

SCALE
1"=20'

ZONING REQUIREMENTS:

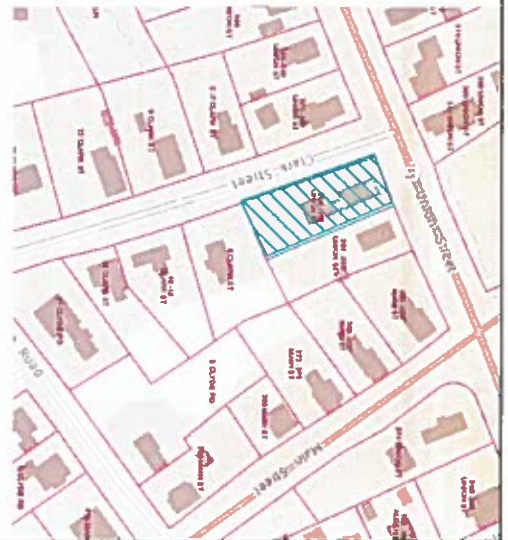
- ZONE: CN
- MIN LOT AREA 5,000 SF
 - MIN FRONTAGE 50'
 - MIN FRONT SETBACK 15'
 - MIN SIDE SETBACK 8'
 - MIN REAR SETBACK 35'
 - MIN. BUILDING COVERAGE 15%

CONSTRUCTION SEQUENCE

1. Obtain all required town approvals.
2. Excavate for new foundation, driveway and utilities.
3. Set forms & pour foundation.
4. Set modular home.
5. Stabilize all disturbed areas of lot.
6. Prepare as-built plan.

ZONING BY-LAW
SECTION 337C CATASTROPHIC BUILDING
SECTION 6 FINDING
PRE-EXISTING NON CONFORMING BUILDING COVERAGE

ZONED CN		REQUIRED	EXISTING	PROPOSED BUILDING
AREA	5,000 SF	10,857.7 SF (existing)	10,857.7 SF (existing)	
FRONTAGE	50'	66.0/165.0'	66.0/165.0'	
FRONT YARD	15'	UNKNOW'N	20.5'/35.0'	
SIDE YARD	8'	UNKNOW'N	17.8'/45.7'	
REAR YARD	35'	---	---	
PREVIOUS BUILDING COVERAGE		20.8% (2,259.6 SF)		
PROPOSED BUILDING COVERAGE		20.7% (2,249. SF)		
PREVIOUS BUILDING VOLUME		44,721 CUBIC FEET		
PROPOSED BUILDING VOLUME		40,836 CUBIC FEET		



REFERENCES:
ASSESSOR'S REFERENCE: ASSESSORS ID: MAP 20
PARCEL 26
DEED BK 68811 PAGE 265
1892 UNION STREET LAYOUT SH.4
PLAN NO. 1586 of 1952, Bk. 7963 pg 11

PER FIRM MAP
TOWN OF ASHLAND, MA
MIDDLESEX COUNTY
COMMUNITY PANEL No.: 25017C0514F
EFFECTIVE: JULY 7, 2014
THIS SITE IS NOT IN A DESIGNATED FLOOD ZONE

1.) THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND ARE BASED UPON A FIELD SURVEY AND A COMPILATION OF AVAILABLE PLANS OF RECORD FROM THE VARIOUS UTILITY COMPANIES. THE INFORMATION PROVIDED IS FOR THE USE OF THE CONTRACTOR. NEITHER WARRANTY NOR GUARANTEE OF THE INFORMATION IS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES BY CONTACTING THE RESPECTIVE UTILITY COMPANIES AND 'DIG-SAFE'.
2.) CONSTRUCTION SURVEY AND SETOUT IS RECOMMENDED TO ASSURE THE CORRECT PLACEMENT OF THE PROPOSED STRUCTURE

DAVID E. TEACHOUT
DAVID E. TEACHOUT
COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL SURVEYOR
No. 38888

GUARANTEED BUILDERS & DEVELOPERS INC.
14 WEST STREET DOUGLAS, MA 01516
PHONE: (508) 476-1500 FAX: (508) 476-1392

PLOT PLAN

COMP'D BY: KJK	SCALE: 1" = 20'	PROJECT LOCATION: 304-306 UNION STREET, ASHLAND, MA
DRAWN BY: KJK	DATE: 10/1/19	OWNER: HANNAH & MAXWELL DAVID 304-306 UNION STREET ASHLAND, MA 01721
CHK'D BY: CEM	ZONE: CN	
FIELD BY: KJK	FIELD BK/Pg: 1/1	

6/18/20 PARKING AREA CHANGE KJK
3/20/20 BUILDING COVERAGE CHANGE KJK