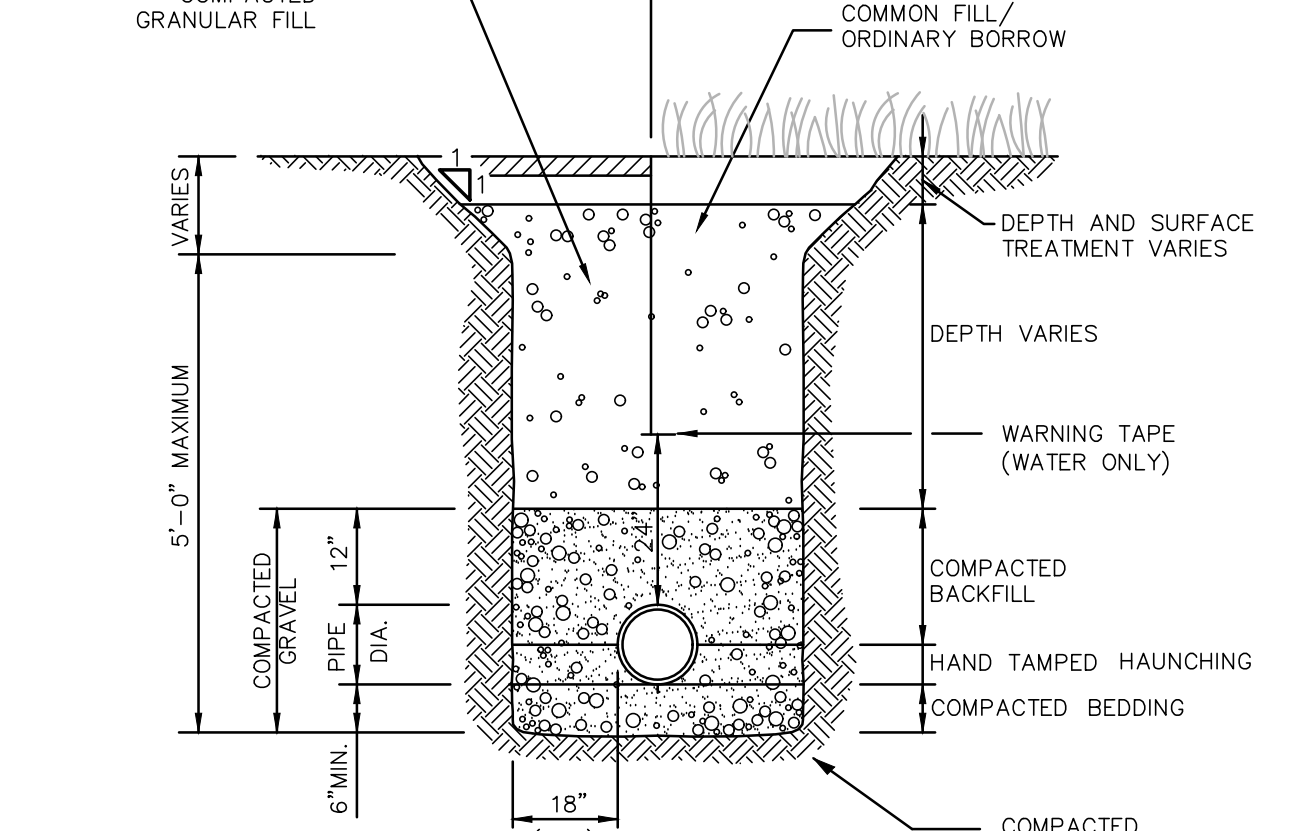
PAINTED HANDICAP SYMBOL & TRAFFIC ARROW DETAIL
NOT TO SCALE



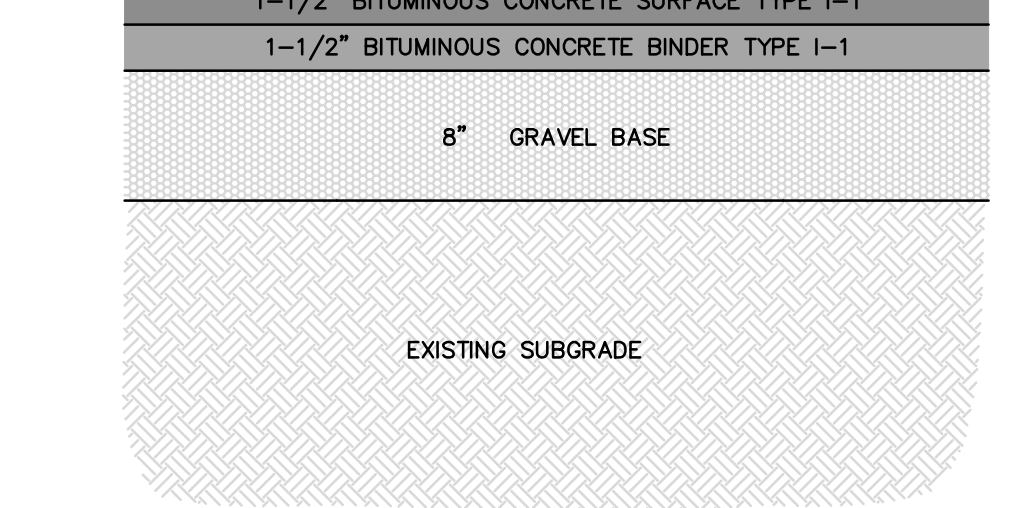
HANDICAP AND STANDARD PARKING DETAIL
NOT TO SCALE



TYPICAL SIGN DETAIL
NOT TO SCALE

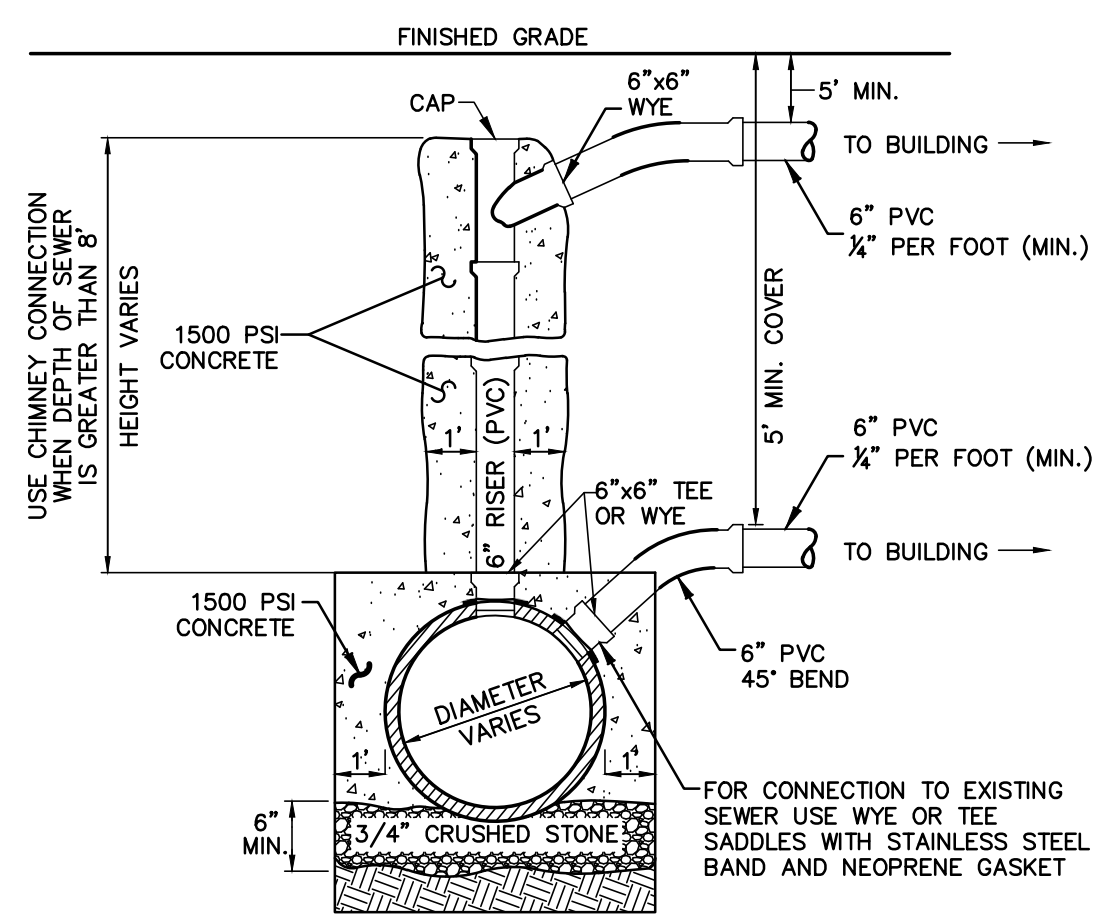


UTILITY TRENCH
NOT TO SCALE

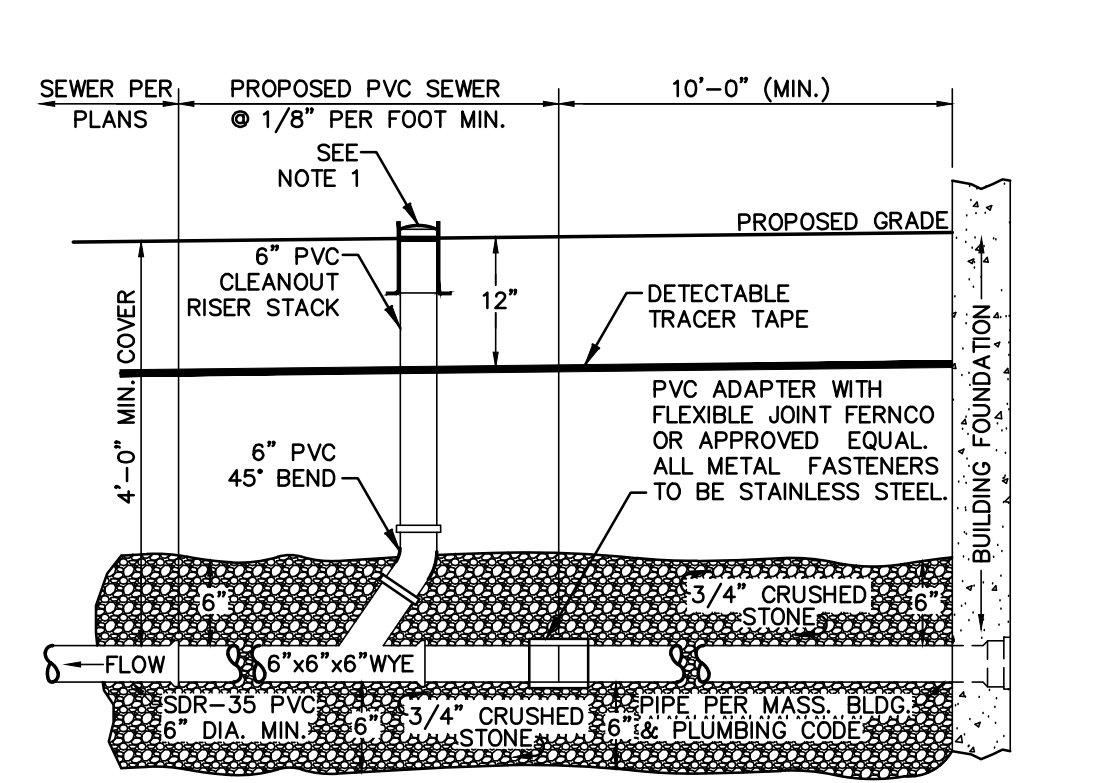


NOTES:
1. NEW STANDARD PAVEMENT SHALL CONSIST OF A 3" TOTAL THICKNESS IN ALL PAVED AREAS OF MASSHIGHWAY CLASS 1, TYPE 1 BITUMINOUS CONCRETE APPLIED IN TWO COURSES, ONE 1-1/2" SURFACE COURSE OVER ONE 1-1/2" BINDER COURSE OVER AN 8" GRAVEL BASE COURSE. COMPACT THE UPPER 1 1/2" OF PAVEMENT SUBGRADE, BASE COURSE, PAVEMENT BINDER AND SURFACE COURSES TO 95 PERCENT OF MAXIMUM DENSITY, AS DETERMINED FOR EACH MATERIAL BY THE APPLICABLE TEST METHODS.
2. OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST

STANDARD PAVEMENT SECTION
NOT TO SCALE

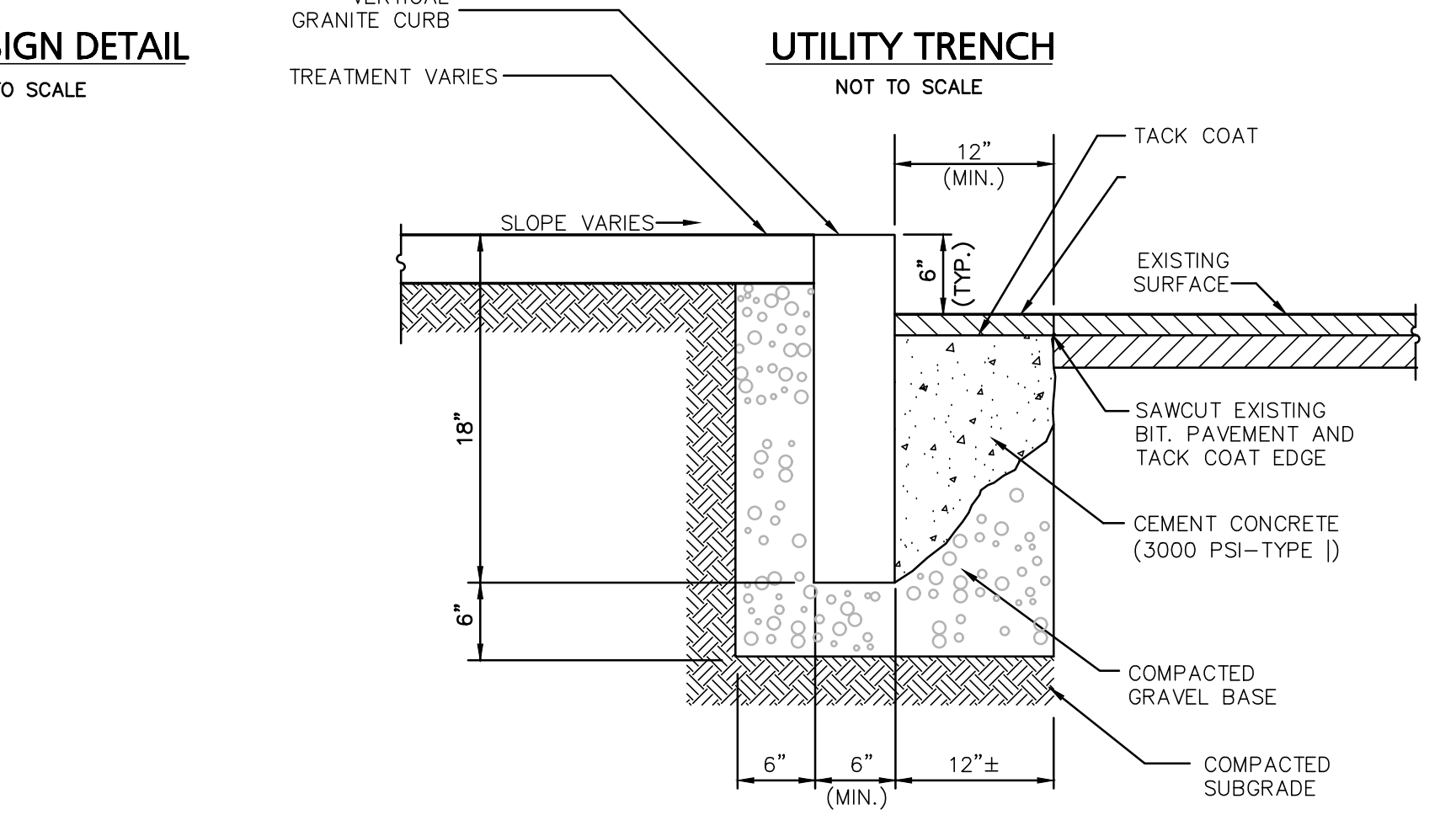


SANITARY SEWER SERVICE AT MAIN
NOT TO SCALE



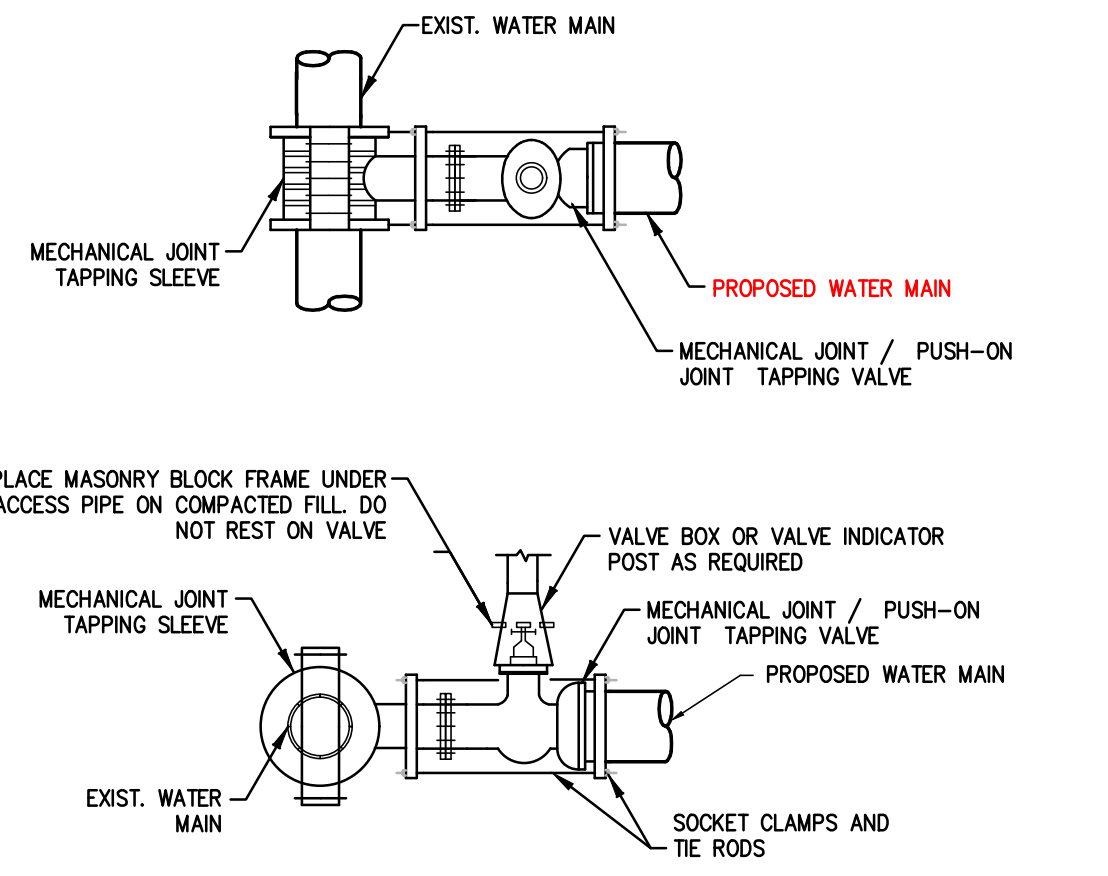
NOTES:
1. LeBaron CAST IRON SEWER CLEANOUT RING COVER. COVER TO BE CAST WITH THE WORD "CLEANOUT" AND HAVE FLAT DIAMOND SURFACE.

SANITARY SEWER SERVICE AT BUILDING
NOT TO SCALE

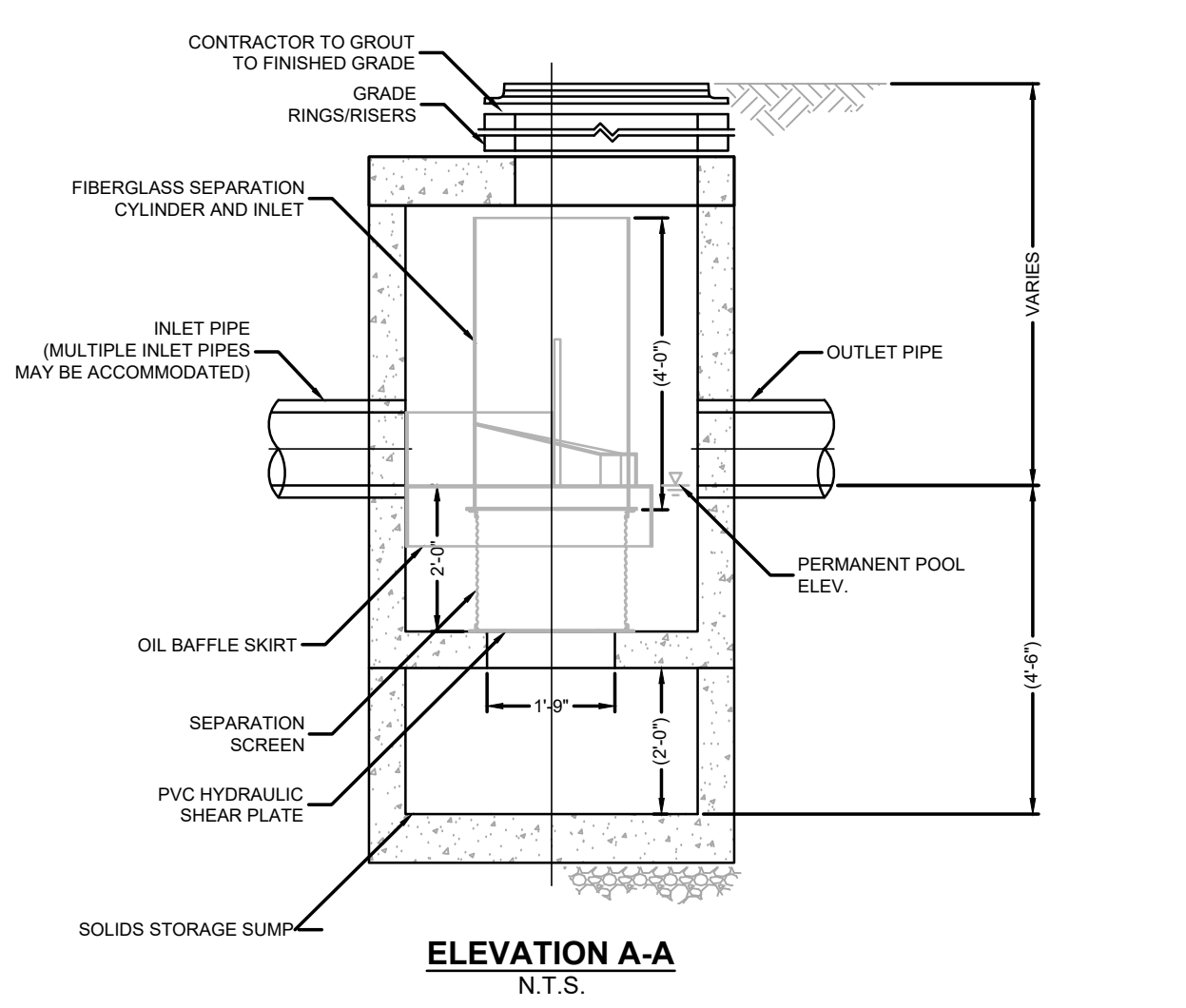


VERTICAL GRANITE CURB SET IN EXISTING PAVEMENT
NOT TO SCALE

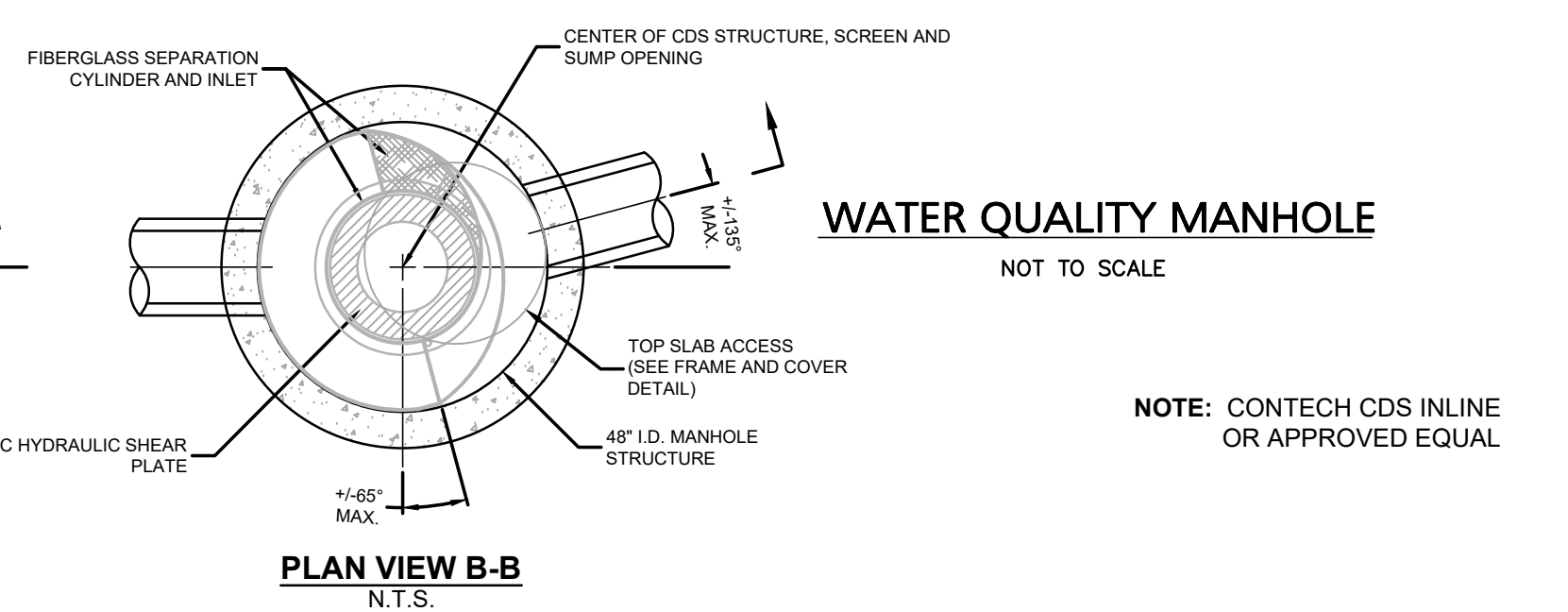
INLET	D	A	B	INLET	D	A	B
4"	3'-6"	3'-0"	2'-6"	8"	5'-0"	6'-0"	5'-0"
5"	3'-6"	5'-0"	4'-0"	8"	5'-6"	5'-6"	4'-6"
	3'-6"	3'-6"	4'-0"	8"	6'-0"	6'-0"	4'-0"
	3'-6"	3'-6"	3'-0"	8"	6'-0"	6'-0"	3'-6"
	3'-6"	3'-6"	3'-0"	8"	6'-6"	6'-6"	3'-0"
	3'-6"	3'-6"	2'-6"	8"	6'-6"	6'-6"	2'-6"
6"	4'-0"	5'-0"	4'-6"	10"	5'-6"	7'-6"	6'-6"
	4'-0"	4'-0"	3'-6"	10"	6'-0"	6'-0"	4'-6"
	4'-6"	4'-0"	3'-6"	10"	6'-0"	6'-6"	4'-6"
	4'-6"	4'-6"	3'-6"	10"	6'-0"	6'-6"	5'-6"
	5'-0"	5'-0"	3'-0"	10"	6'-6"	6'-6"	4'-0"



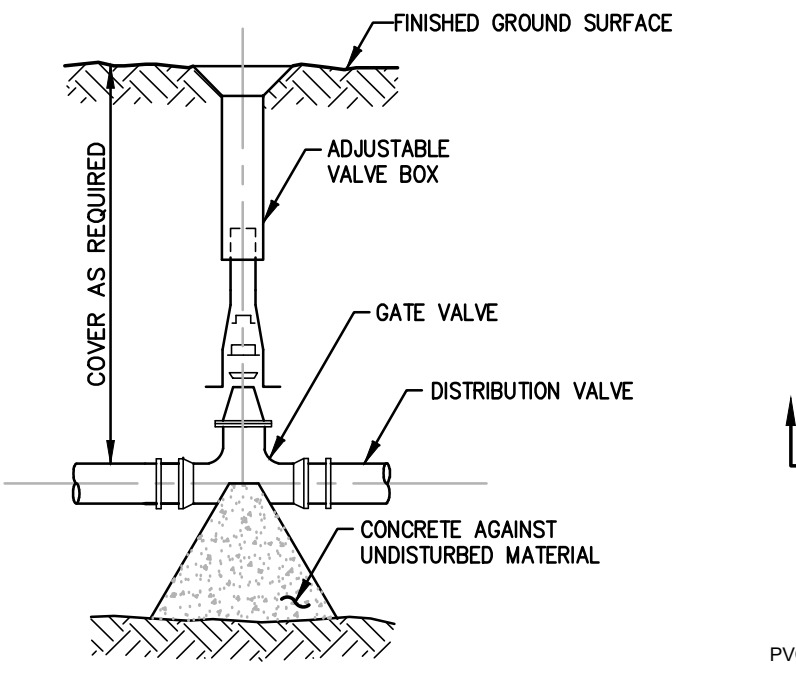
TAPPING SLEEVE AND VALVE
NOT TO SCALE



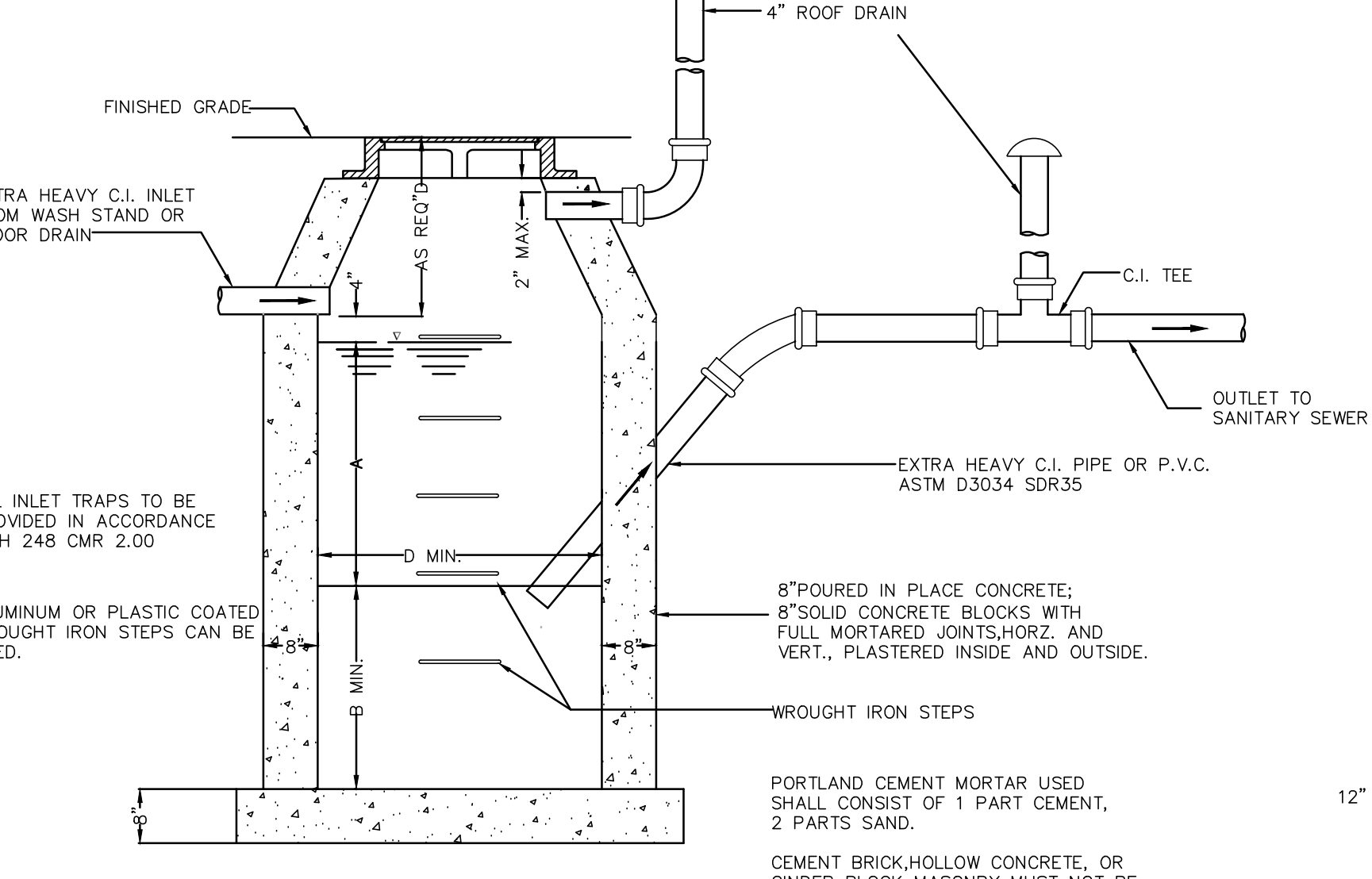
ELEVATION A-A
N.T.S.



PLAN VIEW B-B
N.T.S.

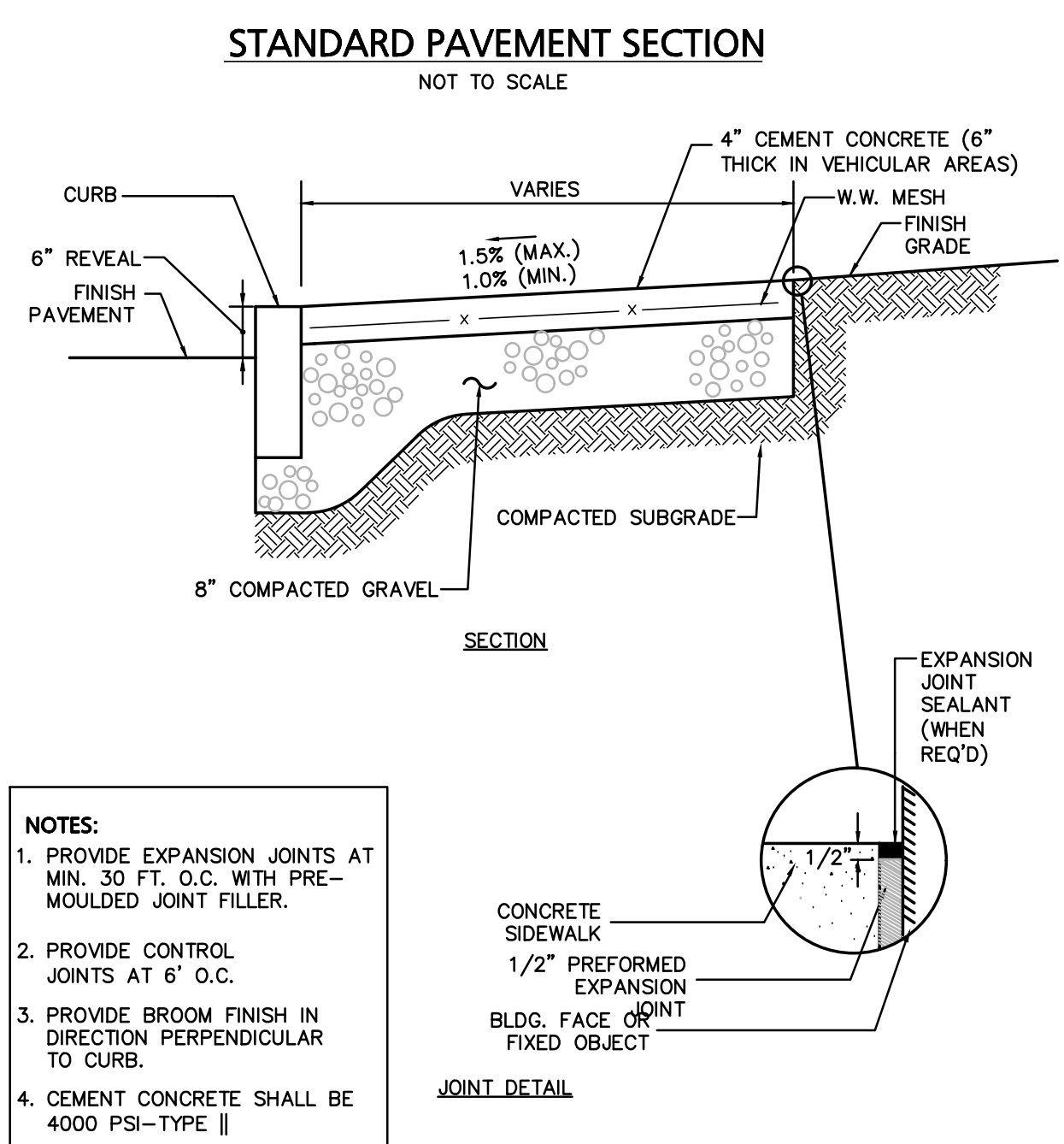


WATER GATE DETAIL
NOT TO SCALE



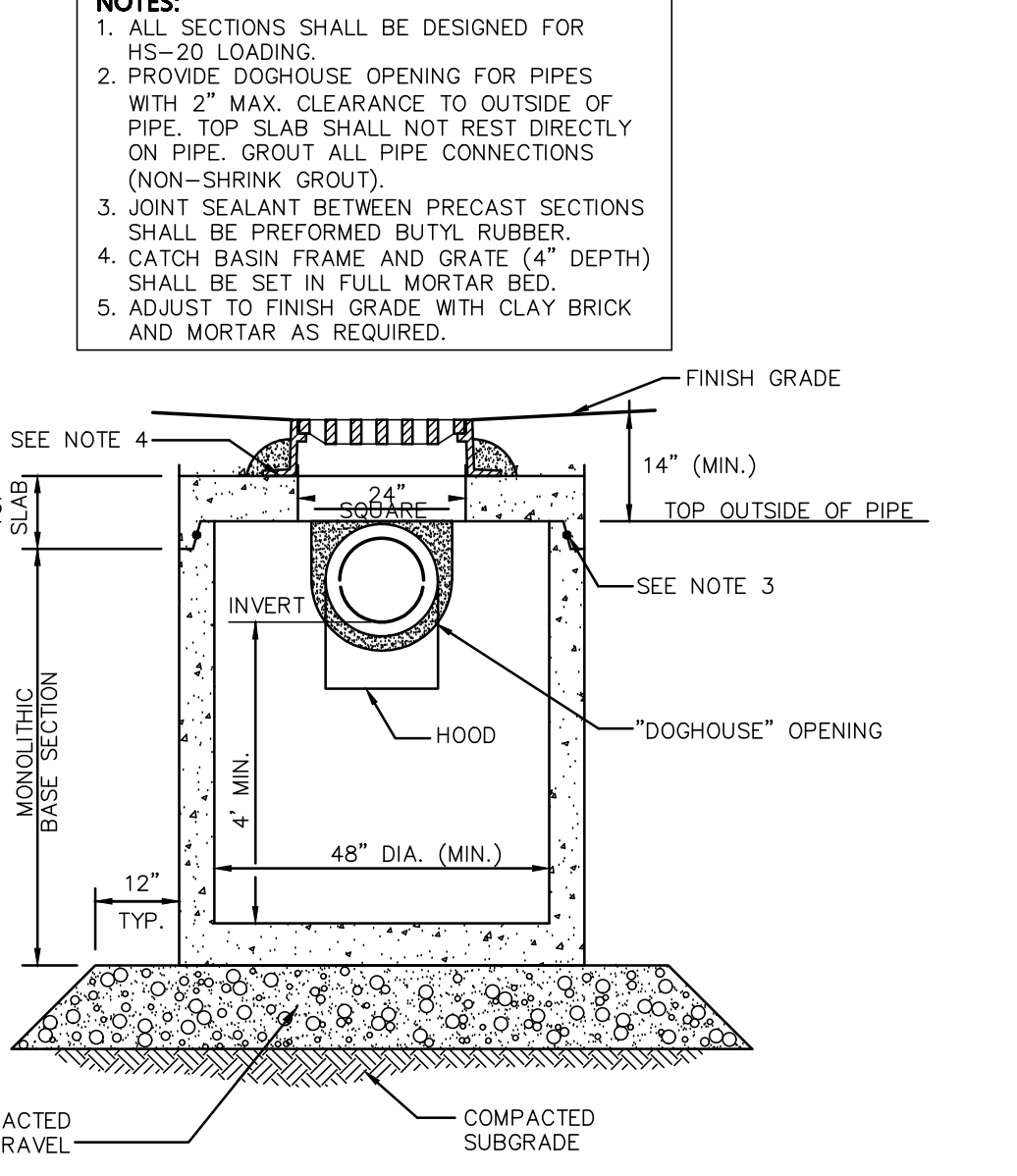
NOTES:
FOR USE TO DRAIN INDOOR COVER AREAS ONLY.
FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE
PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.

GAS TRAP
SCALE: N.T.S.



NOTES:
1. PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-MOULDED JOINT FILLER.
2. PROVIDE CONTROL JOINTS AT 6' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
4. CEMENT CONCRETE SHALL BE 4000 PSI-TYPE II

CONCRETE SIDEWALK
NOT TO SCALE



TYPICAL CATCH BASIN SHALLOW COVER WITH HOOD

Engineering Alliance, Inc.
Civil Engineering & Land Planning Consultants
194 Central Street
Portsmouth, NH 03801
Saugus, MA 01906
Tel: (603) 510-1100
Fax: (603) 610-7101

Site Plan
29 & 41 Alden Street
(Tax Map 14 Lots 356 & 357)
Ashland, Massachusetts

PROJECT #: 19-58507
SCALE: AS NOTED
DESIGN BY: Calvin Reach

DATE: January 13, 2020
DWG FILE NAME: 19-58507.dwg
CHECKED BY: Richard A. Salvo, P.E.

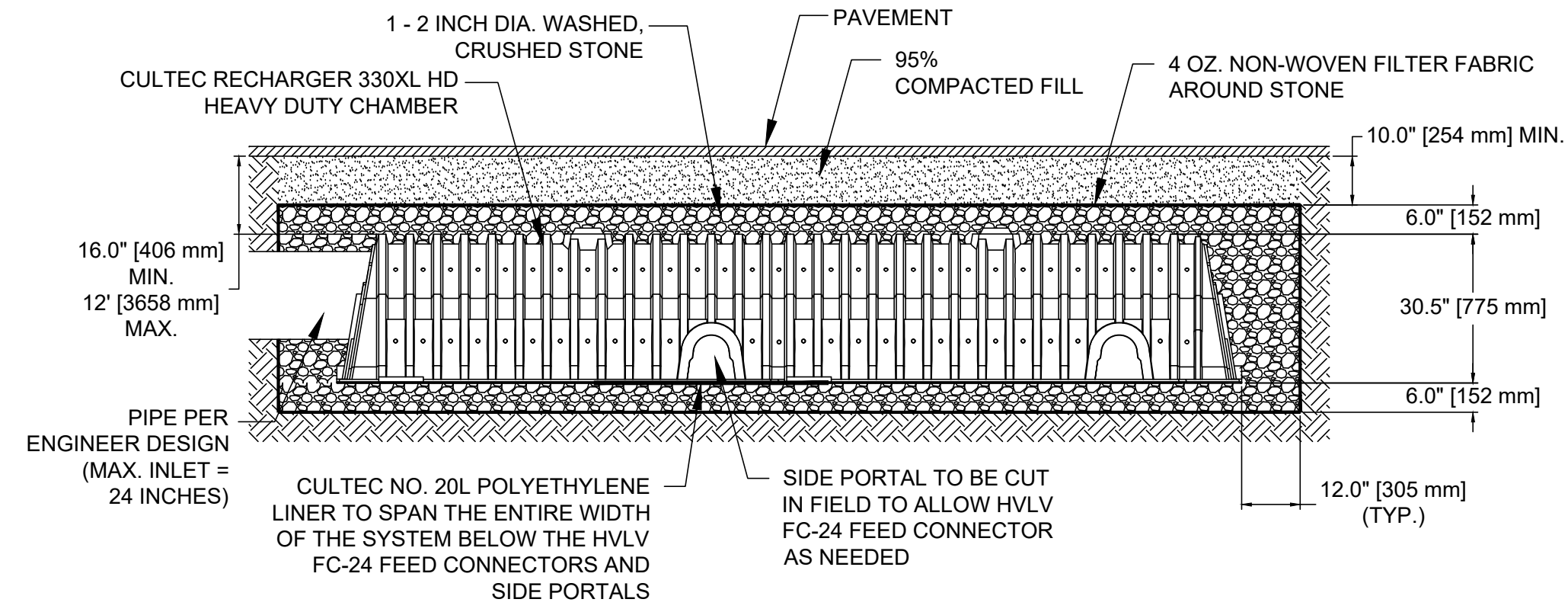
Professional Engineer for
Engineering Alliance, Inc.

APPLICANT: 29 & 41 Alden Street Realty Trust
11 Placid Road
Newton, MA 02459

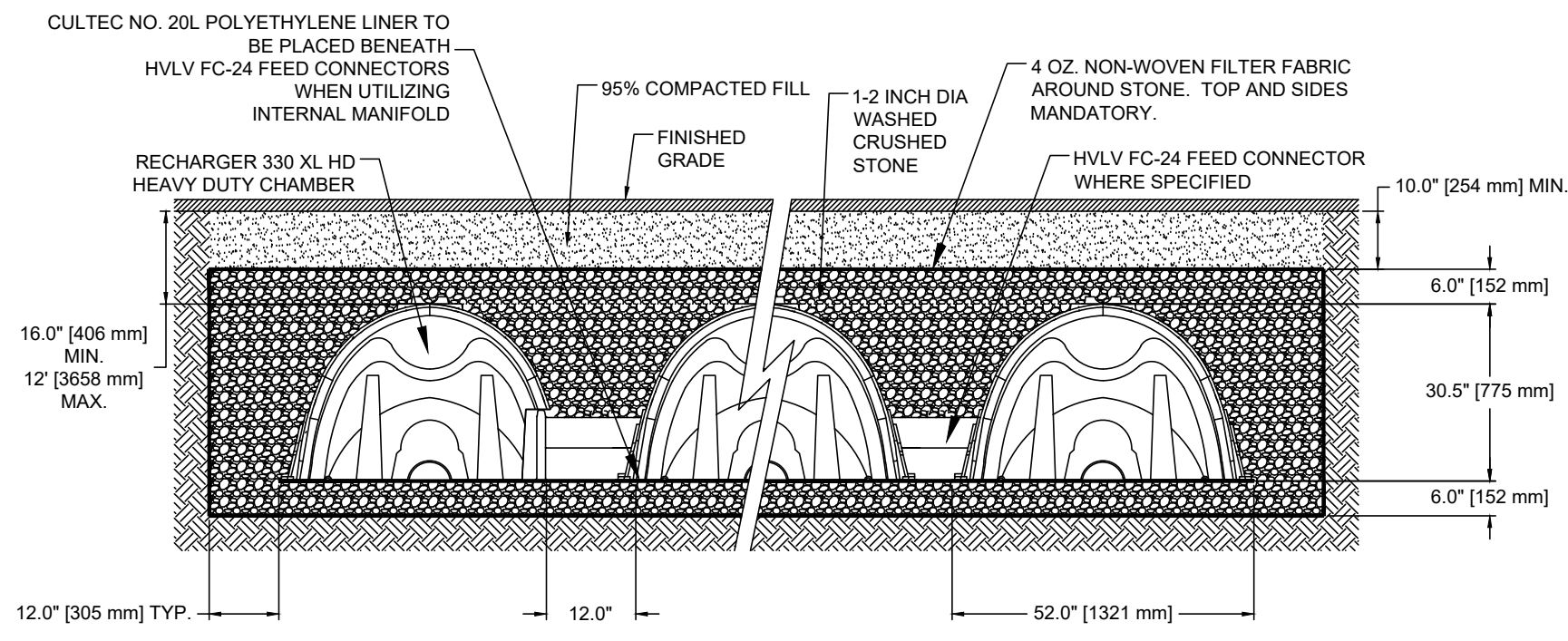
DRAWING TITLE: Construction Details

DWG. NO. D-1

REVISION	DATE	DESCRIPTION OF REVISION
4/2/2020		



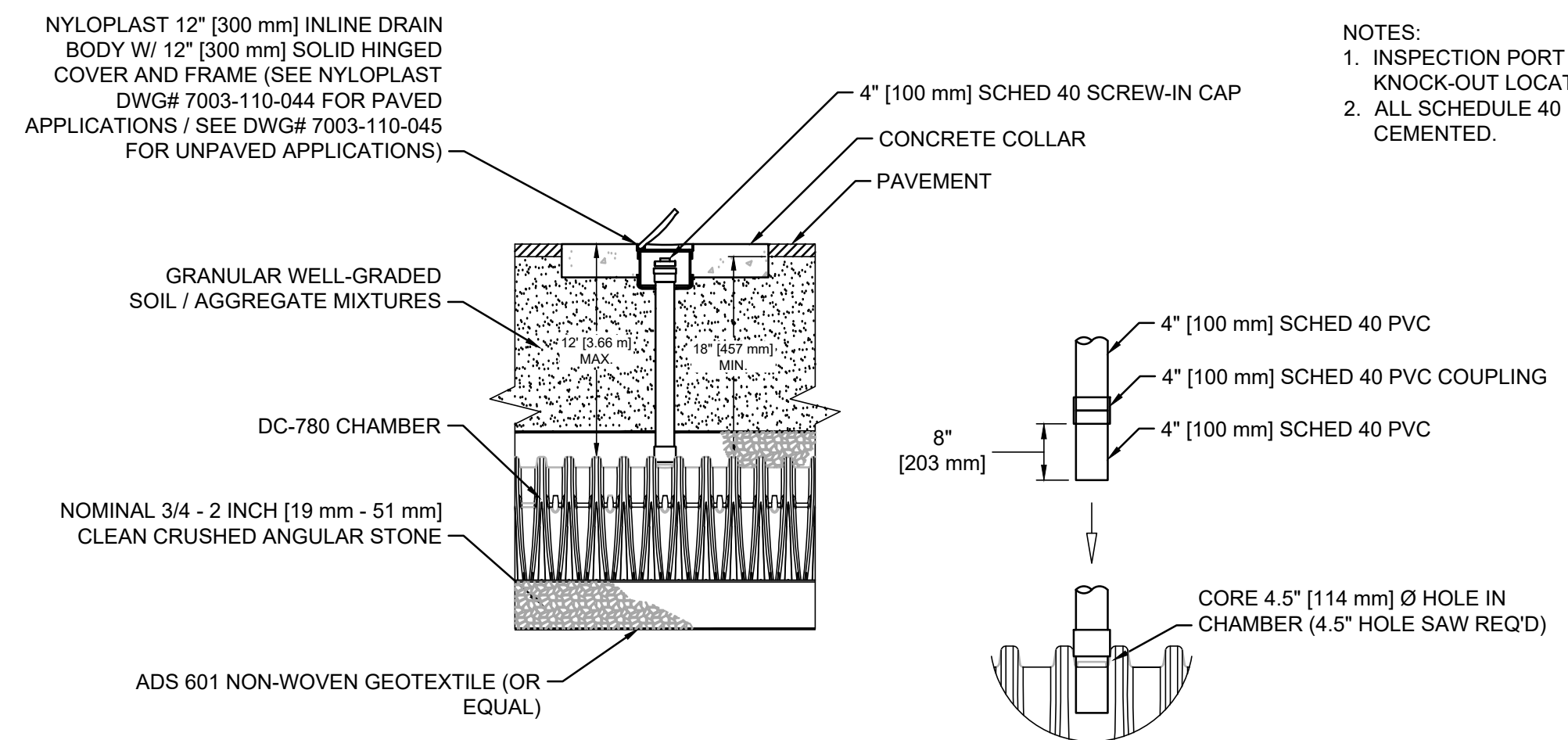
MAINFOLD DETAIL
SUB-SURFACE DRAINAGE FACILITY DETAIL
CULTEC 330XL HD
 NOT TO SCALE



TYPICAL CROSS SECTION

GENERAL NOTES
 RECHARGER 330XL HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 11.32 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
 USE RECHARGER 330XL HD HEAVY DUTY FOR TRAFFIC AND/OR H-25 APPLICATIONS.

ALL RECHARGER 330XL HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
 ALL RECHARGER 330XL HD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



INSPECTION PORT DETAIL
 NOT TO SCALE

- NOTES:**
- INSPECTION PORT MUST BE CONNECTED THROUGH KNOCK-OUT LOCATED AT CENTER OF CHAMBER.
 - ALL SCHEDULE 40 FITTINGS TO BE SOLVENT CEMENTED.

REVISION	DATE	DESCRIPTION OF REVISION
4/7/2020		

PREPARED BY:

Engineering Alliance, Inc.
 Civil Engineering & Land Planning Consultants
 194 Central Street
 Portsmouth, NH 03801
 Tel: (603) 510-7100
 Fax: (603) 610-7101

PROJECT:

Site Plan
 29 & 41 Alden Street
 (Tax Map 14 Lots 356 & 357)
 Ashland, Massachusetts

PROJECT #: 19-58507
DATE: January 13, 2020
SCALE: AS NOTED
DESIGN BY: Calvin Reach
CHECKED BY: Richard A. Salvo, P.E.

DWG FILE NAME: 19-58507.dwg
CHECKED BY: Richard A. Salvo, P.E.

Professional Engineer for
 Engineering Alliance, Inc.

APPLICANT:

29 & 41 Alden Street Realty Trust
 11 Piledd Road
 Newton, MA 02459

DWG. NO.: D-2

DRAWING TITLE: Construction Details