

FIRE SEPARATION BETWEEN DWELLINGS MUST CONTINUE TO UNDERSIDE  
OF ROOF SHEATHING NO RIDGE VENT OVER WP3245 SEPARATION

SHIPLOOSE SIDING  
ADJUST SIDING & SHEATHING FOR DOUBLE SILL PLATE  
OMIT FASCIA ONLY (INSTALL 1x3 BOARD ON FASCIA  
FOR O.S. TRIM-S/L VINYL SOFFIT & INSTALL DRIP EDGE)

ACTUAL HOUSE MAY VARY FROM ELEVATION—ACCESS TO GRADE ON-SITE BY OTHERS

ON-SITE GARAGE

CHRISP 4/7/2020 10:38:07 AM

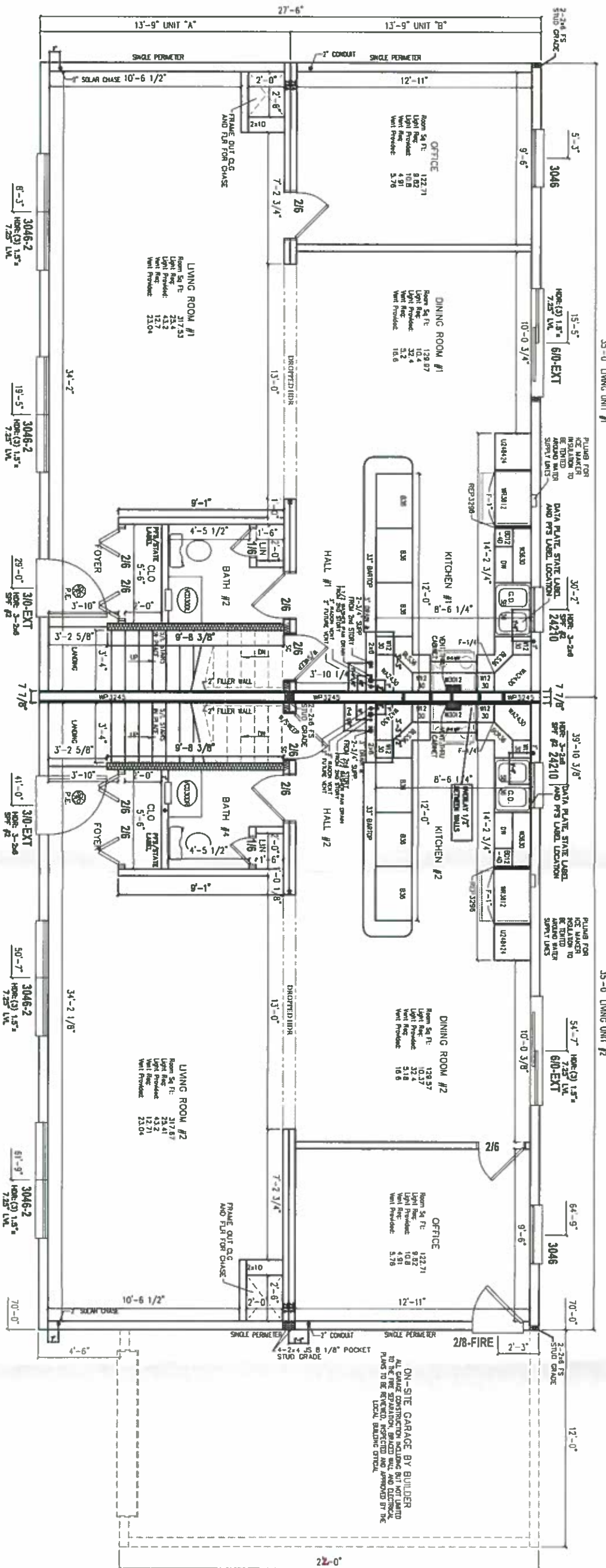
SALES DRAWING FOR PRELIMINARY PRICING ONLY  
THIS PLAN HAS NOT BEEN REVIEWED FOR LOCAL/STATE CODES

PAGE: <b>2.1</b>	DATE:	DRAWN BY:	STATUS:	2842-PRESTIGE 2 STORY FRONT ELEVATION	BUILDER		CUSTOMER	
	10/03/2019	PZ	CONFIRMATION		AVIS MODULAR (GBI)		MAXWELL DAVI	
	11/21/2019	PZ	FINAL		CITY	COUNTY	STATE	
	12/18/2019	MDC	REV. FINAL		ASHLAND	MIDDLESEX	MA	
	4/7/20	CAP	PR		WIND SPEED	SNOW LOAD	SQ. FT.	
				127 MPH VULT	40	2310		
				ORDER NO.	SERIAL NO.	FILE NO.		
				89072		0369-20		



Professional Building Systems  
72 East Market Street  
Middleburg, PA 17842  
(888) 553-1414  
WWW.PBSMODULAR.COM





- NOTES: 1.\* DENOTES ADDITIONAL COLUMN IN BASEMENT
- 2X6 EXTERIOR WALLS 16" O.C.
  - 2X4 MARRIAGE WALLS 16" O.C.
  - ROOF RAFTERS 16" O.C.

5. 8'-0" CLG.
6. STAIRS TO BE 8 1/4" RISERS AND 9" TREADS.

- 9.
- 10.
- 11.
- 12.

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2842-PRESTIGE 2 STORY  
1st STORY FLOOR PLAN



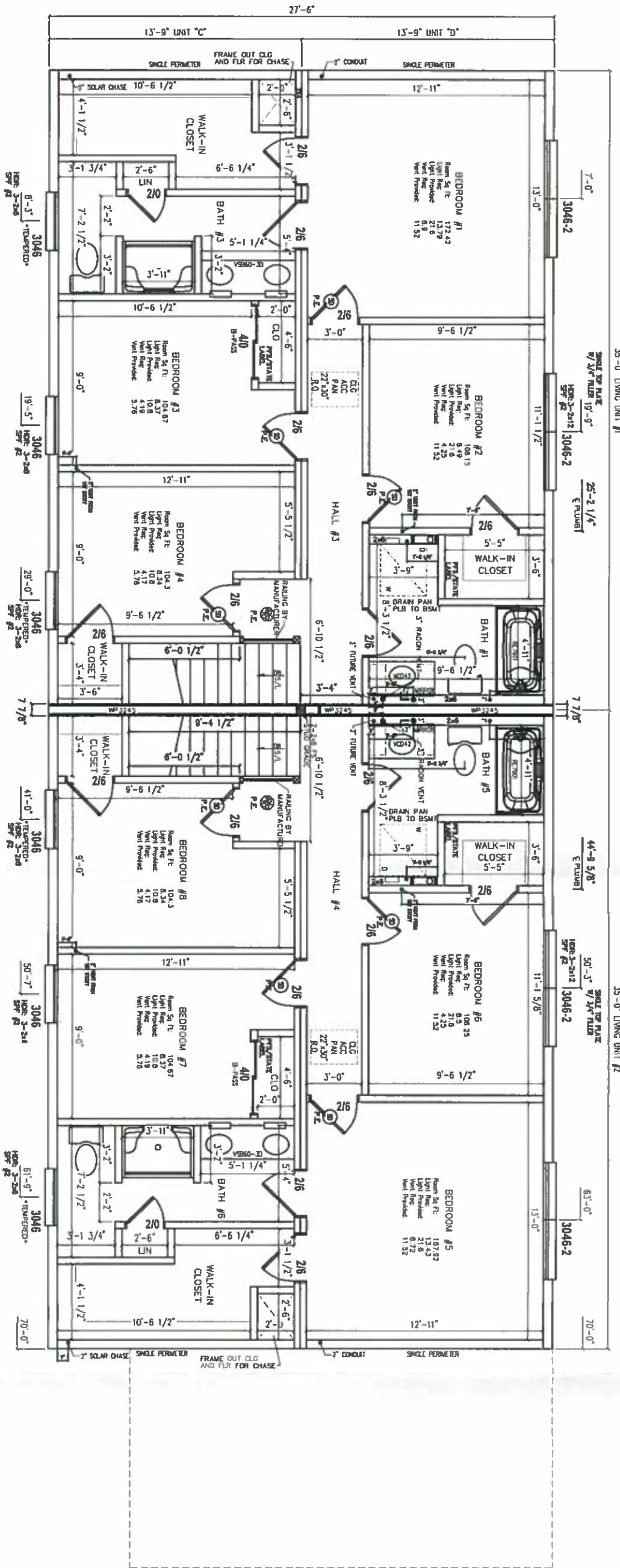
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BUILDER AVIS MODULAR (GBI)		CUSTOMER MAXWELL DAVI	
CITY ASHLAND	COUNTY MIDDLESEX	STATE MA	
WIND SPEED 127 MPH VULT	SNOW LOAD 40	SQ. FT. 2310	
ORDER NO. 89072	SERIAL NO.	FILE NO. 0369-20	

PAGE:	DATE:	DRAWN BY:	STATUS:
3.1	10/03/2019	PZ	CONFIRMATION
	11/21/2019	PZ	FINAL
	12/18/2019	MDC	REV. FINAL
	4/7/20	CAP	PR





NOTES: 1. \*- DENOTES ADDITIONAL COLUMN IN BASEMENT  
 2. 2X6 EXTERIOR WALLS 16" O.C.  
 3. 2X4 MARRIAGE WALLS 16" O.C.  
 4. ROOF RAFTERS 16" O.C.

5. 8'-0" CLG.  
 6.  
 7.  
 8.

9.  
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2842-PRESTIGE 2 STORY  
 2nd STORY FLOOR PLAN

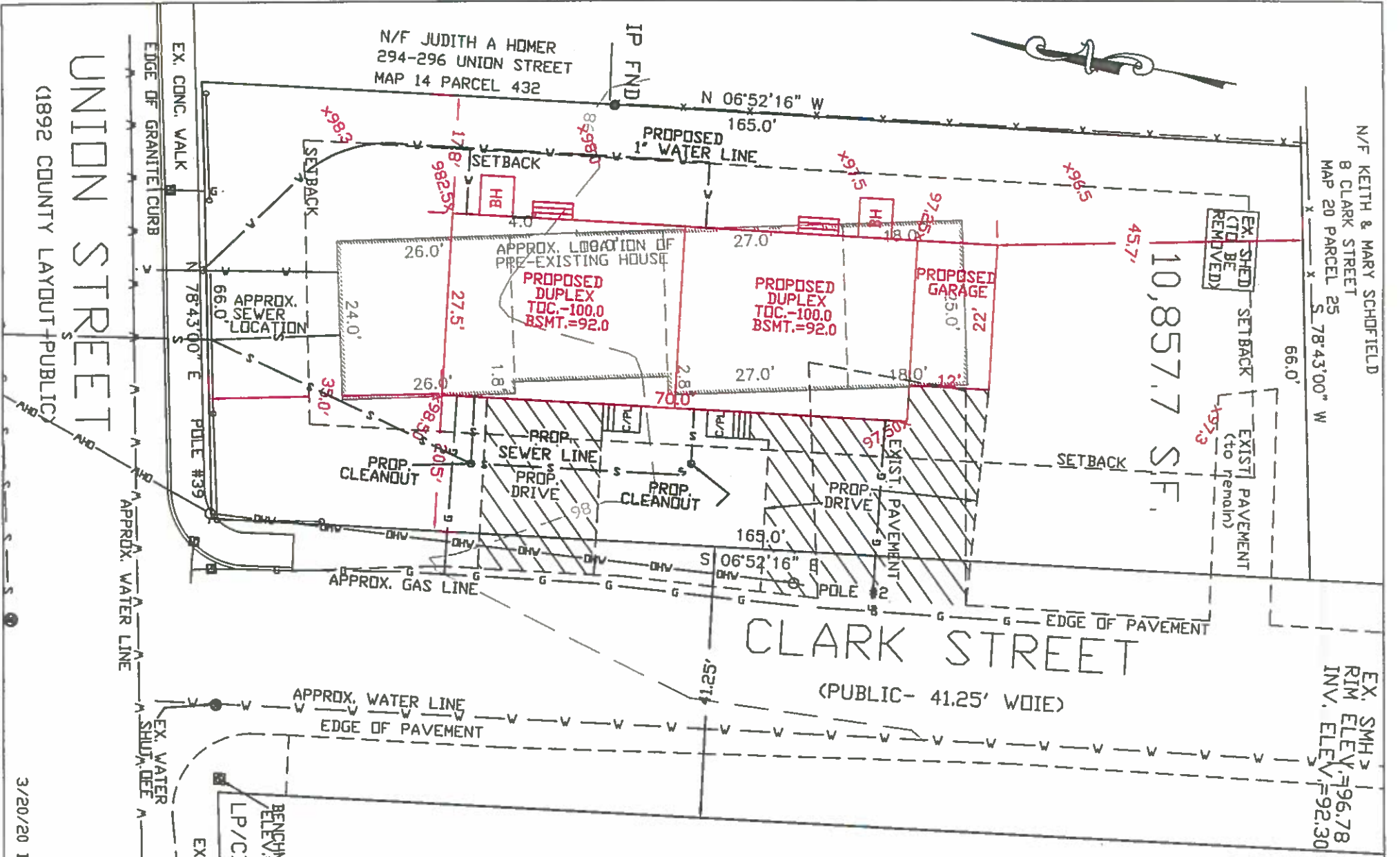


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BUILDER AVIS MODULAR (GBI)		CUSTOMER MAXWELL DAVI	
CITY ASHLAND	COUNTY MIDDLESEX	STATE MA	SO. FT. 2310
WIND SPEED 127 MPH VULT	SNOW LOAD 40	ORDER NO. 89072	SERIAL NO. 0369-20
FILE NO. 0369-20			

PAGE:	DATE:	DRAWN BY:	STATUS:
3.2	10/03/2019	PZ	CONFIRMATION
	11/21/2019	PZ	FINAL
	12/18/2019	MDC	REV. FINAL
	4/7/20	CAP	PR



N/F KEITH & MARY SCHOFIELD  
8 CLARK STREET  
MAP 20 PARCEL 25  
S 78°43'00" W  
66.0'

EX. SHED (TO BE REMOVED)

SETBACK

EXIST. PAVEMENT (to remain)

EX. SMH  
RIM ELEV.=96.78  
INV. ELEV.=92.30



SCALE  
1"=20'

ZONING REQUIREMENTS:

- ZONE: CN
- MIN LOT AREA 5,000 SF
  - MIN FRONTAGE 50'
  - MIN FRONT SETBACK 15'
  - MIN SIDE SETBACK 8'
  - MIN REAR SETBACK 35'
  - MIN. BUILDING COVERAGE 15%

CONSTRUCTION SEQUENCE

1. Obtain all required town approvals.
2. Excavate for new foundation, driveway and utilities.
3. Set forms & pour foundation.
4. Set modular home.
5. Stabilize all disturbed areas of lot.
6. Prepare as-built plan.

ZONING BY-LAW

SECTION 3.3.7.C CATASTROPHIC BUILDING  
SECTION 6 FINDING  
PRE-EXISTING NON CONFORMING BUILDING COVERAGE

ZONED CN		REQUIRED	EXISTING	PROPOSED BUILDING
AREA	5,000 SF	10,857.7 SF (existing)	10,857.7 SF (existing)	
FRONTAGE	50'	66.0'/165.0'	66.0'/165.0'	
FRONT YARD	15'	UNKNOW'	20.5'/35.0'	
SIDE YARD	8'	UNKNOW'	17.8'/45.7'	
REAR YARD	35'	---	---	

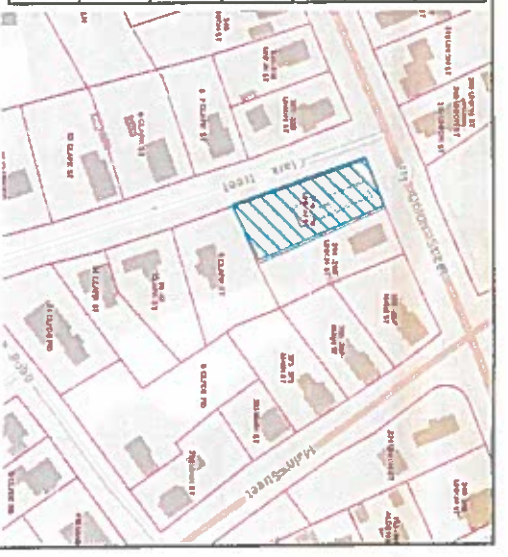
PREVIOUS BUILDING COVERAGE  
20.8% (2,259.6 SF)

PROPOSED BUILDING COVERAGE  
20.7% (2,249. SF)

PREVIOUS BUILDING VOLUME  
44,721 CUBIC FEET

PROPOSED BUILDING VOLUME  
40,836 CUBIC FEET

REFERENCES:  
ASSESSOR'S REFERENCE: ASSESSERS ID: MAP 20  
PARCEL 26  
DEED BK 68811 PAGE 265  
1892 UNION STREET LAYOUT Sh 4  
PLAN NO. 1586 of 1952, Bk. 7963 pg 11



PER FIRM MAP  
TOWN OF ASHLAND, MA  
MIDDLESEX COUNTY  
COMMUNITY PANEL No.: 25017C0514F  
EFFECTIVE: JULY 7, 2014  
THIS SITE IS NOT IN A DESIGNATED FLOOD ZONE

1.) THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND 'DIG-SAFE'. 2.) CONSTRUCTION SURVEY IS RECOMMENDED TO ASSURE THE CORRECT PLACEMENT OF THE PROPOSED STRUCTURE.

DAVID E. TEACHOUT, PLS 12559  
REGISTERED PROFESSIONAL SURVEYOR



GUARANTEED BUILDERS & DEVELOPERS INC.  
14 WEST STREET DOUGLAS, MA 01516  
PHONE: (508) 476-1500 FAX: (508) 476-1392

PLOT PLAN

COMP'D BY: KJK	SCALE: 1" = 20'	PROJECT LOCATION: 304-306 UNION STREET, ASHLAND, MA
DRAWN BY: KJK	DATE: 10/1/19	OWNER: HANNAH & MAXWELL DAVID 304-306 UNION STREET ASHLAND, MA 01721
CHK'D BY: CEM	ZONE: CN	
FIELD BY: KJK	FIELD BK/Pg: 1/1	