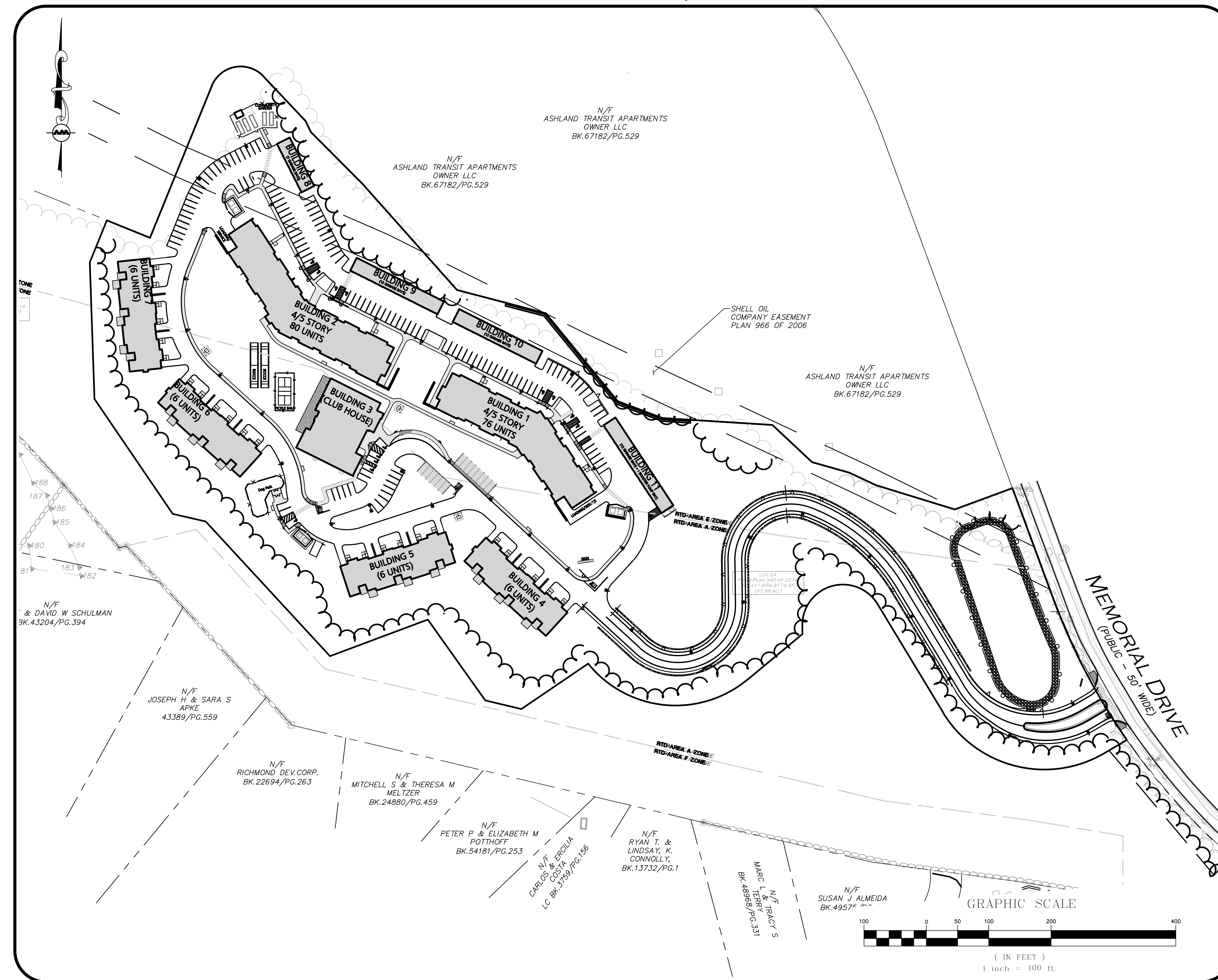


# ISSUED FOR COMPREHENSIVE PERMIT ARBELLA AT ASHLAND

ASHLAND, MA



LIST OF DRAWINGS			
DRAWING TITLE	SHEET NO.	ISSUED	REVISED
EXISTING CONDITIONS	V-101 - V-102	09-04-2020	05-11-2021
NOTES & ABBREVIATIONS	C-001 - C-002	09-04-2020	05-11-2021
EROSION CONTROL PLAN	C-101	09-04-2020	05-11-2021
LAYOUT & MATERIALS PLAN	C-102 - C-104	09-04-2020	05-11-2021
GRADING & DRAINAGE PLAN	C-105 - C-107	09-04-2020	05-11-2021
PROFILE PLAN	C-108	09-04-2020	05-11-2021
UTILITIES PLAN	C-109 - C-111	09-04-2020	05-11-2021
PHOTOMETRICS PLAN	C-112 - C-114	09-04-2020	05-11-2021
DETAILS	C-501 - C-506	09-04-2020	05-11-2021
VEHICLE MOVEMENT PLAN	C-601 - C-602	09-04-2020	05-11-2021
LANDSCAPE PLAN	L-101 - L-103	09-04-2020	05-11-2021
LANDSCAPE DETAILS	L-501 - L-502		05-11-2021

UNIT TABULATION TABLE				
TYPE OF BUILDING	BUILDING 1	BUILDING 2	TOWNHOME BUILDING (6)	TOTAL
NUMBER OF UNITS	76	80	24	180
NUMBER OF BEDROOMS	99	115	48	262
NUMBER OF BATHROOMS	103	115	48	266
SQUARE FOOTAGE (FPA)	17,637 FT <sup>2</sup>	20,229 FT <sup>2</sup>	8,903 FT <sup>2</sup>	46,769 FT <sup>2</sup>
NUMBER OF PARKING STALLS	66	93	48	207

\* 25% OF TOTAL UNITS (45) SHALL BE DESIGNATED AS AFFORDABLE PER DHCD GUIDELINES

### LAND USAGE TABLE - RAIL TRANSIT DISTRICT (A-E-F)

ITEM	REQUIRED/ALLOWED	PROPOSED
LOT AREA	30,000 SF	17.97 ACRES
LOT FRONTAGE	150'	445'
BUILDING AREA <sup>(1)</sup>	10 UNITS/ACRE	10.02 UNITS/ACRE
FRONT YARD SETBACK	25'	564.6'
SIDE YARD SETBACK	25'	15.3'
REAR YARD SETBACK	30'	32.8'
LOT COVERAGE (MAX)	70%	STRUCTURES: 12.59% BUILDINGS: 19.68% SIDEWALK: 2.28% TOTAL: 34.55%
OPEN SPACE (MIN) <sup>(2)</sup>	30%	USABLE: 65.45% UNUSABLE: 0% TOTAL: 65.45%
BUILDING HEIGHT (MAX)	3 STORIES	5 STORIES
PARKING SPACES: DWELLINGS (SINGLE FAMILY ATTACHED AND MULTI-FAMILY)	APARTMENT DWELLINGS: 156 UNITS TOWN HOME DWELLINGS: 24 UNITS REQUIRED: 1.8 SPACES/UNIT 324 TOTAL SPACES	TOWN HOMES: STANDARD STALLS: 24 GARAGE STALLS: 24 CLUBHOUSE: STANDARD STALLS: 35 ACCESSIBLE STALLS: 5 TOTAL SPACES: 247

(1) DETERMINED BASED UPON THE TOTAL CUMULATIVE LAND AREA OF THE APPLICABLE AREAS (A, C, D OR E) AS SPECIFIED IN THE FORMULA SET FORTH HEREIN, AT A DENSITY OF: (i) 10 UNITS PER ACRE FOR AGE RESTRICTED, ATTACHED, AGE RESTRICTED, DETACHED, AND AGE RESTRICTED, MULTIFAMILY; AND (ii) TWENTY (20) UNITS PER ACRE FOR DWELLING MULTIFAMILY, FOR RENT (PERMITTED IN AREA E ONLY)

(2) THE MAXIMUM DEVELOPMENT COVERAGE IN A RAIL TRANSIT DISTRICT (RTD) SHALL NOT RESULT IN AGGREGATE OPEN SPACE BEING LESS THAN 30%

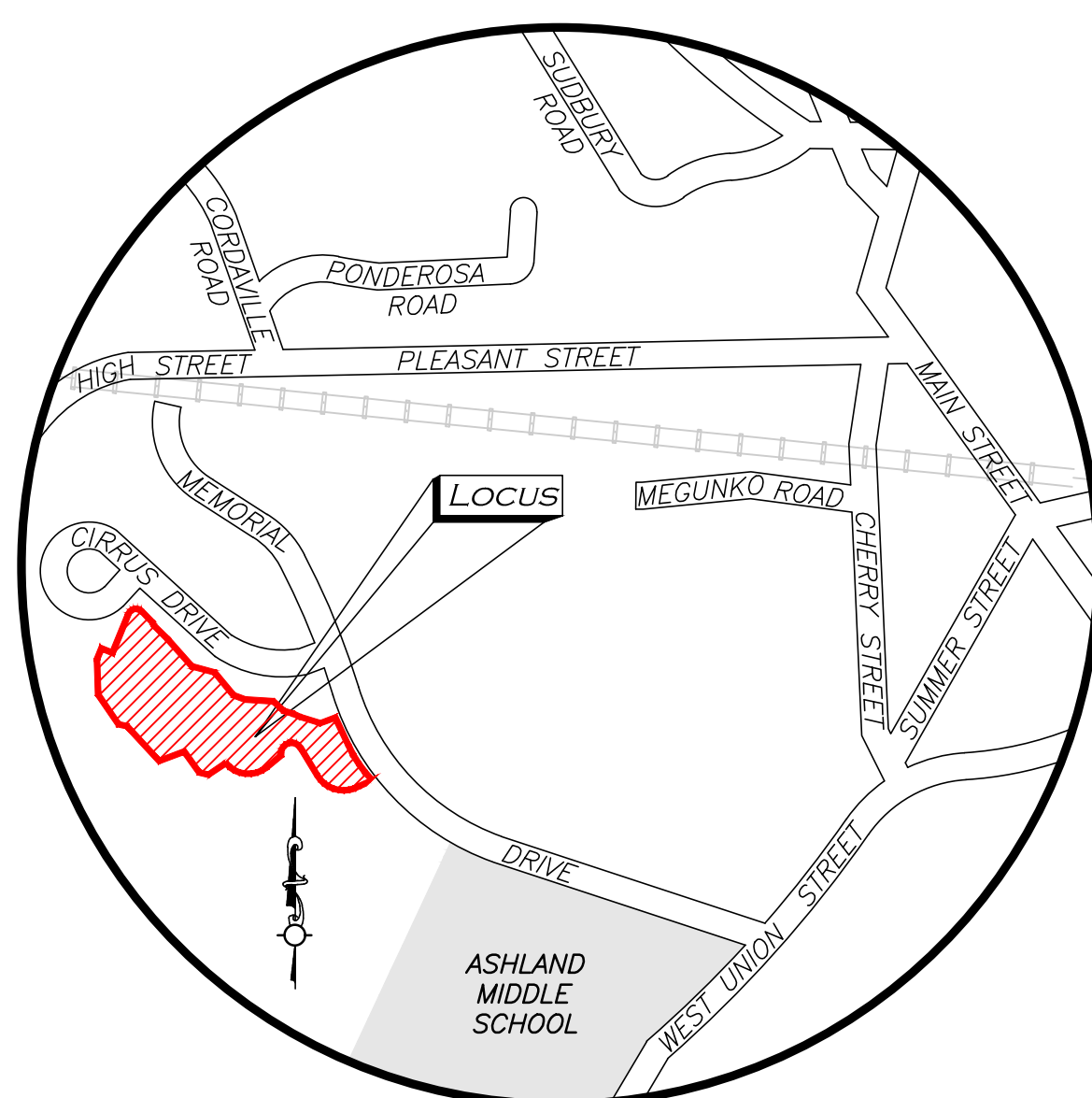
**APPLICANT:**  
UA SENIOR MANAGER, LLC  
RENSELAER TECHNOLOGY PARK  
300 JORDAN ROAD  
TROY, NY 12180



**SITE ENGINEERS:**  
ALLEN & MAJOR ASSOCIATES, INC.  
10 MAIN STREET  
LAKEVILLE, MA 02347



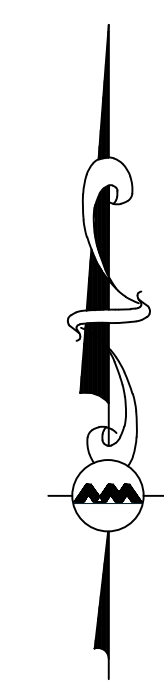
**PROJECT ARCHITECT:**  
CUBE 3, LLC  
370 MERRIMACK STREET, SUITE 337  
LAWRENCE, MA 01843



LOCUS MAP  
(SCALE: 1" = 1,000')

PREPARED BY:  
**ALLEN & MAJOR ASSOCIATES, INC.**  
civil engineering • land surveying  
environmental consulting • landscape architecture  
www.allenmajor.com  
10 MAIN STREET  
LAKEVILLE, MA 02347  
TEL: (508) 923-1010  
FAX: (508) 923-6309  
WOBURN, MA • LAKEVILLE, MA • MANCHESTER, NH

ISSUED FOR  
COMPREHENSIVE PERMIT  
09-04-2020 Revision 2: 05-11-2021



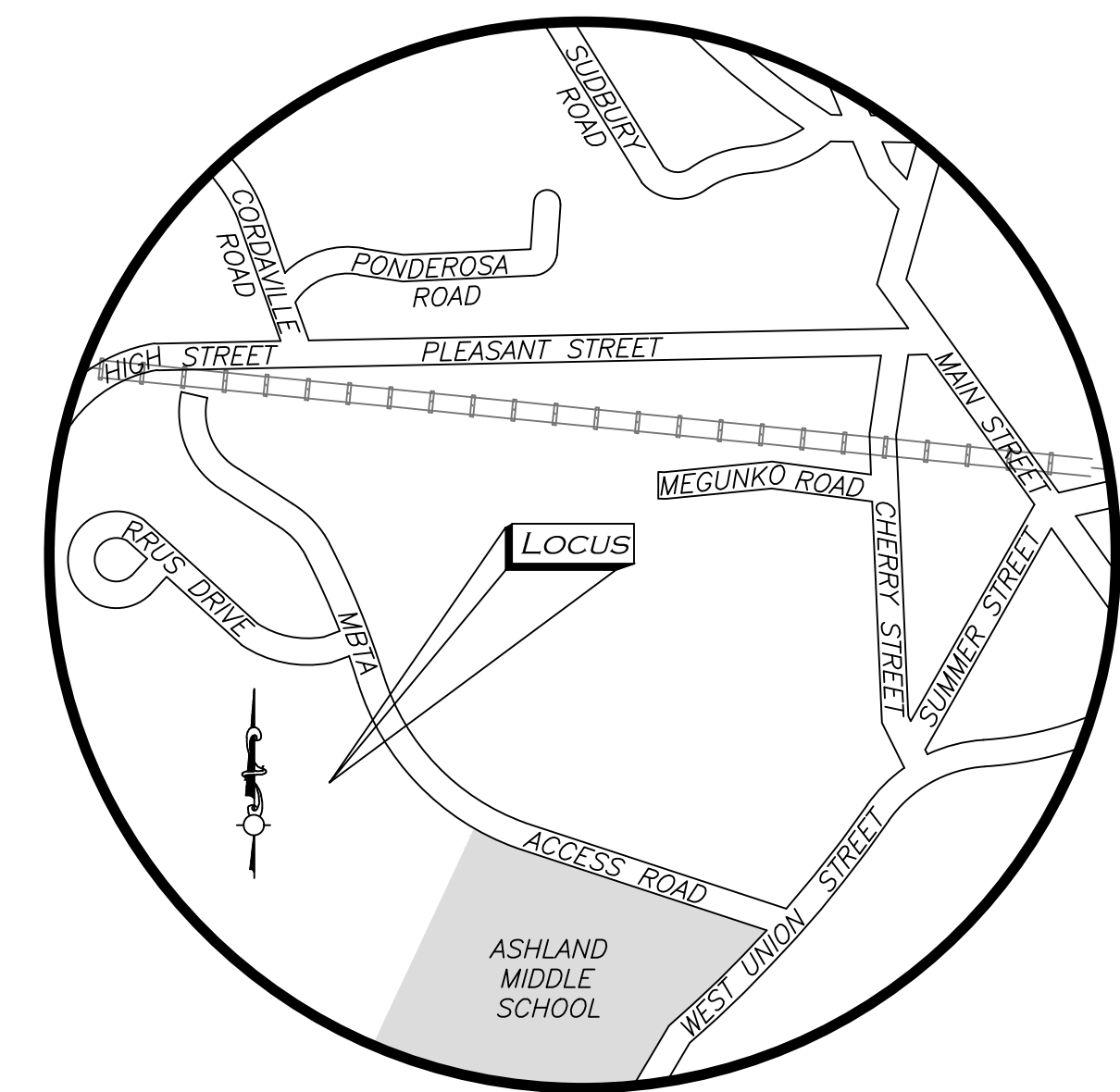
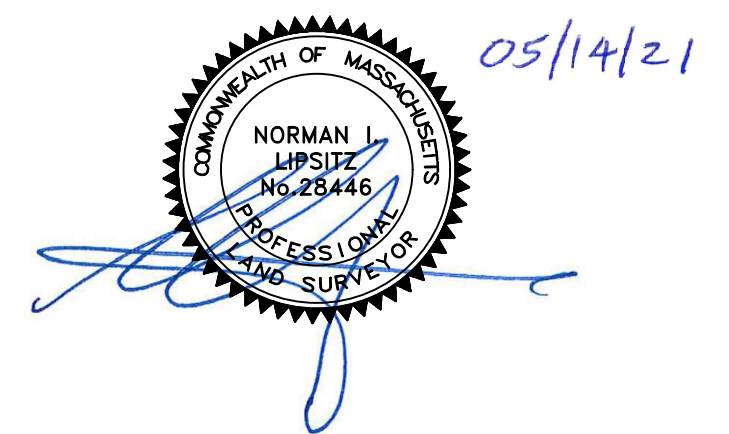
project information  
 Arbella at Ashland  
 MBTA Access Road  
 Ashland, MA 01721

client information  
 U A Senior  
 LLC  
 Rensselaer  
 Technology Park  
 300 Jordan Road  
 Troy, NY 12180

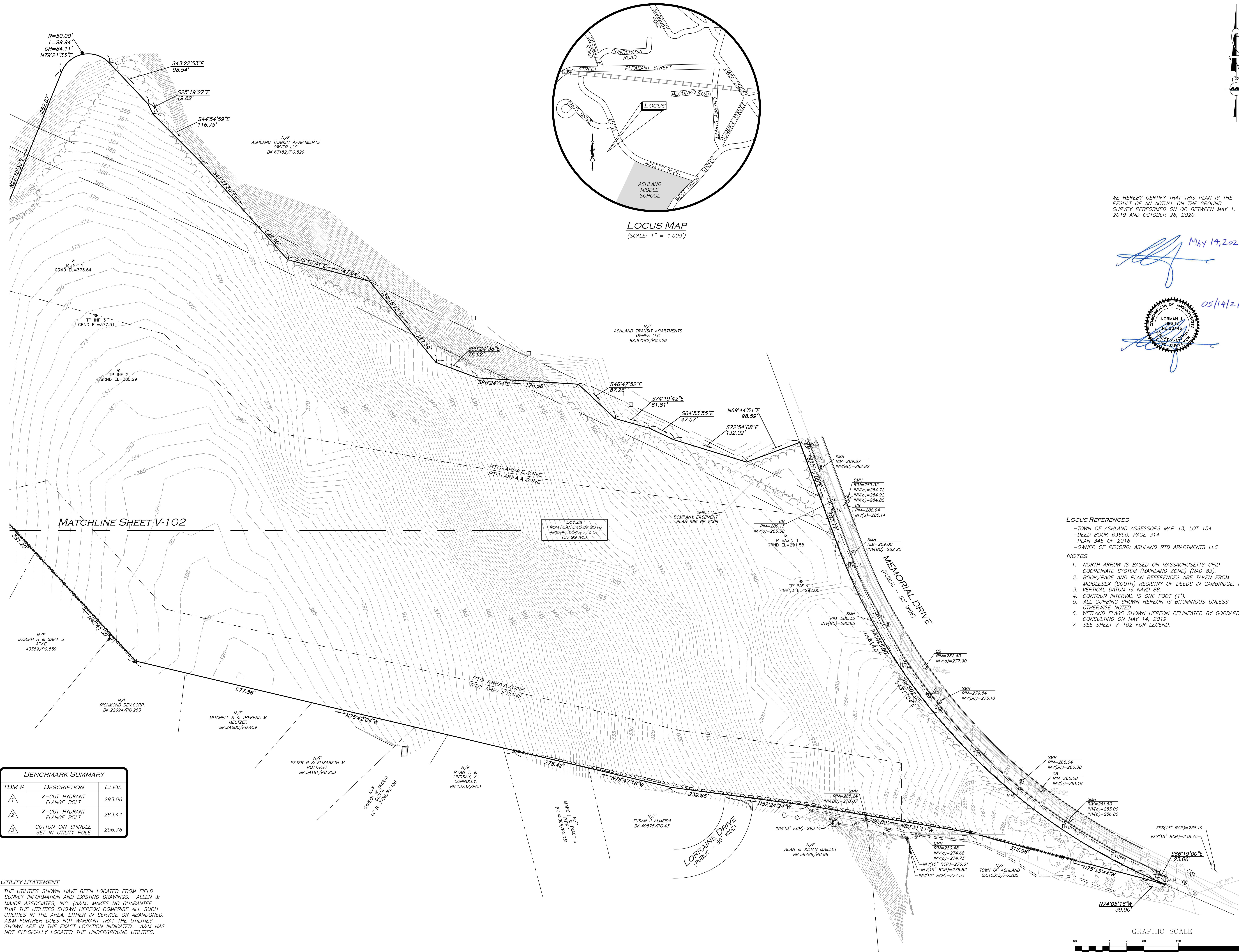


WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MAY 1, 2019 AND OCTOBER 26, 2020.

*[Signature]* May 14, 2021



LOCUS MAP  
 (SCALE: 1" = 1,000')



MATCHLINE SHEET V-102

FROM LOT 2A FROM PLAN 345 OF 2016 AREA = 1,654.917± SQ. FT. (37.60 AC.)

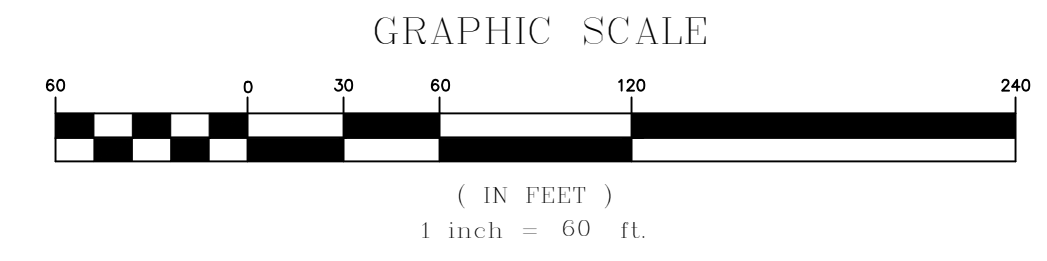
- LOCUS REFERENCES**
- TOWN OF ASHLAND ASSESSORS MAP 13, LOT 154
  - DEED BOOK 63650, PAGE 314
  - PLAN 345 OF 2016
  - OWNER OF RECORD: ASHLAND RTD APARTMENTS LLC

- NOTES**
1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83)
  2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
  3. VERTICAL DATUM IS NAVD 88.
  4. CONTOUR INTERVAL IS ONE FOOT (1').
  5. ALL CURBING SHOWN HEREON IS BITUMINOUS UNLESS OTHERWISE NOTED.
  6. WETLAND FLAGS SHOWN HEREON DELINEATED BY GODDARD CONSULTING ON MAY 14, 2019.
  7. SEE SHEET V-102 FOR LEGEND.

**BENCHMARK SUMMARY**

TBM #	DESCRIPTION	ELEV.
1	X-CUT HYDRANT FLANGE BOLT	293.06
2	X-CUT HYDRANT FLANGE BOLT	283.44
3	COTTON GIN SPINDLE SET IN UTILITY POLE	256.76

**UTILITY STATEMENT**  
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



COMPREHENSIVE PERMIT  
 NOT FOR CONSTRUCTION

drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1" = 60'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

**drawing revisions:**

No.	Description	Date
1	PREPARED FOR PERMITTING	03-24-2021
2	COMMENTS	05-11-2021

EXISTING CONDITIONS

V-101

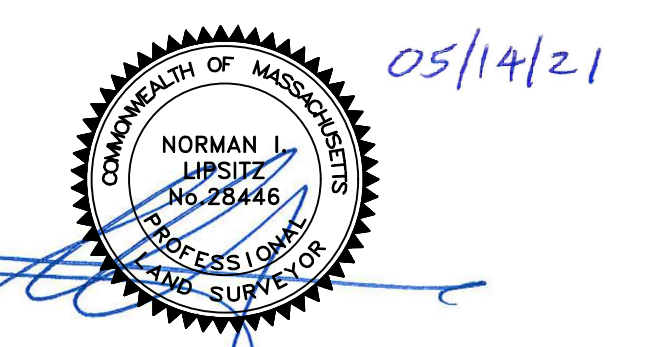
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MAY 14, 2021  
 PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



Arbella at Ashland

MBTA Access Road  
 Ashland, MA 01721

U A Senior LLC

Rensselaer  
 Technology Park  
 300 Jordan Road  
 Troy, NY 12180



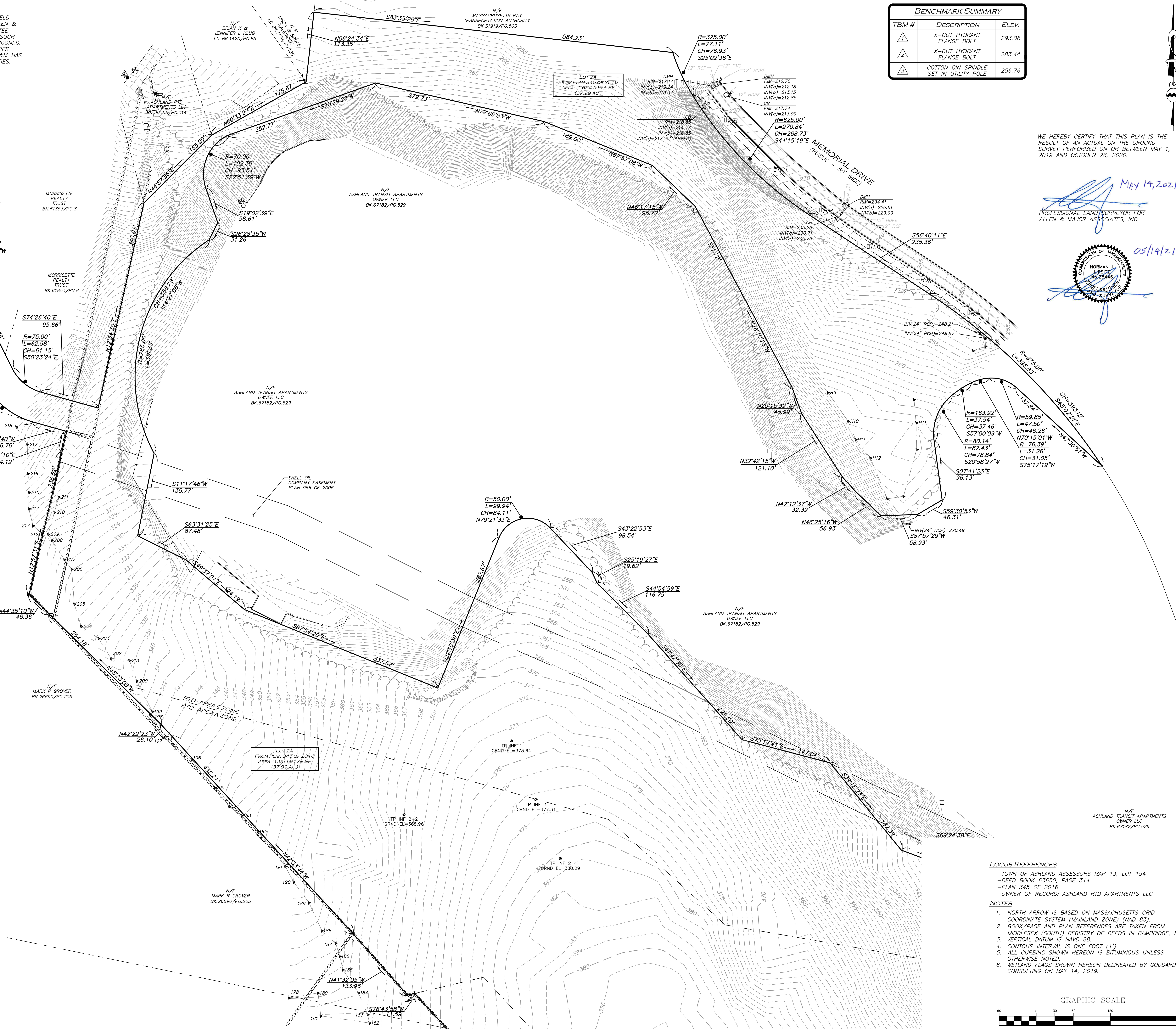
ALLEN & MAJOR ASSOCIATES, INC.  
 1100 STATE STREET  
 LAWRENCE, MA 01840  
 TEL: 978.989.9900  
 WWW.ALLENMAJOR.COM

COMPREHENSIVE PERMIT  
 NOT FOR CONSTRUCTION

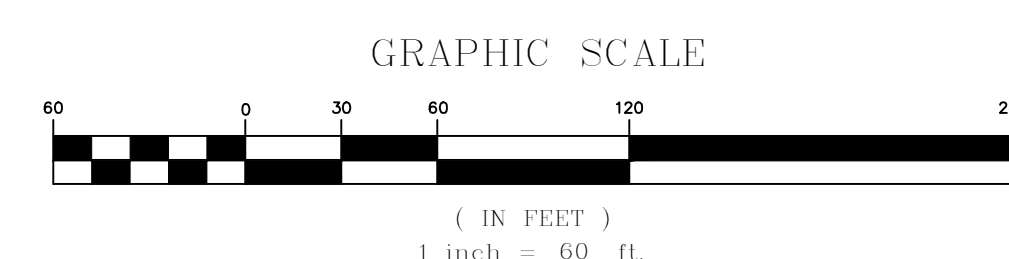
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 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

No.	Description	Date
1	PREPARED	03-24-2021
2	COMMENTS	05-11-2021

LEGEND	
DRILL HOLE (DH)	⊙
BOUND	⊠
DRAIN MANHOLE (DMH)	⊕
SEWER MANHOLE (SMH)	⊗
ELECTRIC MANHOLE (EMH)	⊙
CATCH BASIN (CB)	⊠
UTILITY POLE	⊙
UTILITY POLE W/RISER	⊙
UTILITY POLE W/LIGHT	⊙
GUY WIRE	—
FIRE HYDRANT	⊙
WATER GATE	⊙
INVERT (INV)	⊙
FLARED END SECTION	⊙
LIGHT	⊙
SIGN	⊙
WETLAND FLAG	▲A31
HAND HOLE	⊙
RIP-RAP	⊠
BUILDING	⊠
WETLAND	⊠
EASEMENT LINE	---
1' CONTOUR	---
5' CONTOUR	---
PROPERTY LINE	---
ABUTTERS LINE	---
STONE WALL	---
RETAINING WALL	---
TREE LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
CURB	---
CHAIN LINK FENCE	---
GUARDRAIL	---
BITUMINOUS	BIT.
FOUND	FND
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.
CERTIFICATE OF TITLE	COT
LAND COURT	L.C.
LAND COURT CASE	L.C.C.



- LOCUS REFERENCES**
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  - PLAN 345 OF 2016
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MATCHLINE SHEET V-101

**V-102**

# NOTES

## GENERAL NOTES:

- TOPOGRAPHIC INFORMATION AND EXISTING SITE FEATURES WERE OBTAINED FROM AN ACTUAL FIELD SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY, WOBURN, MASSACHUSETTS.
- ZONING DISTRICT IS RAIL TRANSIT DISTRICT (RTD) A, E, & F.
- OVERALL LOT SIZE: 17.98± ACRES AS SHOWN HEREIN. FINAL LOT AREA TO BE DETERMINED BASED ON COMPLETION OF AN APPROVAL NOT REQUIRED PLAN AND ANY NECESSARY WAIVERS.
- DURING CONSTRUCTION, ALL VEHICLES MUST BE PARKED ON SITE.
- DURING CONSTRUCTION, ALL STAGING AND DELIVERIES WILL OCCUR ON SITE.
- THIS PROJECT WILL BE SERVED BY PUBLIC WATER AND SEWER AND PRIVATE, NATURAL GAS, TELEPHONE, CABLE AND ELECTRIC. ALL UTILITY LINES WILL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST.
- ALL PROPOSED MAIN BUILDING ENTRANCES AND WALKS SHALL BE ACCESSIBLY COMPLIANT PER FEDERAL ADA & MA AAB REGULATIONS.
- ALL SITE WORK DONE FOR THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE SITE PLANS AND SITE WORK SPECIFICATIONS FOR CONSTRUCTION.
- ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A SURVEYOR REGISTERED IN THE STATE OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
- ALL APPLICABLE PERMITS AND AN APPROVED SET OF PLANS SHALL BE AVAILABLE AT THE CONSTRUCTION SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE TOWN DEPARTMENTS, THE APPROPRIATE UTILITY COMPANIES, THE OWNER AND OWNER'S REPRESENTATIVE. THE MEETING SHALL TAKE PLACE PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR MUST PROVIDE 48 HOURS NOTICE TO ALL ATTENDEES PRIOR TO THE START OF THE MEETING.
- APPROPRIATE WARNING SIGNS, MARKERS, BARRICADES AND/OR FLAG MEN SHALL BE PROVIDED TO REGULATE TRAFFIC. CONSTRUCTION TRAFFIC CONTROLS SHALL BE IMPLEMENTED AND OPERATED ACCORDING TO THE MASS DEPARTMENT OF TRANSPORTATION, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LOCAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS PROFESSIONAL LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
- ALL BUILDING DIMENSIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- ALL RADI ARE 3 FEET UNLESS OTHERWISE NOTED.
- ALL PARKING LOT AND AISLE DIMENSIONS ARE TAKEN FROM THE FACE OF CURB AND INDICATE EDGE OF PAVEMENT.
- CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO CARRY OUT THE WORK INCLUDING BUT NOT LIMITED TO DEMOLITION.
- DISPOSAL OF ALL DEMOLISHED MATERIALS INCLUDING EXISTING MISC. CONSTRUCTION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST.
- ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER TREATMENT ARE TO RECEIVE SIX INCHES (6") MINIMUM OF TOPSOIL & SEED, AND BE MAINTAINED UNTIL ESTABLISHED & ACCEPTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE PROTECTED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S GOVERNING AUTHORITY'S SPECIFICATIONS AND SHALL BE APPROVED BY SAME.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AND DISCONNECTION AT EXISTING UTILITY.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARKS SHOWN ON THE EXISTING CONDITIONS SITE PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAKING.
- CONTRACTOR IS RESPONSIBLE FOR DIGGING TEST HOLES AND VERIFYING ANY EXISTING UTILITY OR STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT BASED ON EXACT LOCATION OF EXISTING UTILITIES, THERE ARE NO CONFLICTS BETWEEN THE EXISTING AND THE

## PROPOSED UTILITIES/DRAINAGE STRUCTURES.

- THE CONTRACTOR SHALL ADHERE TO ALL PERMIT CONDITIONS PROVIDED BY ALL GOVERNING AGENCIES AT NO ADDITIONAL COSTS. THIS INCLUDES BUT IS NOT LIMITED TO BUILDING PERMITS, DEMOLITION PERMITS, PLUMBING, GAS, AND ELECTRICAL PERMITS. PERMITS FROM THE ZONING BOARD OF APPEALS.
- DURING EXCAVATION, ANY EXISTING EARTH CUT MATERIALS THAT DO NOT MEET THE "ORDINARY FILL" SPECIFICATIONS OR "LOAM" SPECIFICATIONS AND CANNOT BE REUSED SHALL BE REMOVED OFF-SITE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNERS. MATERIAL WHICH DOES NOT MEET THE SPECIFICATION INCLUDES ALL BOULDERS, ROCKS, CONSTRUCTION DEBRIS, AND MISC. MATERIAL PRIOR TO REUSE, CONTRACTOR TO PROVIDE TESTING REPORT OF SIEVE ANALYSIS TO ENGINEER FOR APPROVAL. CONTRACTOR CAN AMEND MATERIALS AND CONTINUE TO RETEST AS NECESSARY AT NO ADDITIONAL COST TO OWNER. AFTER AMENDING, IF MATERIAL STILL DOES NOT MEET THE SPECIFICATIONS, IT IS TO BE REMOVED FROM SITE AT NO ADDITIONAL COST TO THE OWNER AND IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- ANY PROPOSED SIGNAGE SHALL BE APPROVED BY SEPARATE APPLICATION TO THE APPROPRIATE MUNICIPAL AUTHORITY INCLUDING BUT NOT LIMITED TO THE ZONING BOARD OF APPEALS. ALL PROPOSED SIGNAGE MUST MEET THE REQUIREMENTS OF THE LOCAL ZONING CODE.
- SNOW REMOVAL MANAGEMENT SHALL BE OVERSEEN BY THE SITE OPERATOR. DESIGNATED AREAS HAVE NOT BEEN LOCATED ON THE SITE PLANS. IT IS THE INTENT THAT THE FACILITY MANAGER WILL STOCKPILE SNOW IN UNUSED AREAS OF THE SITE THAT WILL NOT IMPED CIRCULATION, SIGHT LINES, OR PEDESTRIAN AND VEHICLE MOVEMENTS. IF THESE AREAS REACH CAPACITY, THE OPERATOR SHALL BE REQUIRED TO REMOVE THE SNOW FROM THE PREMISES AND HAUL TO AN APPROVED SNOW MELT/RECEIVING AREA. IN NO CASE SHALL SNOW BE PILED IN BUFFER ZONES, DRAINAGE AREAS, OR WETLAND RESOURCING AREAS.

## GRADING & DRAINAGE NOTES:

- EXISTING PAVEMENT SHALL BE SAW-CUT AND PAVEMENT JOINT SHALL BE INSTALLED WHERE NECESSARY TO ENSURE A SMOOTH CONTINUOUS GRADE.
- ALL GRADING OPERATIONS SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES.
- IN LANDSCAPED AREAS THE TOP ELEVATION OF MANHOLES SHALL MATCH THE FINISH GRADE OF THE TOPSOIL. IN PAVED AREAS THE TOP ELEVATIONS OF MANHOLES SHALL MATCH FINISH GRADE.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AS SOON AS POSSIBLE UPON COMPLETION OF CONSTRUCTION WORK IN THE AREA.
- TEMPORARY TUBULAR BARRIER PROTECTION AND/OR SILT SACKS SHALL BE INSTALLED AND MAINTAINED AT EXISTING DRAINAGE STRUCTURES DURING CONSTRUCTION TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE PER DEMOLITION PLAN.
- ALL CATCH BASINS, MANHOLES, INFILTRATION SYSTEMS, AND WATER QUALITY STRUCTURES ARE TO BE CLEANED TO REMOVE ALL CONSTRUCTION SILT AND DEBRIS PRIOR TO FINAL APPROVAL.
- IF ANY EXISTING UTILITY STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER AT NO ADDITIONAL COST.
- ALL STORM PIPES ENTERING STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM DRAIN MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS & SHALL BE LABELED "DRAIN".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES STEEPER THAN 3H:1V.
- ALL DRAINAGE SYSTEM COMPONENTS SHALL CONFORM TO LOCAL REQUIREMENTS.
- THE AREA DIRECTLY BELOW THE SUBSURFACE RECHARGE FIELD SHALL BE KEPT FREE OF COMPACTION OR HEAVY CONSTRUCTION VEHICLES. THE BOTTOM SHALL BE SCARIFIED PRIOR TO PLACEMENT OF STONE.

## UTILITY NOTES:

- THE LATEST STANDARDS OF THE LOCAL MUNICIPALITY SHALL BE FOLLOWED WHEN INSTALLING ANY STORM DRAIN WORK. STORM DRAIN WORK WILL BE INSPECTED BY THE LOCAL GOVERNING AUTHORITY PERSONNEL AND ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.
- ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER. WHEN ABANDONED UTILITIES ARE TO BE LEFT IN PLACE, PLUG OR CAP THE ENDS OF THE CONDUITS AND PIPES. REMOVE ABANDONED UTILITY MANHOLES, JUNCTION BOXES AND SIMILAR STRUCTURES TO A MINIMUM DEPTH OF 4 FEET BELOW FINISHED GRADE AND PUNCTURE OR BREAK THE BOTTOM SLABS OF MANHOLES AND SIMILAR STRUCTURE TO ALLOW DRAINAGE. BACKFILL AND COMPACT EXCAVATIONS RESULTING FROM REMOVAL OF UTILITY FACILITIES, AS REQUIRED TO RESTORE THE ORIGINAL GRADE.
- THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.
- THE CONTRACTOR SHALL USE THE FOLLOWING PIPE MATERIALS:

# ABBREVIATIONS

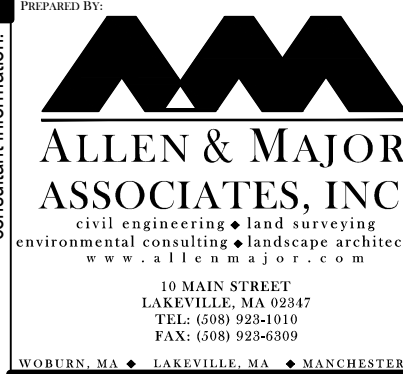
ABAN	ABANDON	L	LENGTH
ADJ	ADJUST	LB	LEACHING BASIN
B	BORING	LP	LIGHT POLE
BC	BOTTOM OF CURB	MAT	MATERIAL
BIT	BITUMINOUS	MAX	MAXIMUM
BCB	BITUMINOUS CONCRETE BERM	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCH MARK	MISC	MISCELLANEOUS
BOS	BOTTOM OF SLOPE	MTD	MOUNTED
BOW	BOTTOM OF WALL	MW	MONITORING WELL
BRK	BRICK	N	NORTH
BV&B	BUTTERFLY VALVE & BOX	NIC	NOT IN CONTRACT
BWV	BORDERING VEGETATED WETLAND	NTS	NOT TO SCALE
CATV	CABLE TELEVISION	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CF	CUBIC FEET	OHW	OVERHEAD WIRE
CFS	CUBIC FEET PER SECOND	OVHD	OVERHEAD
CI	CAST IRON (PIPE)	OW	OBSERVATION WELL
CL	CENTERLINE	PC	POINT OF CURVATURE
CLDI	CEMENT LINED DUCTILE IRON (PIPE)	PCC	PRECAST CONCRETE CURB
CM	CONSTRUCTION MANAGER	PI	POINT OF INTERSECTION
CMP	CORRUGATED METAL PIPE	PKG	PARKING
CO	CLEAN OUT	PL	PROPERTY LINE
CONC	CONCRETE	PLMB	PLUMBING
CONST	CONSTRUCTION	POT	POINT ON TANGENT
CONT	CONTRACTOR	PRC	POINT OF REVERSE CURVATURE
CRD	COORDINATE	PROP	PROPOSED
CRR	CORRUGATED POLYETHYLENE PIPE	PT	POINT (OR POINT OF TANGENT)
CUL	CULVERT	PVC	POLYVINYL CHLORIDE (PIPE)
CY	CUBIC YARD	R&R	REMOVE & RESET/REPLACE
DB	DISTRIBUTION BOX	R&S	REMOVE & STRIP
DBL	DOUBLE	RCP	REINFORCED CONCRETE PIPE
DEM	DEMOLISH	RD	ROAD (OR ROOF DRAIN)
DET	DETENTION	RED	REDUCER
DI	DIAMETER	RELOC	RELOCATE
DIA	DIMENSION	REM	REMOVE
DMH	DRAIN MANHOLE	RET	RETAIN, RETAINING OR RETENTION
DW	DOMESTIC WATER (OR DRY WELL)	ROW	RIGHT OF WAY
DWG	DRAWING	RR	RAILROAD
DYCL	DOUBLE YELLOW CENTERLINE	RWL	RAIN WATER LEADER
EHH	ELECTRIC HANDHOLE	RWDY	ROADWAY
EL	ELEVATION	SD	SUBDRAIN
ELEC	ELECTRIC	SF	SQUARE FEET
EMH	ELECTRIC MANHOLE	SGC	SLOPED GRANITE CURB
EOP	EDGE OF PAVEMENT	SMH	SEWER MANHOLE
EOR	EDGE OF ROAD	SP	STANDPIPE
EW	EDGE OF WETLANDS	SPC	SPECIFICATION
ETC	ELECTRIC, TELEPHONE, CABLE	STA	STATION
EXIST	EXISTING	STD	STANDARD
EXT	EXTERIOR	STRTL	STRUCTURAL
FA	FIRE ALARM	SWEL	SOLID WHITE EDGE LINE
FCC	FLUSH CONCRETE CURB	SW	SIDEWALK
FES	FLARED END SECTION	SWLL	SOLID WHITE LANE LINE
FFE	FINISH FLOOR ELEVATION	SYCL	SOLID YELLOW CENTERLINE
FLNP	FIRE LANE NO PARKING	TB	TEST BORING
FPS	FEET PER SECOND	TC	TOP OF CURB
FS	FIRE SERVICE	TD	TRENCH DRAIN
FT	FOOT/FEET	TEL	TELEPHONE
GC	GENERAL CONTRACTOR	TMH	TELEPHONE MANHOLE
GEN	GENERAL	TOS	TOP OF SLOPE
GG	GAS GATE	TOW	TOP OF WALL
GR	GUIDE RAIL	TP	TEST PIT
GRAN	GRANITE	TS&V	TAPPING SLEEVE & VALVE
GV	GATE VALVE	TYP	TYPICAL
GV&B	GATE VALVE & BOX	UD	UNDERDRAIN
GW	GROUND WATER	UL	UNDERWRITERS LABORATORY
HCR	HANDICAP RAMP	UP	UTILITY POLE
HOR	HORIZONTAL	VCP	VITRIFIED CLAY PIPE
HT	HEIGHT	VERT	VERTICAL
HW	HEADWALL	VGC	VERTICAL GRANITE CURB
HWY	HIGHWAY	WD	WOOD
HYD	HYDRANT	WG	WATER GATE
ID	INSIDE DIAMETER	WM	WATER MAIN
IN	INCHES	WMH	WATER MANHOLE
INCL	INCLUDE	WSO	WATER SHUTOFF
INST	INSTALLED		
INV, I.E.	INVERT, INVERT ELEVATION		

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PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

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PERMIT**  
NOT FOR  
CONSTRUCTION

drawing by: SL  
drawing checked by: AD  
drawing scale: **NONE**  
drawing date: 04 SEPTEMBER 2020  
project number: 19021.00

No.	Description	Date
1	PROPOSED PERMIT	03-24-2021
2	CONTRACTOR COMMENTS	05-11-2021



**NOTES &  
ABBREV.**

**C-001**



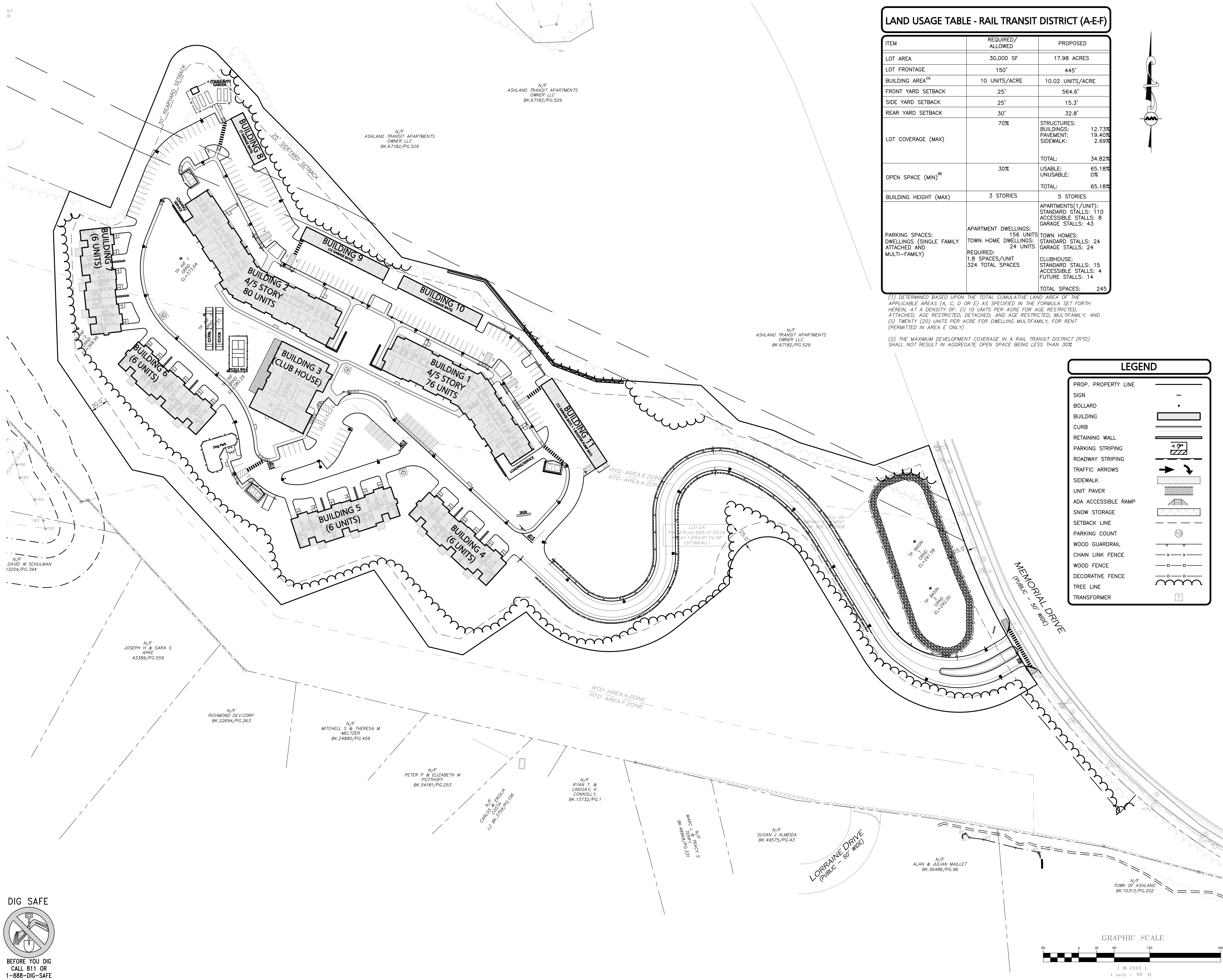
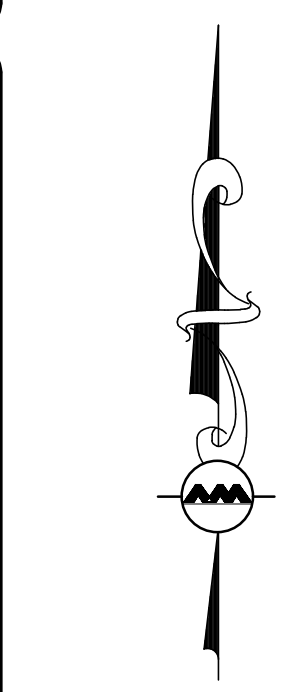


**LAND USAGE TABLE - RAIL TRANSIT DISTRICT (A-E-F)**

ITEM	REQUIRED/ ALLOWED	PROPOSED
LOT AREA	30,000 SF	17.98 ACRES
LOT FRONTAGE	150'	445'
BUILDING AREA <sup>(1)</sup>	10 UNITS/ACRE	10.02 UNITS/ACRE
FRONT YARD SETBACK	25'	564.6'
SIDE YARD SETBACK	25'	15.3'
REAR YARD SETBACK	30'	32.8'
LOT COVERAGE (MAX)	70%	STRUCTURES:
		BUILDINGS:
		PAVEMENT:
OPEN SPACE (MIN) <sup>(2)</sup>	30%	SIDEWALK:
		TOTAL:
		USABLE:
BUILDING HEIGHT (MAX)	3 STORIES	TOTAL:
		5 STORIES
PARKING SPACES: DWELLINGS (SINGLE FAMILY ATTACHED AND MULTI-FAMILY)	APARTMENT DWELLINGS: 156 UNITS TOWN HOME DWELLINGS: 24 UNITS REQUIRED: 1.8 SPACES/UNIT 324 TOTAL SPACES	APARTMENTS (1/UNIT):
		STANDARD STALLS: 110
		ACCESSIBLE STALLS: 8
		GARAGE STALLS: 43
TOWN HOMES:	24 UNITS	STANDARD STALLS: 24
		GARAGE STALLS: 24
		CLUBHOUSE:
		STANDARD STALLS: 15
TOTAL SPACES:	245	ACCESSIBLE STALLS: 4
		FUTURE STALLS: 14

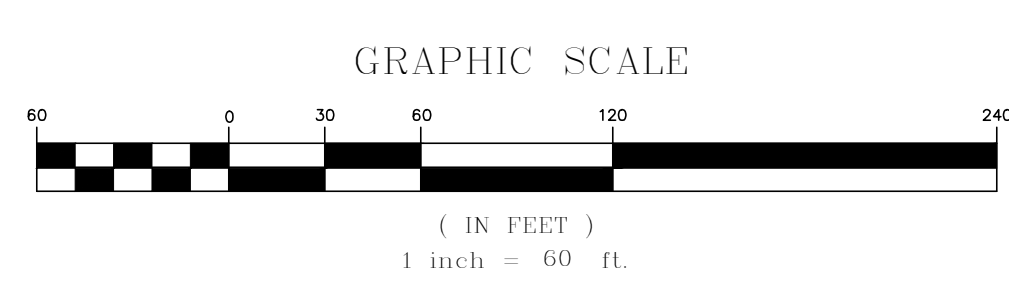
(1) DETERMINED BASED UPON THE TOTAL CUMULATIVE LAND AREA OF THE APPLICABLE AREAS (A, C, D OR E) AS SPECIFIED IN THE FORMULA SET FORTH HEREIN, AT A DENSITY OF: (1) 10 UNITS PER ACRE FOR AGE RESTRICTED, ATTACHED, AGE RESTRICTED, DETACHED, AND AGE RESTRICTED, MULTIFAMILY; AND (1) TWENTY (20) UNITS PER ACRE FOR DWELLING MULTIFAMILY, FOR RENT (PERMITTED IN AREA E ONLY)

(2) THE MAXIMUM DEVELOPMENT COVERAGE IN A RAIL TRANSIT DISTRICT (RTD) SHALL NOT RESULT IN AGGREGATE OPEN SPACE BEING LESS THAN 30%.



**LEGEND**

- PROP. PROPERTY LINE
- SIGN
- BOLLARD
- BUILDING
- CURB
- RETAINING WALL
- PARKING STRIPING
- ROADWAY STRIPING
- TRAFFIC ARROWS
- SIDEWALK
- UNIT PAVEMENT
- ADA ACCESSIBLE RAMP
- SNOW STORAGE
- SETBACK LINE
- PARKING COUNT
- WOOD GUARDRAIL
- CHAIN LINK FENCE
- WOOD FENCE
- DECORATIVE FENCE
- TREE LINE
- TRANSFORMER



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 CONSULTING ARCHITECTS  
 10 MAIN STREET  
 LAWRENCE, MA 01840  
 TEL: 978.686.1100  
 FAX: 978.686.1100

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**COMPREHENSIVE PERMIT**  
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drawing by: SL  
 drawing checked by: AD  
 drawing scale: **1" = 60'**  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

drawing revisions:

No.	Description	Date
1	PERMIT REVIEW	03-24-2021
2	PERMIT REVIEW	05-11-2021

**PHILIP I. CORDERO**  
 CIVIL  
 NO. 47683  
 REGISTERED PROFESSIONAL ENGINEER

**OVERALL LAYOUT & MATERIALS PLAN**

**C-102**

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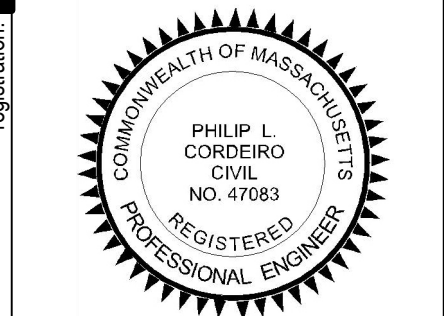
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drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1" = 30'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

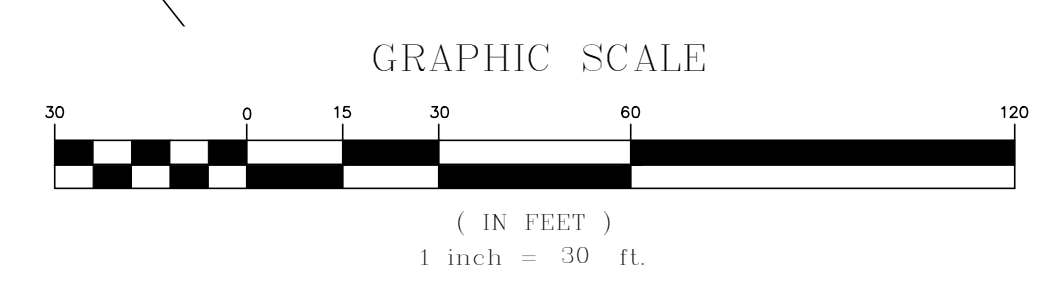
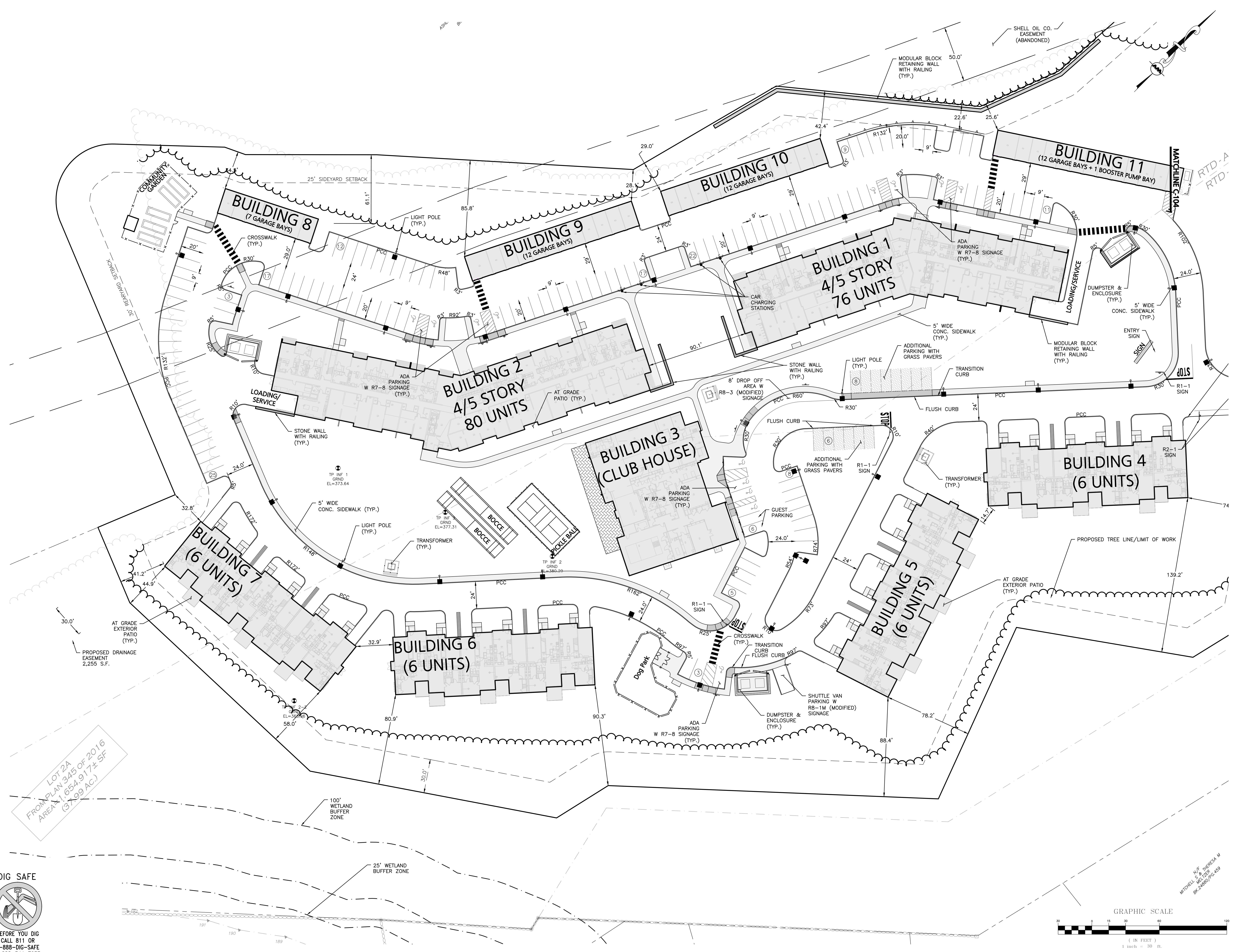
drawing revisions:

No.	Description	Date
1	PROPOSED TREE LINE/LIMIT OF WORK	03-24-2021
2	REVISIONS/COMMENTS	05-11-2021



**LAYOUT &  
 MATERIALS  
 PLAN**

**C-103**

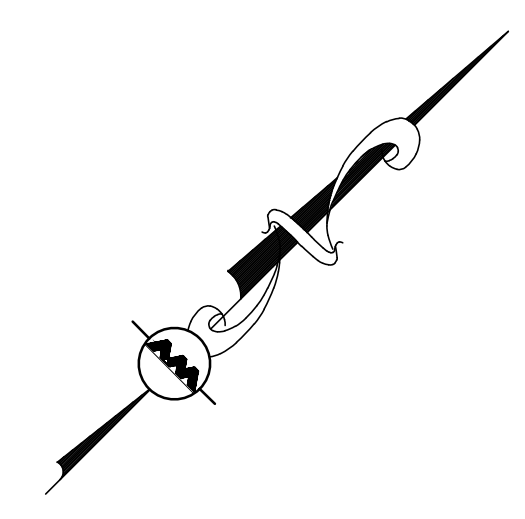


LOT 2A  
 FROM PLAN 345 OF 2016  
 AREA: 1,654,917 ± SF  
 (37.99 AC.)

AT GRADE EXTERIOR PATIO (TYP.)  
 PROPOSED DRAINAGE EASEMENT 2,255 S.F.

100' WETLAND BUFFER ZONE  
 25' WETLAND BUFFER ZONE

MITCHELL, IVF  
 245 COTTAGE  
 BK-24580/PSC-459



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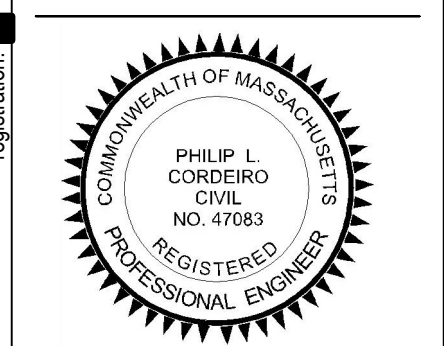
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**COMPREHENSIVE PERMIT**  
 NOT FOR CONSTRUCTION

drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1" = 30'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

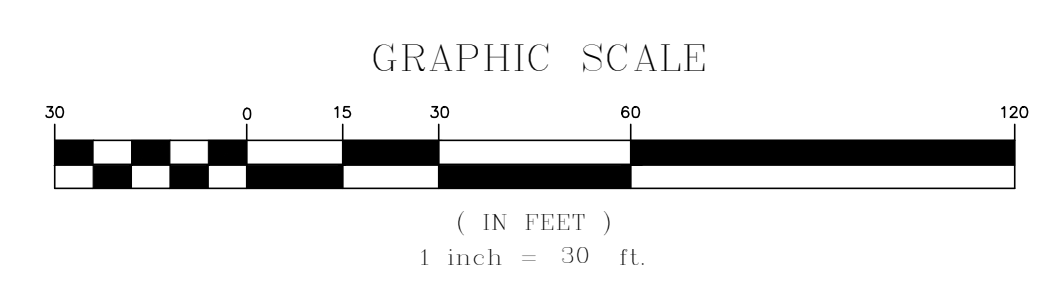
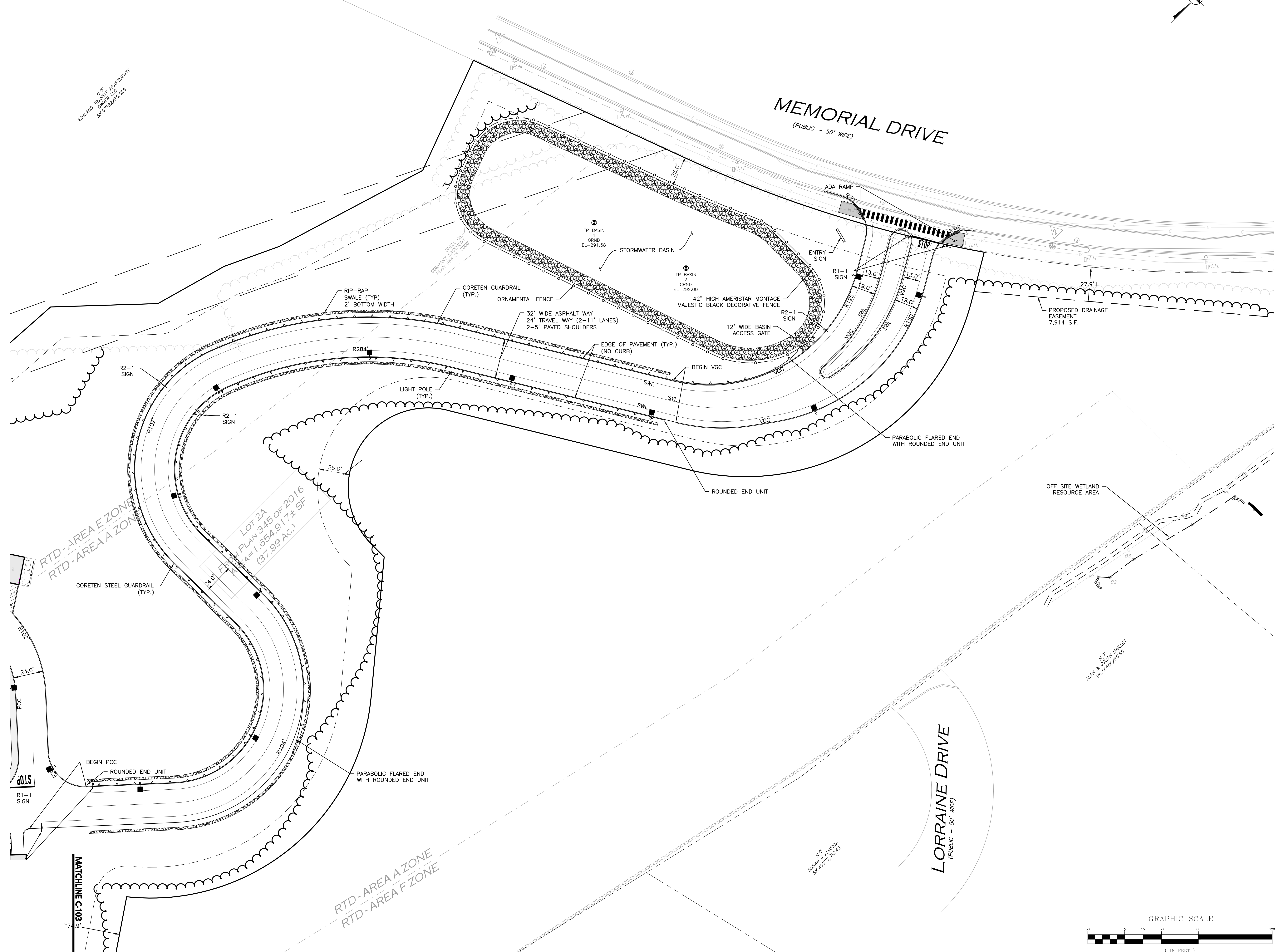
drawing revisions:

No.	Description	Date
1	PROPOSED	03-24-2021
2	REVISION	05-11-2021



**LAYOUT & MATERIALS PLAN**

**C-104**



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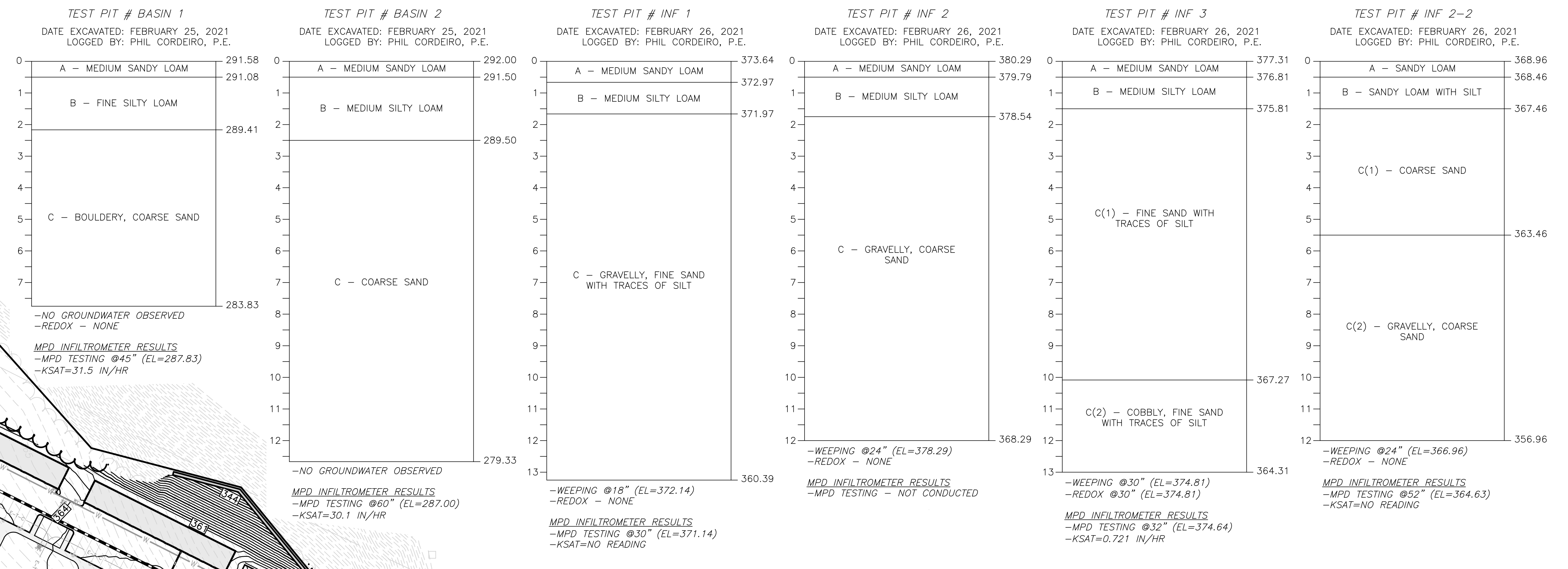
drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1" = 60'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

drawing revisions:		
No.	Description	Date
1	PERMIT REVIEW	03-24-2021
2	PERMIT REVIEW	05-11-2021



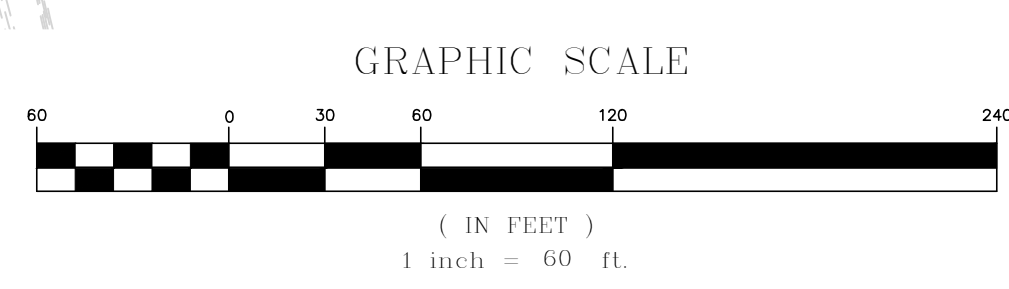
**GRADING & DRAINAGE PLAN**

**C-105**



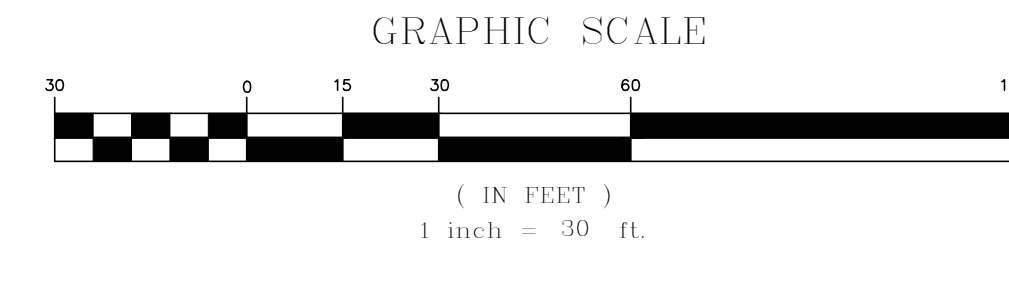
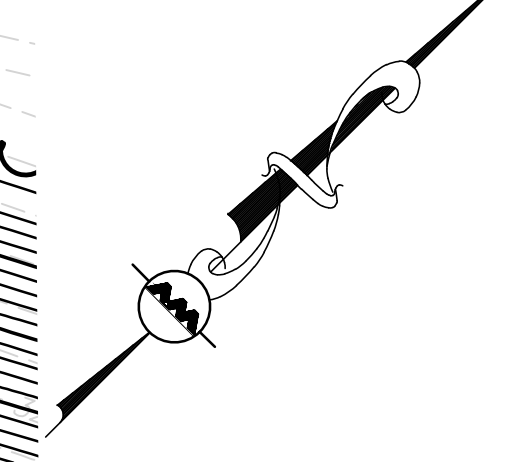
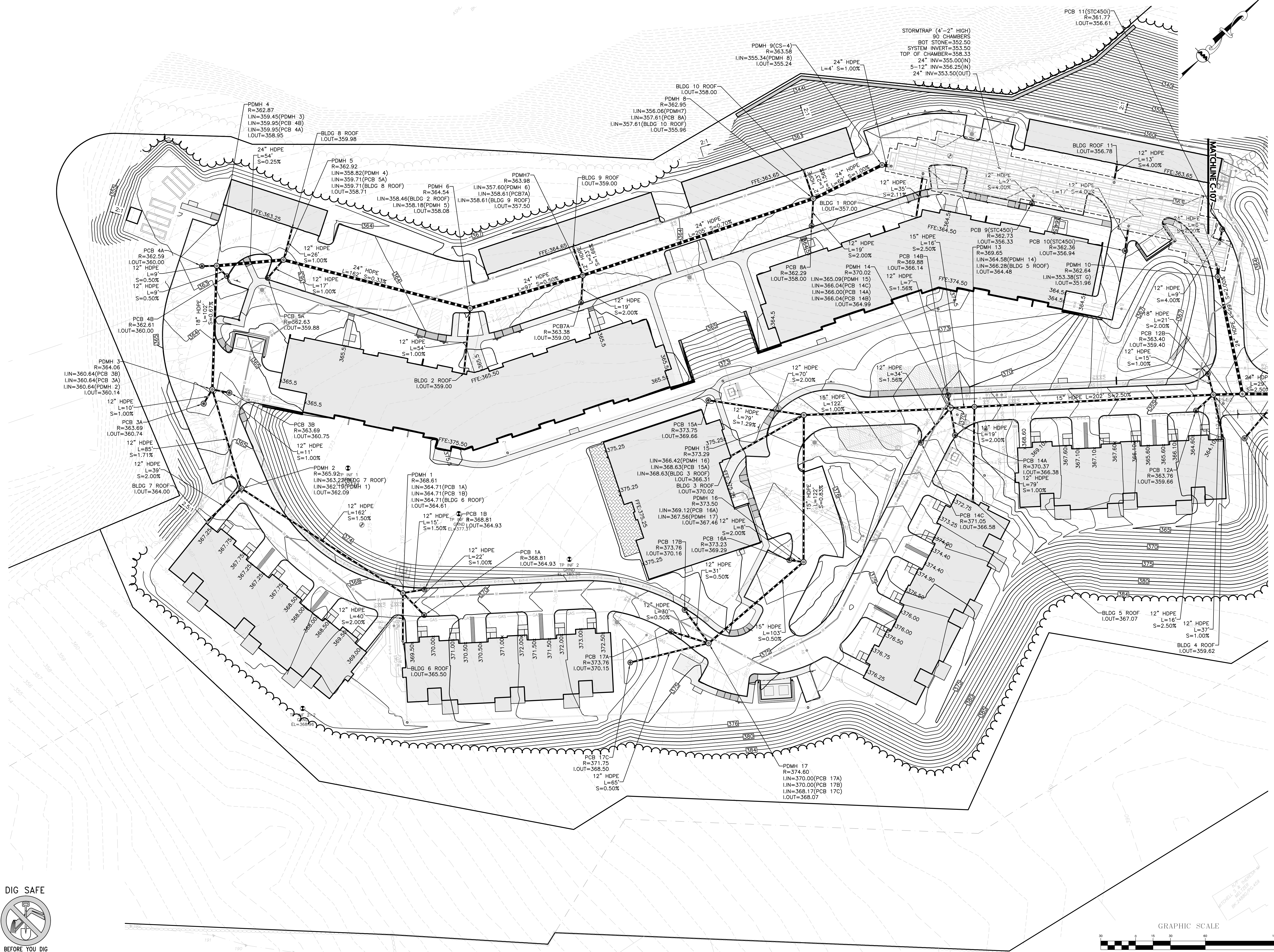
**LEGEND**

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- RIPRAP OUTFALL
- HEADWALL
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- DETENTION PIPE
- UNDERDRAIN
- FLOW DIRECTION



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 1-888-344-7233

No.	Description	Date
1	PROPOSED	03-24-2021
2	COMMENTS	05-11-2021





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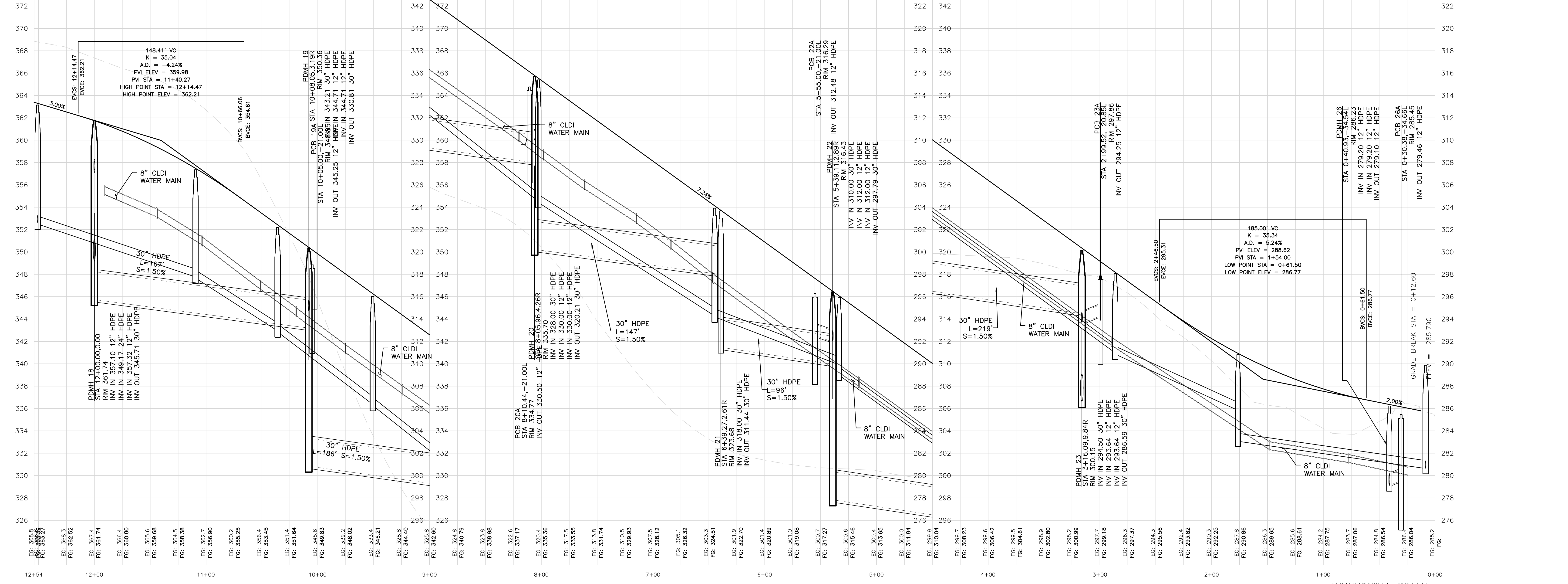
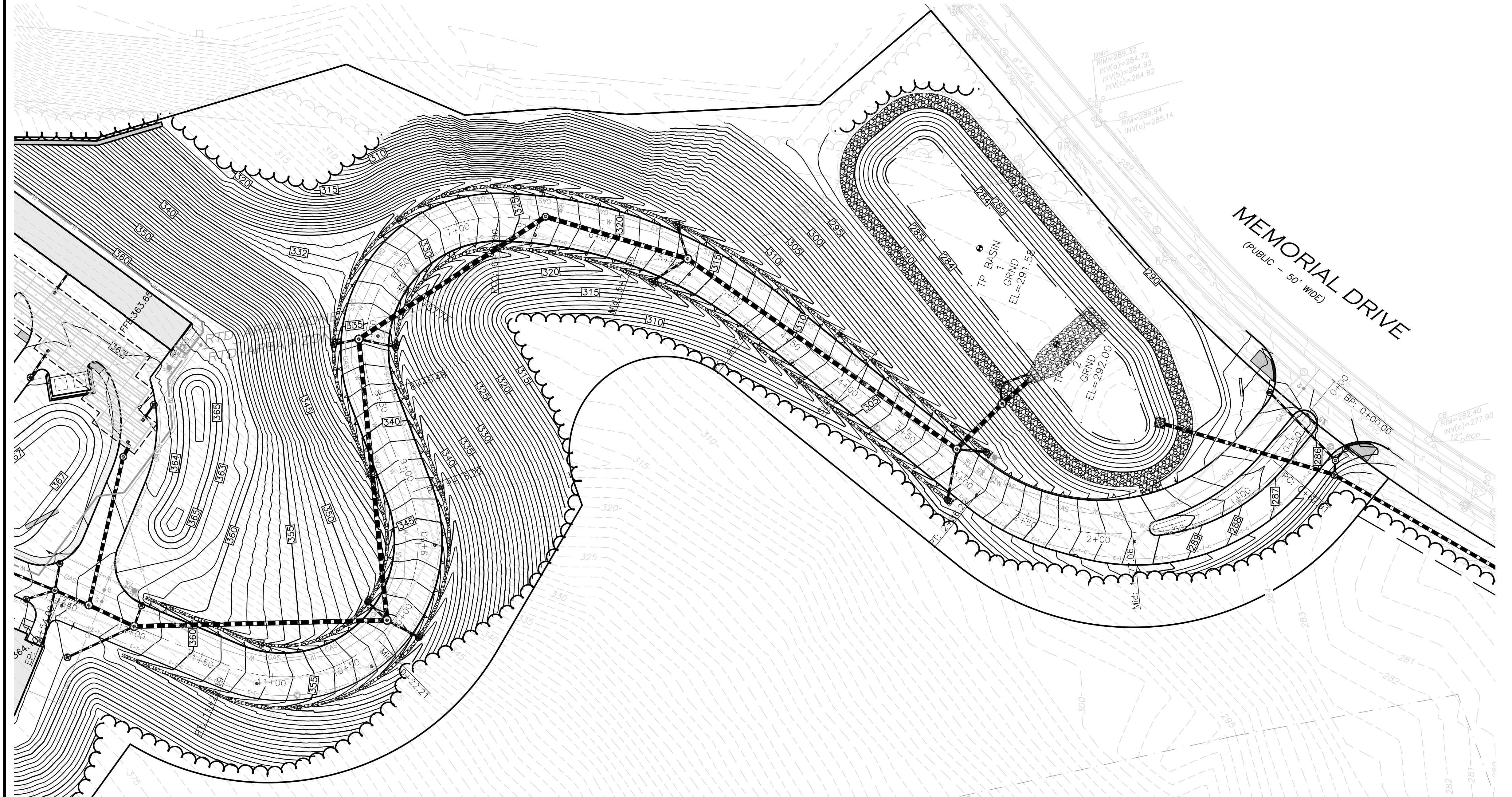
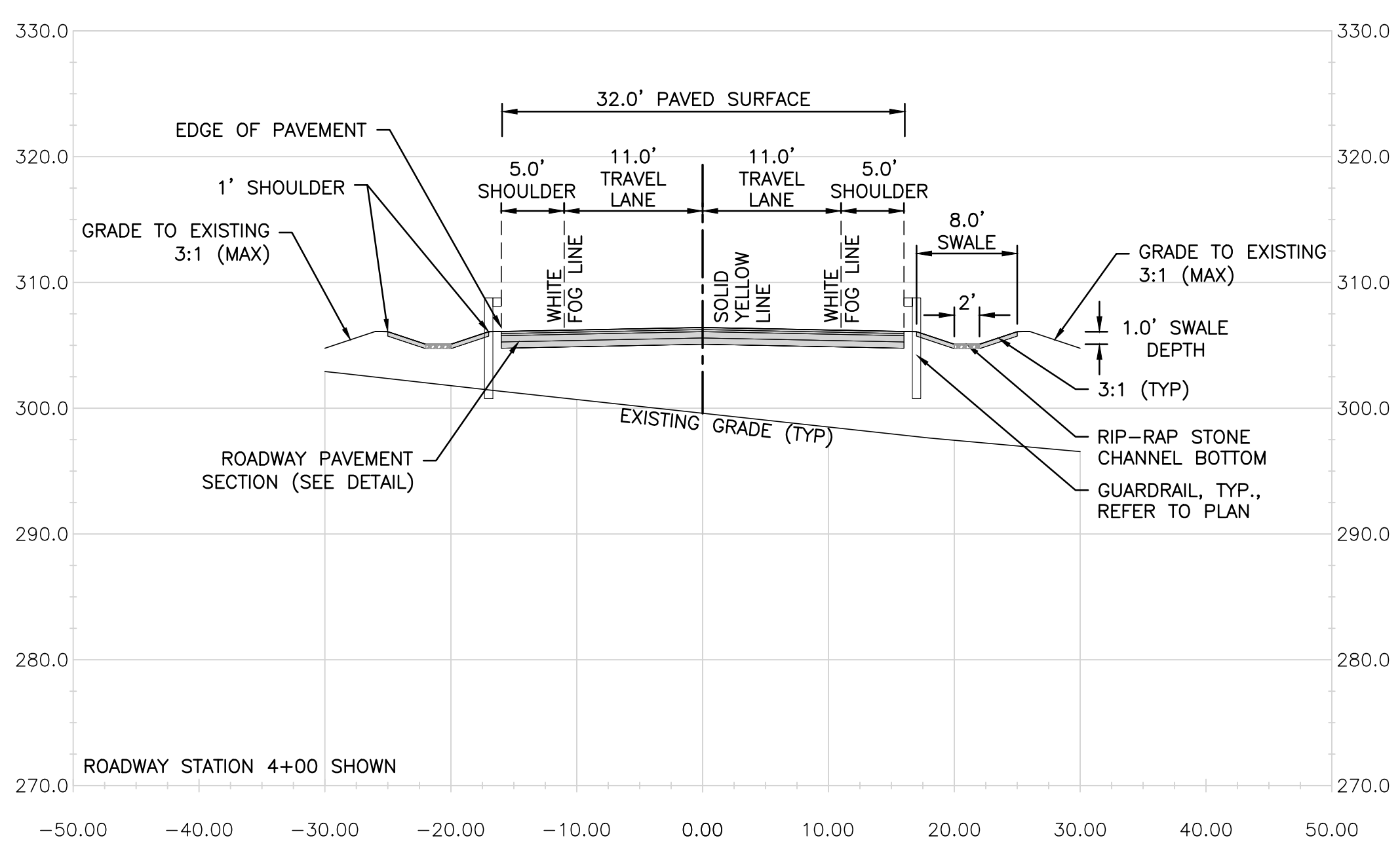
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drawing by: SL  
 drawing checked by: AD  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00  
 drawing revisions:

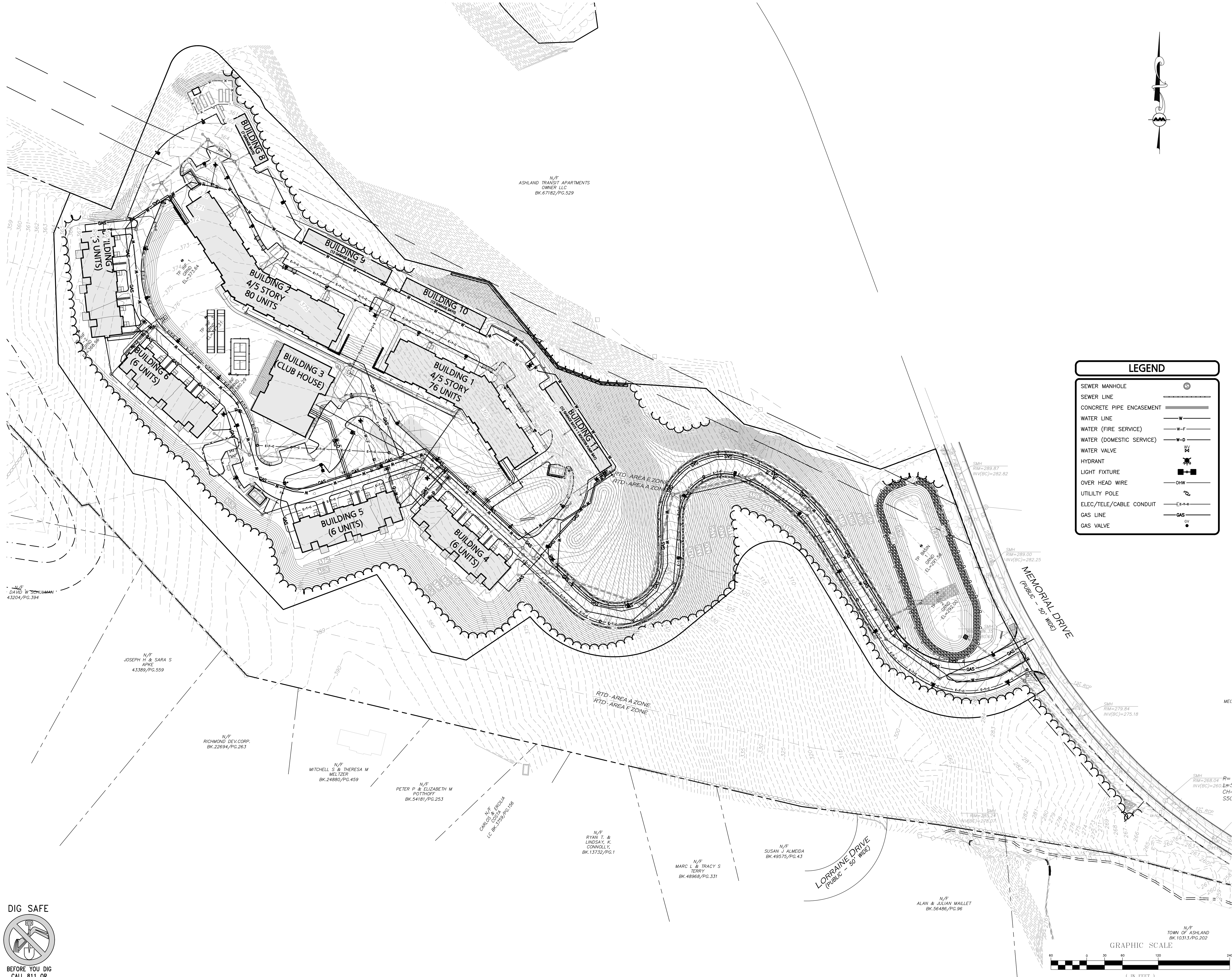
No.	Description	Date
1	PROPOSED	03-24-2021
2	CONSTRUCTION	05-11-2021



**PROFILE PLAN**

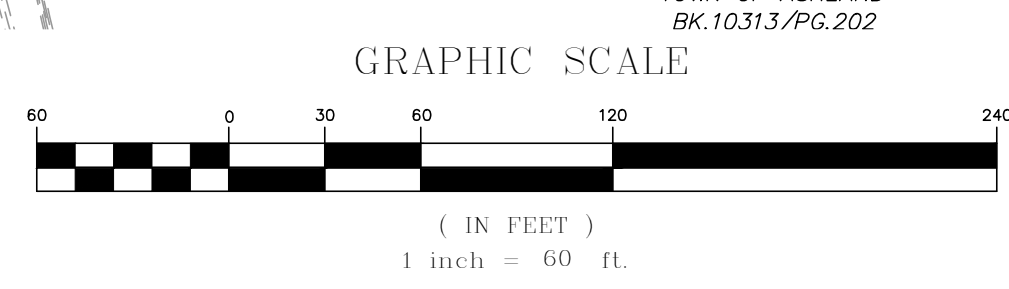
**C-108**

No.	Description	Date
1	PER PER REVIEW	03-24-2021
2	PER PER REVIEW	05-11-2021

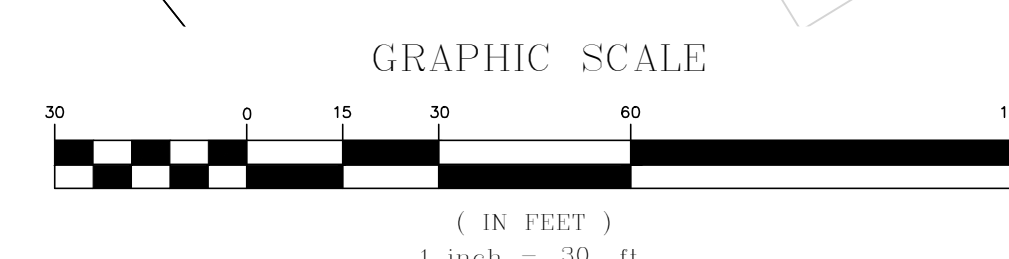
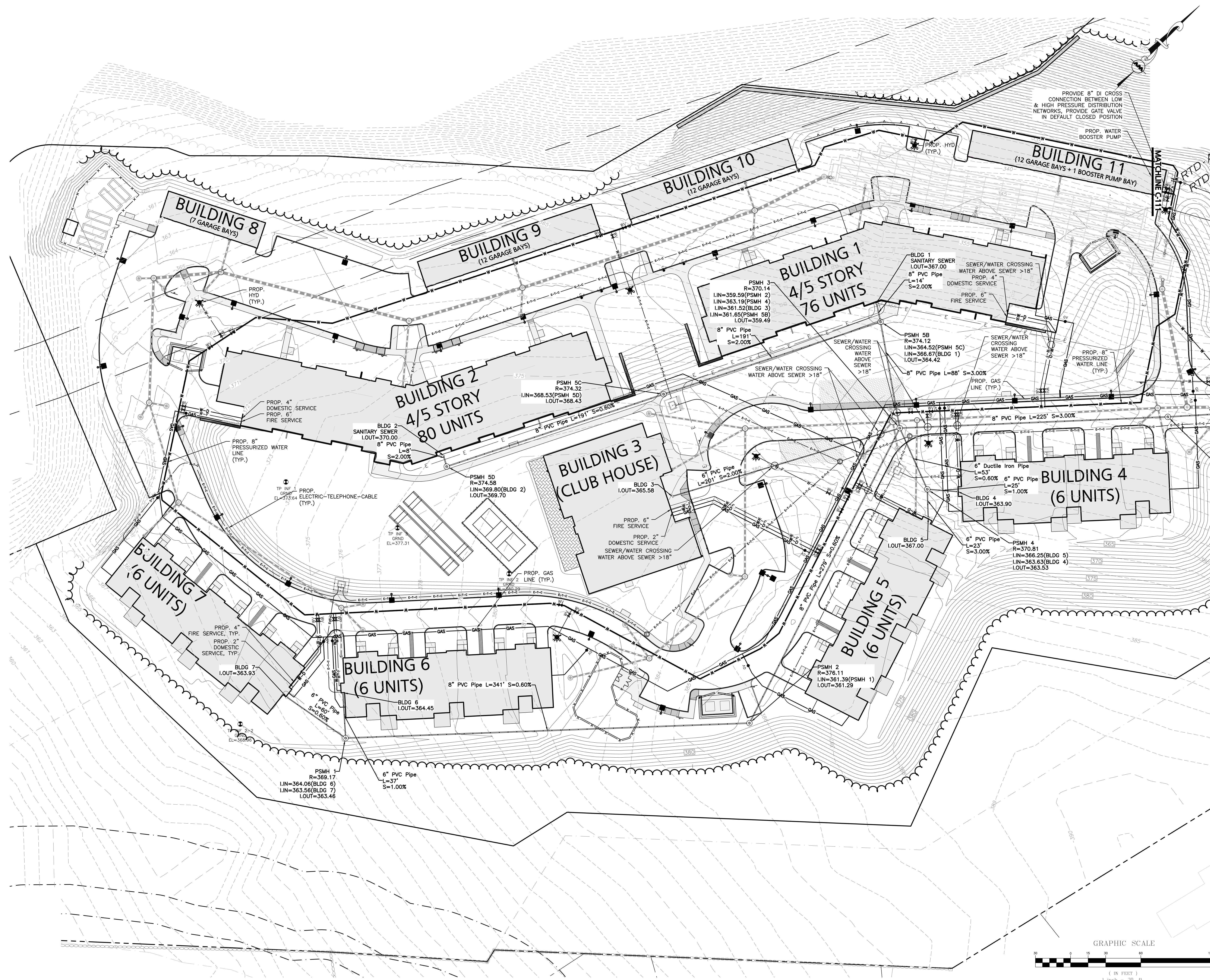


**LEGEND**

- SEWER MANHOLE
- SEWER LINE
- CONCRETE PIPE ENCASUREMENT
- WATER LINE
- WATER (FIRE SERVICE)
- WATER (DOMESTIC SERVICE)
- WATER VALVE
- HYDRANT
- LIGHT FIXTURE
- OVER HEAD WIRE
- UTILITY POLE
- ELEC/TELE/CABLE CONDUIT
- GAS LINE
- GAS VALVE



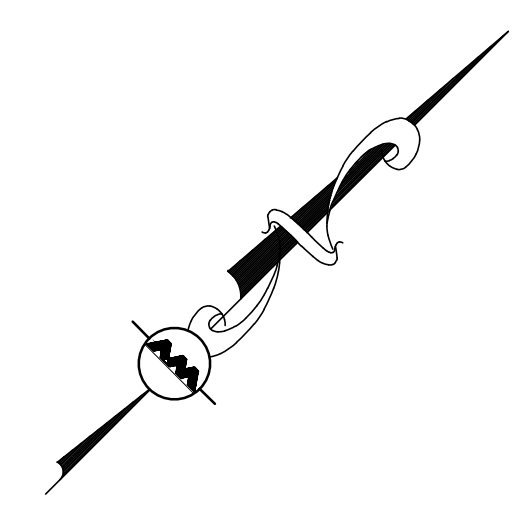
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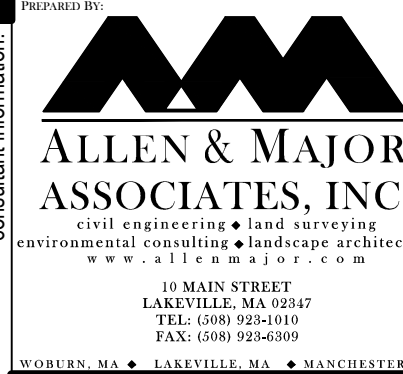


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drawing by: SL  
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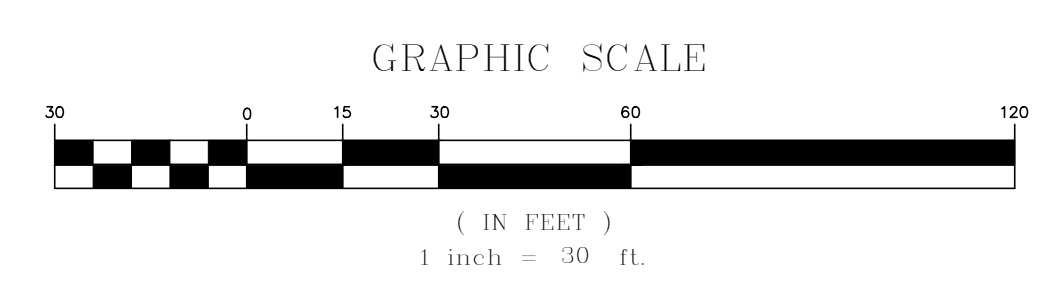
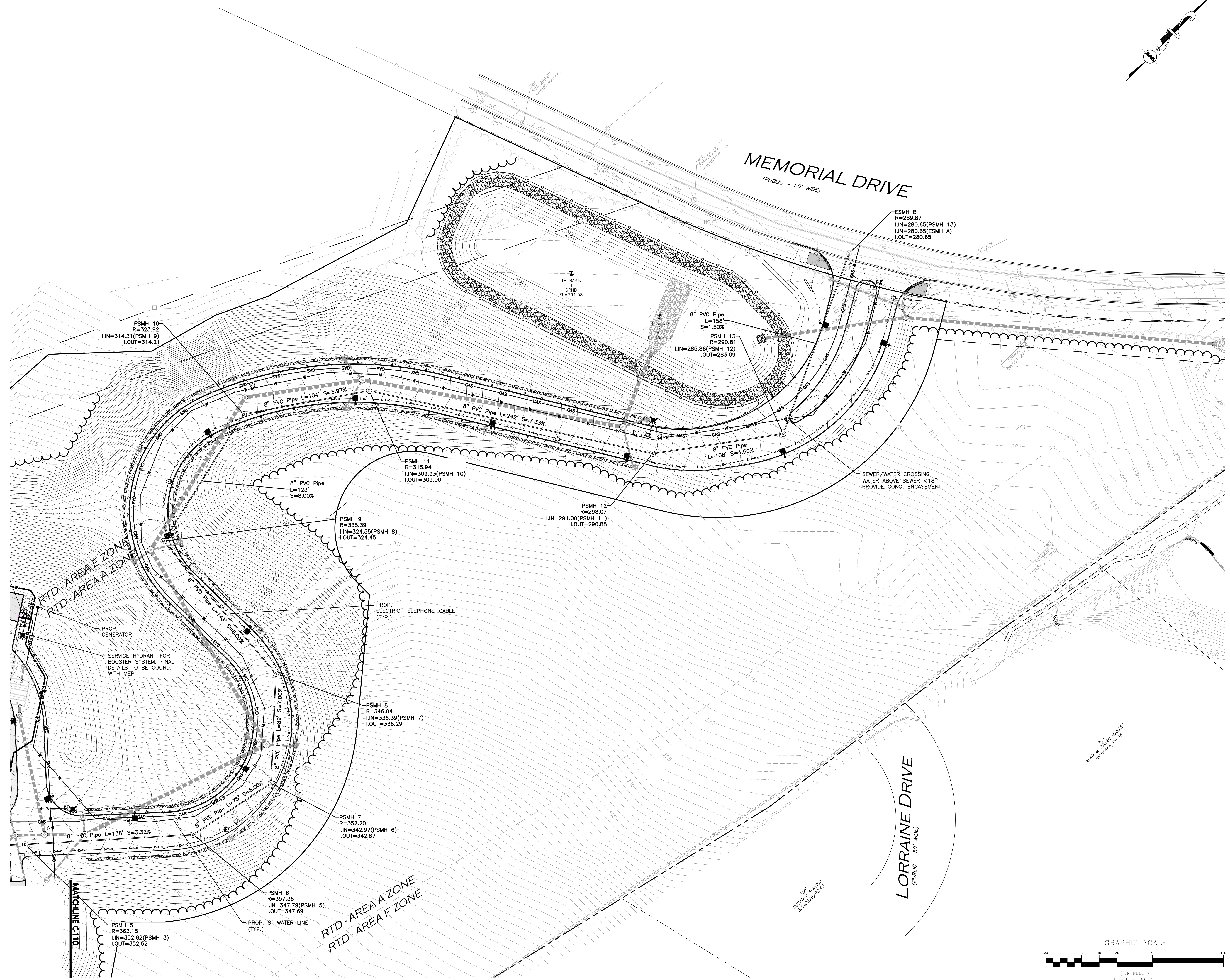
drawing revisions:

No.	Description	Date
1	PROPOSED	03-24-2021
2	REVISION	05-11-2021



**UTILITIES  
 PLAN**

**C-111**

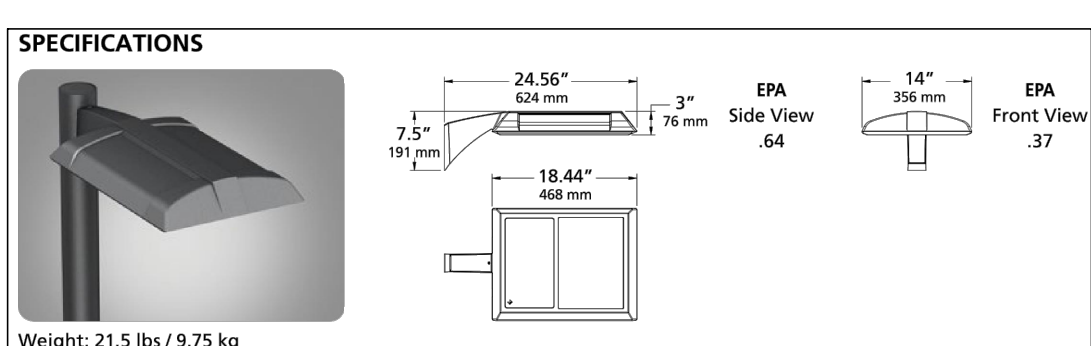




**LEGEND**

DOUBLE POLE LIGHT	
SINGLE POLE LIGHT	
WALL MOUNT LIGHT	
BOLLARD LIGHT	
1 FOOTCANDLE CONTOUR	
.5 FOOTCANDLE CONTOUR	
LIGHTING LEVELS GIVEN IN FOOT-CANDLES	1.0 0.1 0.2 0.4 0.6

- NOTES:**
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  2. FOOT CANDLE VALUES SHOWN ON THE PLAN ARE PRODUCED UTILIZING DESIGN MASTER PHOTOMETRICS SOFTWARE AND ASSOCIATED IES FILES BY THE MANUFACTURER FOR THE PROPOSED LIGHT FIXTURE.
  3. ALL PHOTOMETRIC DATA REFERS TO UNITS IN FOOT CANDLES (FC). THE LIMIT OF 1.0 FC ILLUMINATION IS SHOWN IN A RED SOLID LINE AND THE LIMIT OF THE 0.5 FOOT CANDLE (FC) ILLUMINATION IS SHOWN IN BLUE.
  4. QUANTITIES SHOWN IN LUMINAIRE SCHEDULE TABLE DENOTES NUMBER OF FIXTURE HEADS. REFER TO PLAN FOR POLES WITH DOUBLE FIXTURES.
  5. MOUNTING HEIGHTS:
    - 5.1. A MOUNTING HEIGHT OF 12'-6" CONSIST OF A 12" POLE WITH A 6" REVEAL ON THE CONCRETE LIGHT POLE BASE;
    - 5.2. A MOUNTING HEIGHT OF 14'-6" CONSIST OF A 12" POLE WITH A 2'-6" REVEAL ON THE CONCRETE LIGHT POLE BASE;
    - 5.3. A MOUNTING HEIGHT OF 20'-6" CONSIST OF A 18" POLE WITH A 6" REVEAL ON THE CONCRETE LIGHT POLE BASE.



**PARKING/SITE LIGHT FIXTURE**  
 KIM LIGHTING, ALTITUDE 2.0 - ALT1

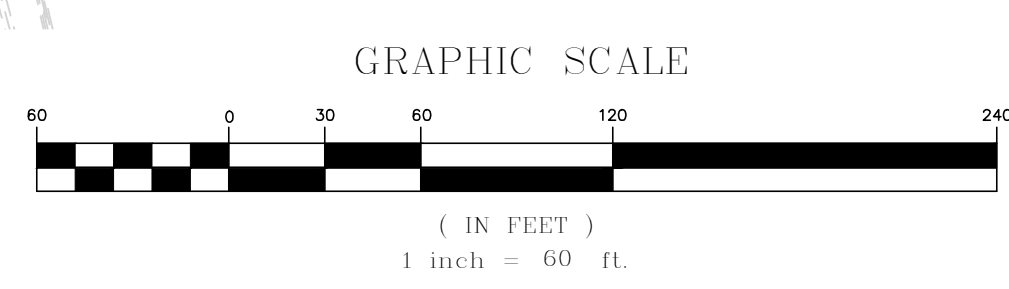
**GENERAL  
 PHOTOMETRIC  
 SCHEDULE**

AVERAGE FOOT-CANDLES	1.33
MAXIMUM FOOT-CANDLES	16.8
MINIMUM FOOT-CANDLES	0.0

**LUMINAIRE SCHEDULE**

CALLOUT	SYMBOL	DESCRIPTION	MOUNTING	NOTE 1	TOTAL LUMENS	LAMP DEPRECIATION	QUANTITY
Alt 2		KIM LIGHTING, ALTITUDE 2.0 Type II ALT1-54L-155-4k7-2	POLE	Mounting Height Varies, See Plan	17310	0.9	12
Alt 4W		KIM LIGHTING, ALTITUDE 2.0 Type IV Wide ALT1-54L-155-4k7-4W	POLE	Mounting Height Varies, See Plan	17299	0.9	33

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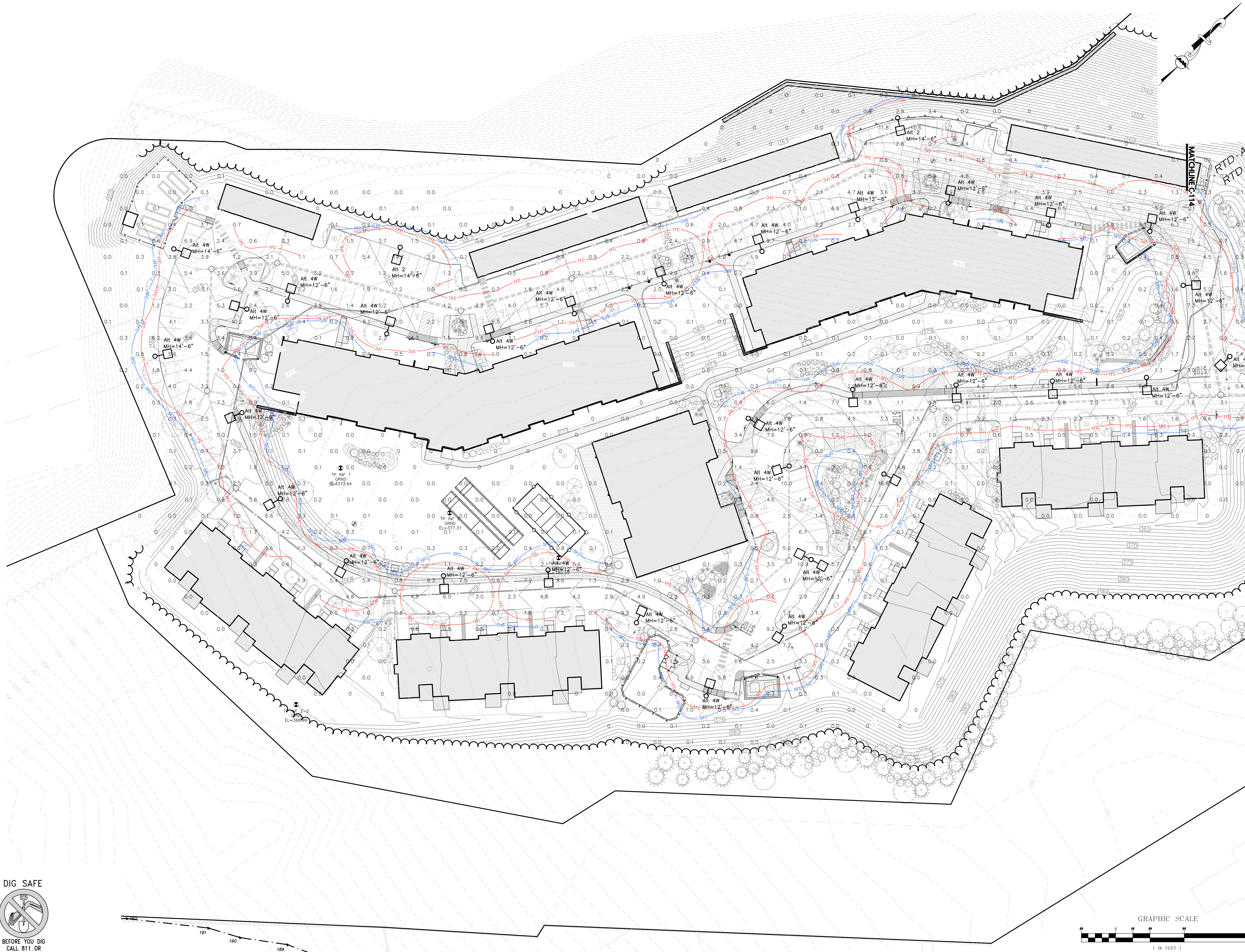
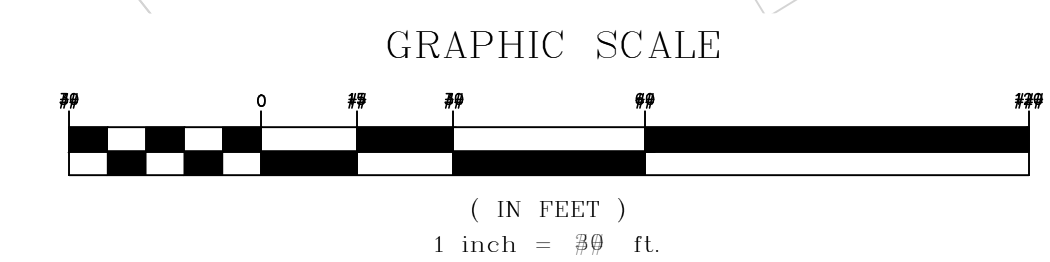
No.	Description	Date
1	PERMIT REVIEW	03-24-2021
2	PERMIT REVIEW	05-11-2021

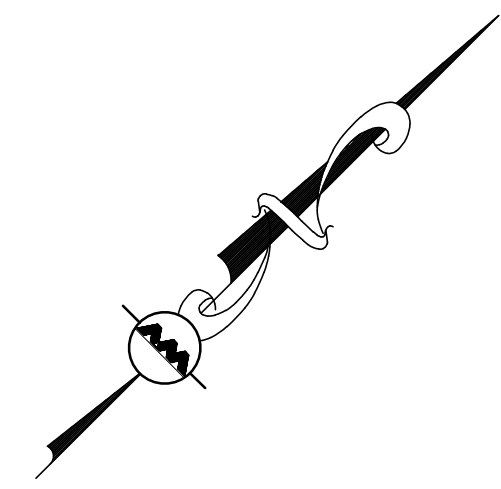


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**ALLEN & MAJOR ASSOCIATES, INC.**  
 civil engineering • landscape architecture  
 10 MAIN STREET  
 LAWYRETT, MA 01845  
 TEL: 978.686.0000  
 FAX: 978.686.0000

PROFESSIONAL ENGINEER FOR  
 ALLEN & MAJOR ASSOCIATES, INC.

**COMPREHENSIVE PERMIT**  
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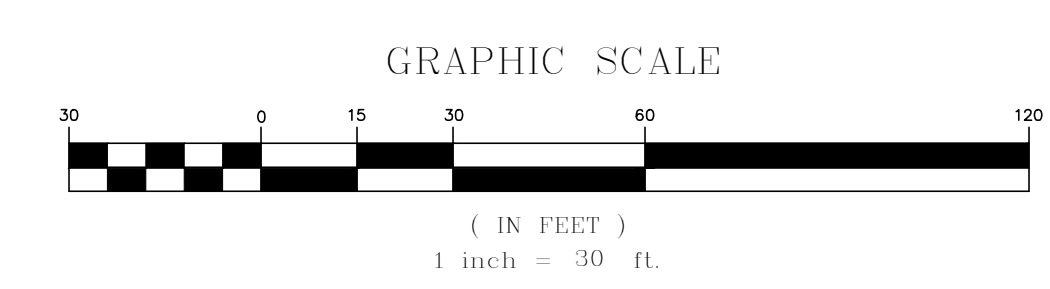
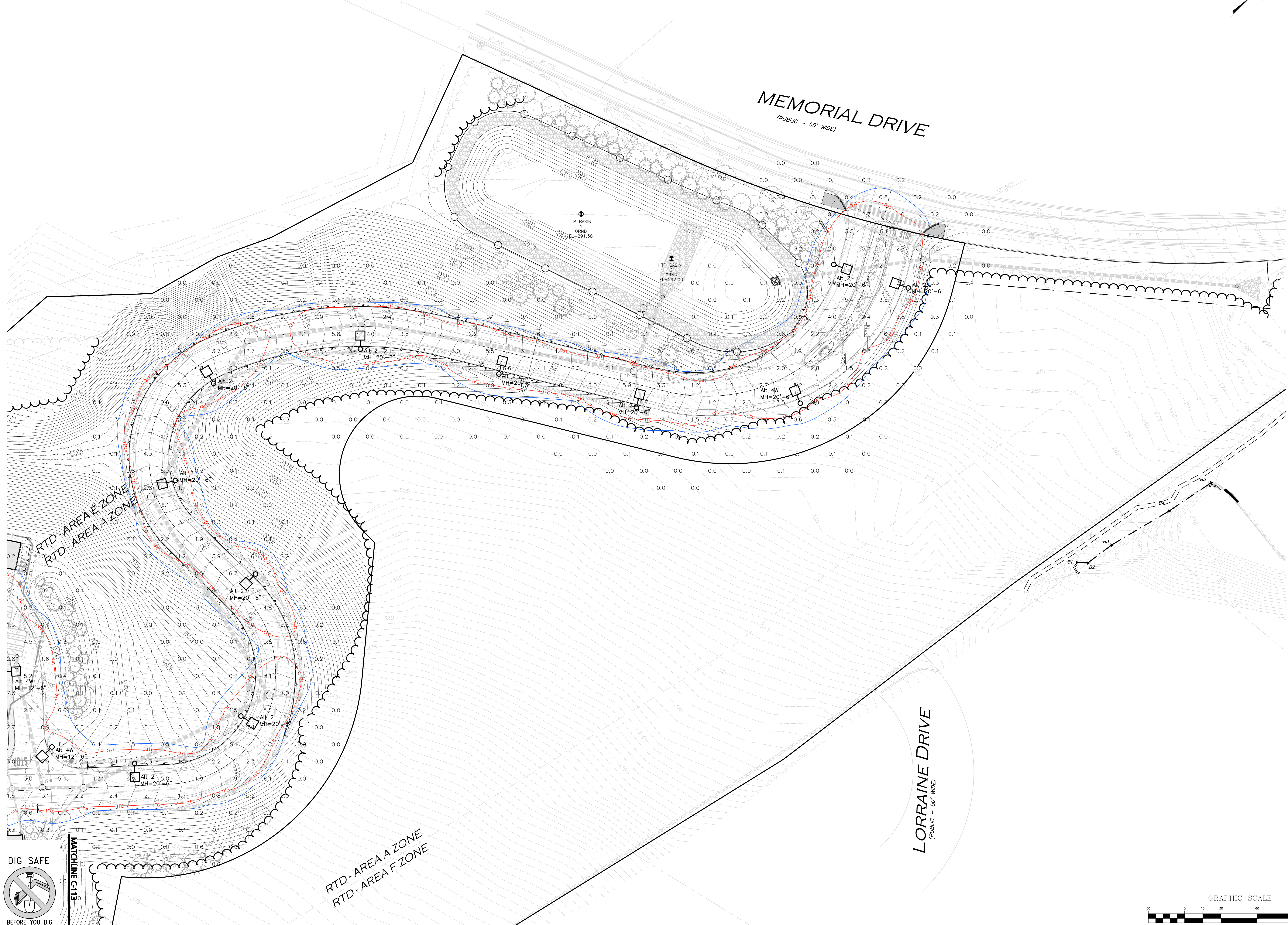
drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1" = 30'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

No.	Description	Date
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2	PERMIT REVIEW	05-11-2021

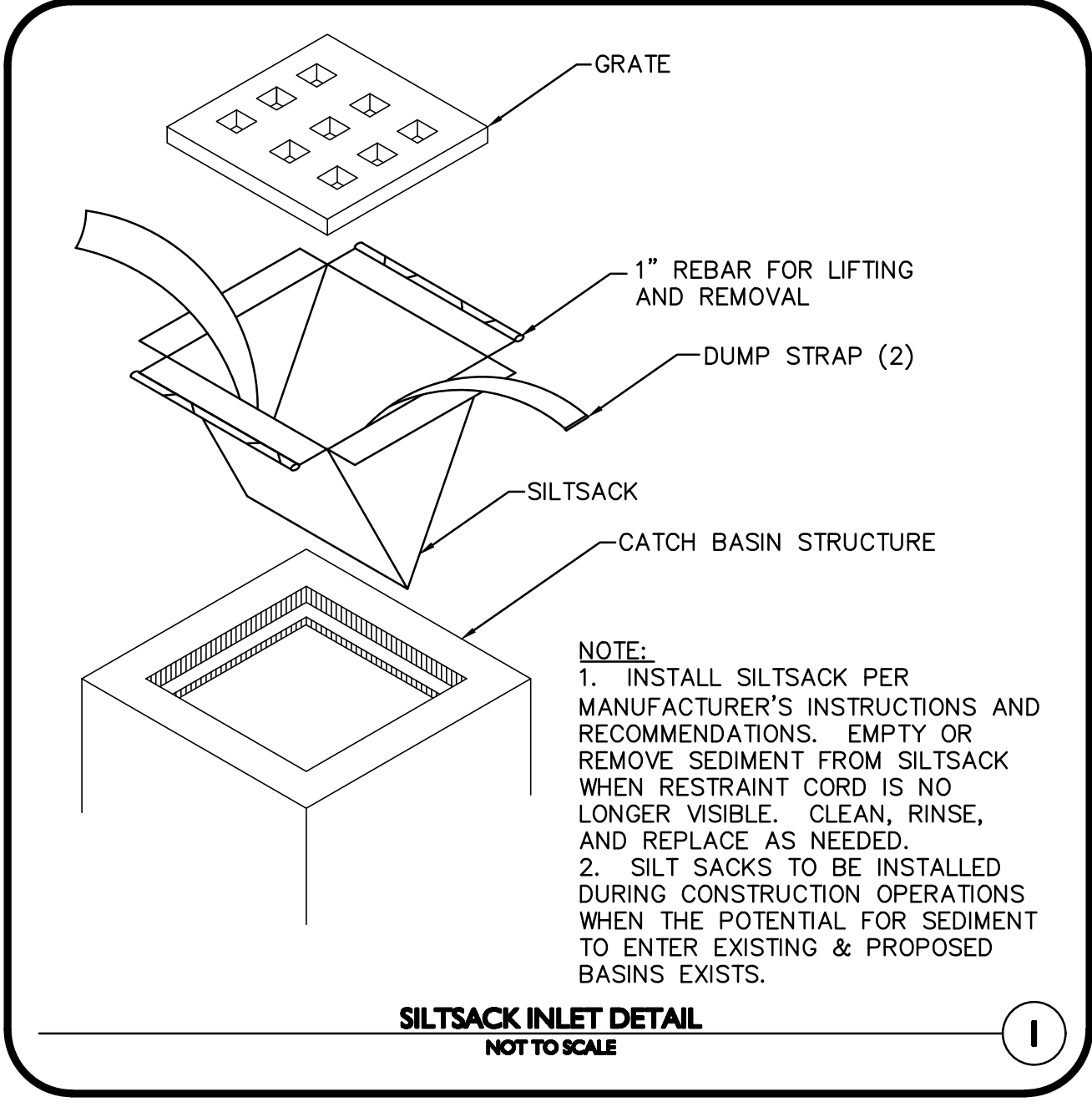
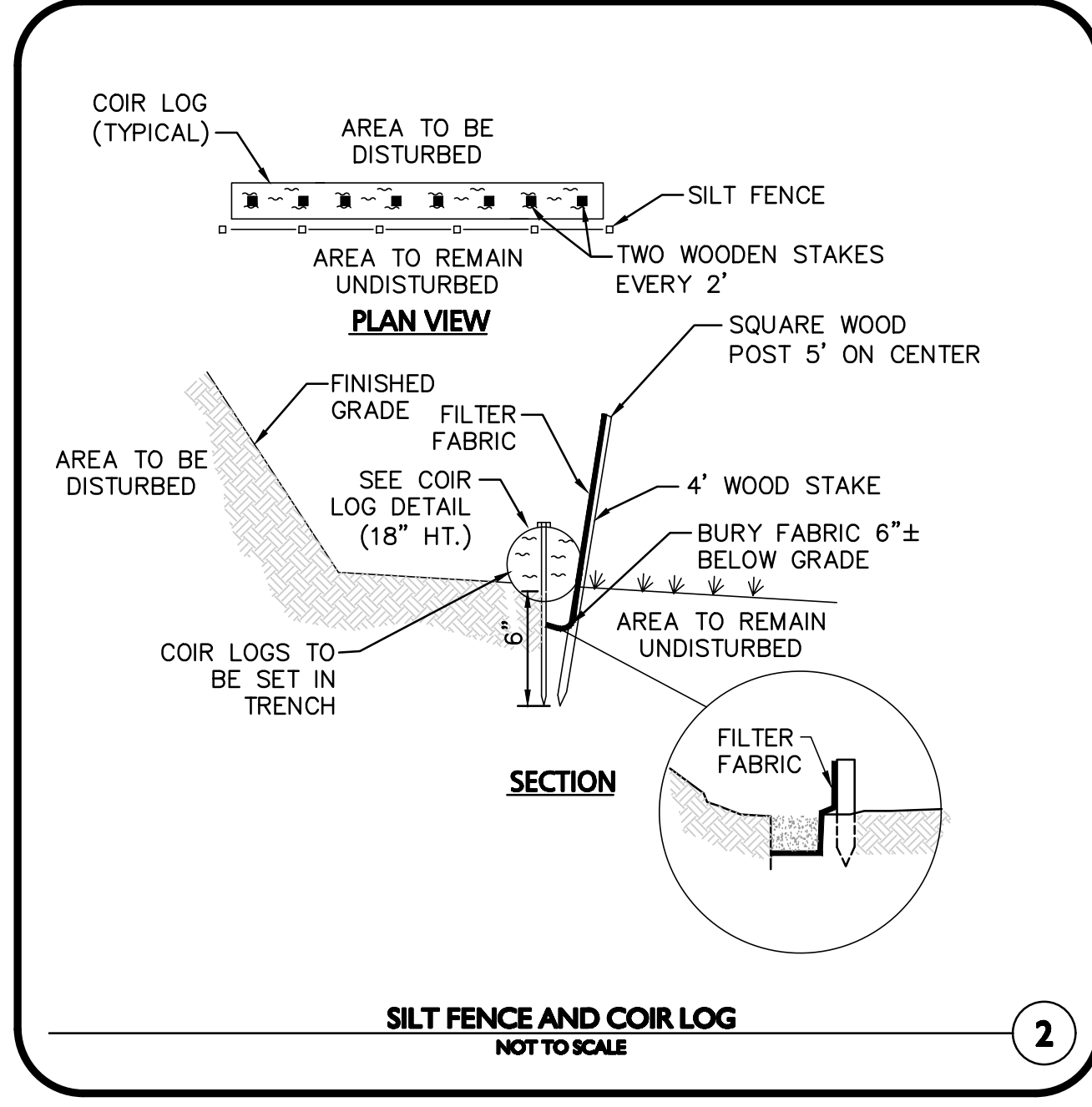
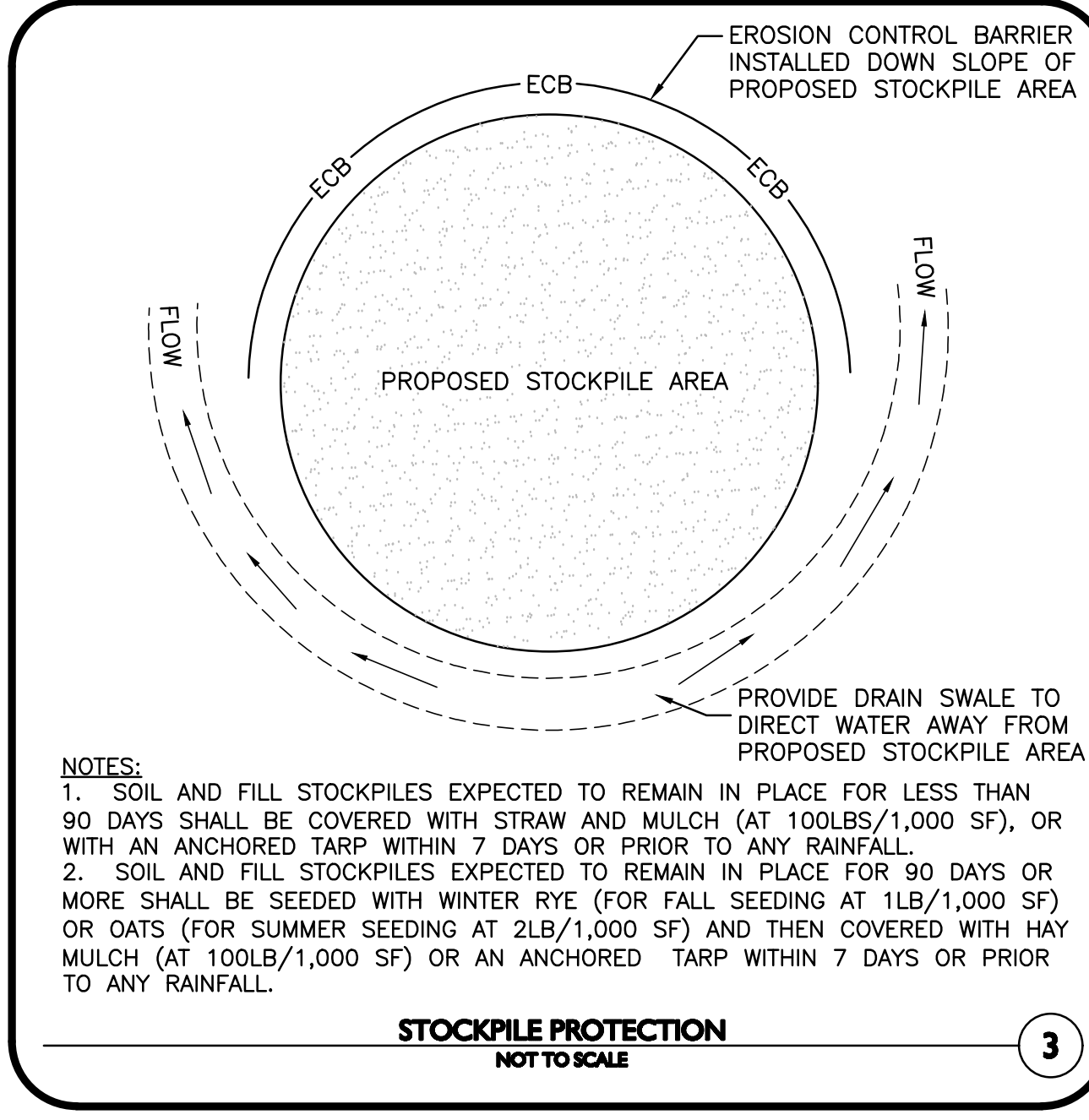
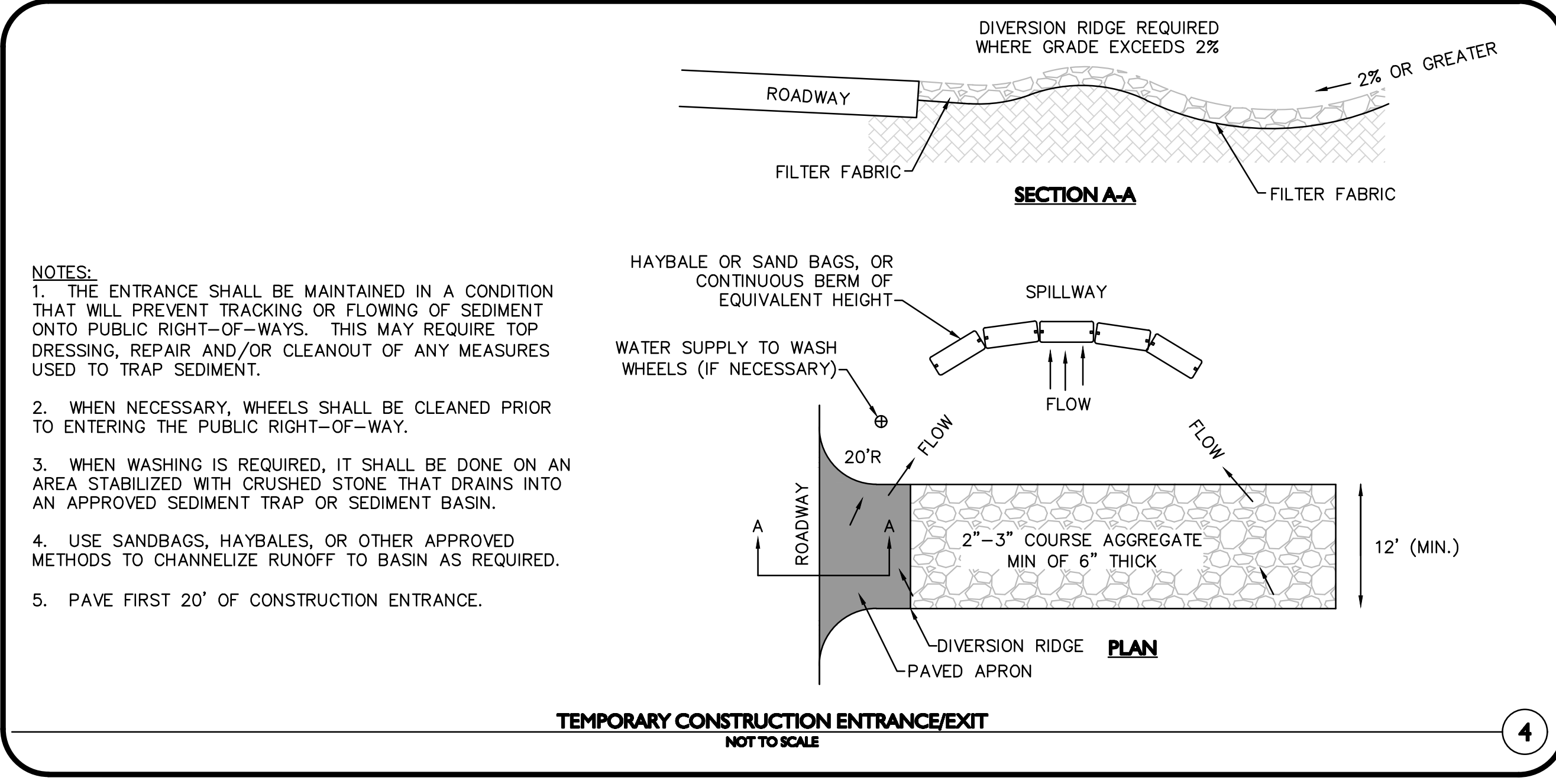
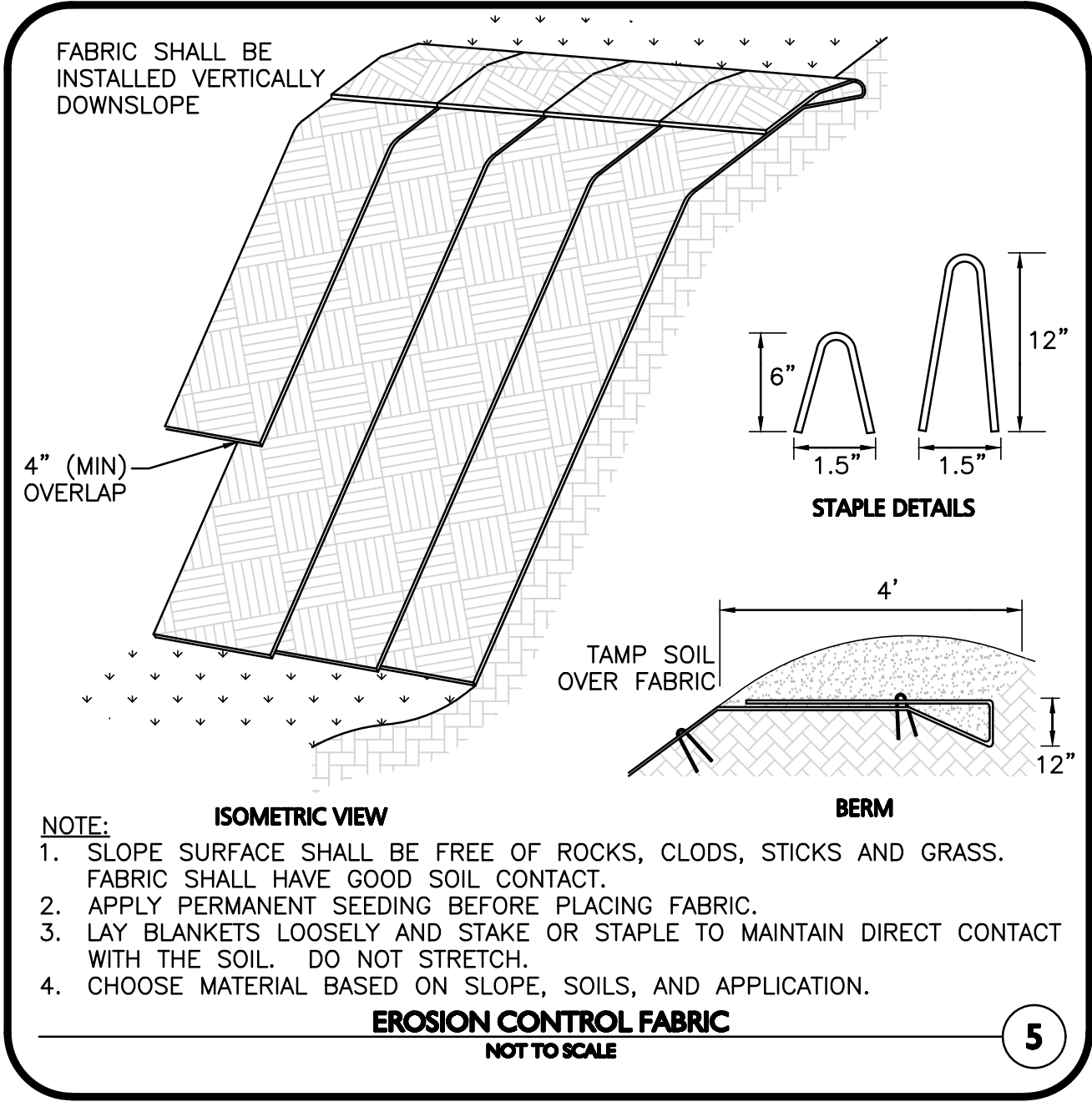
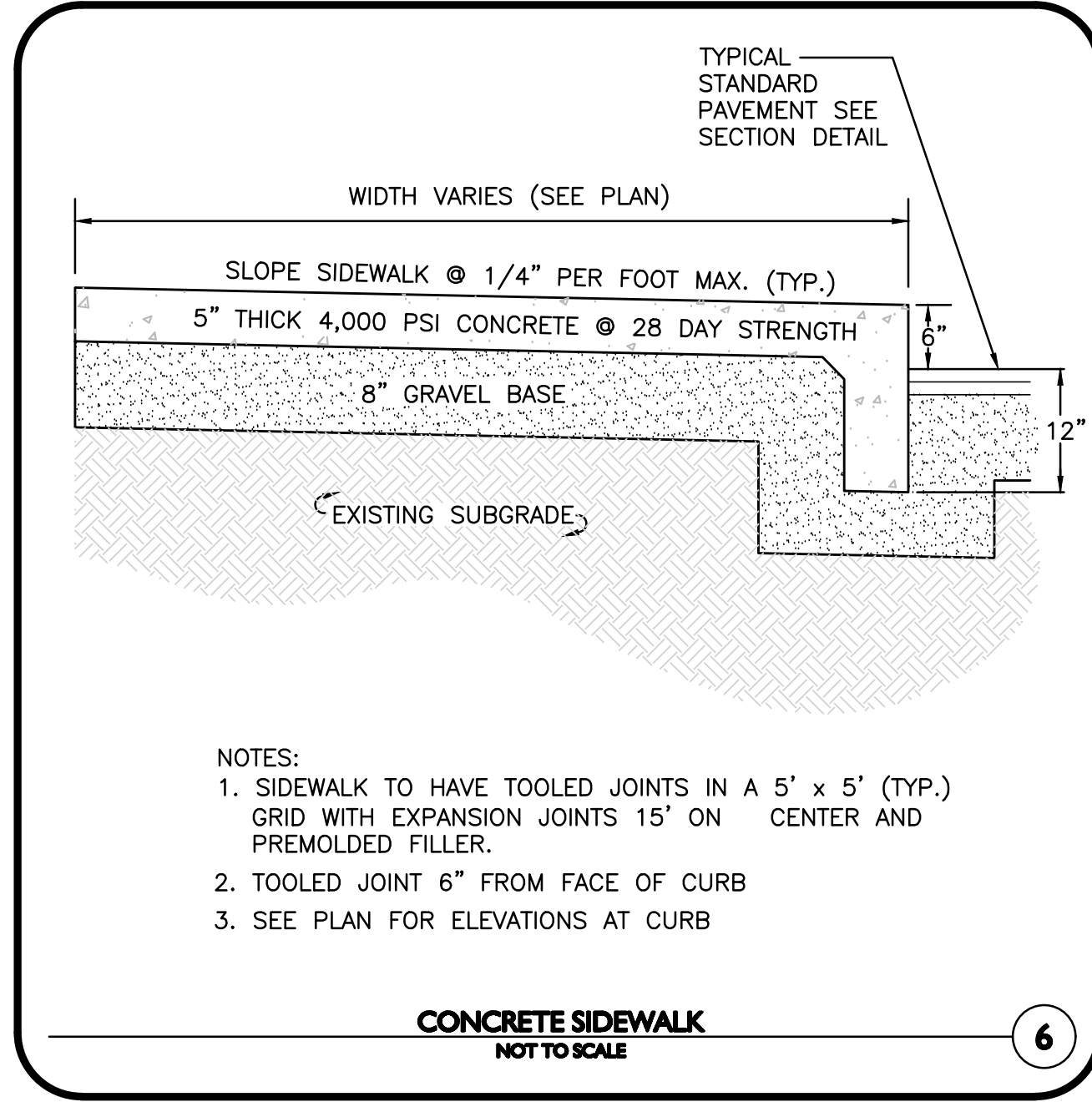
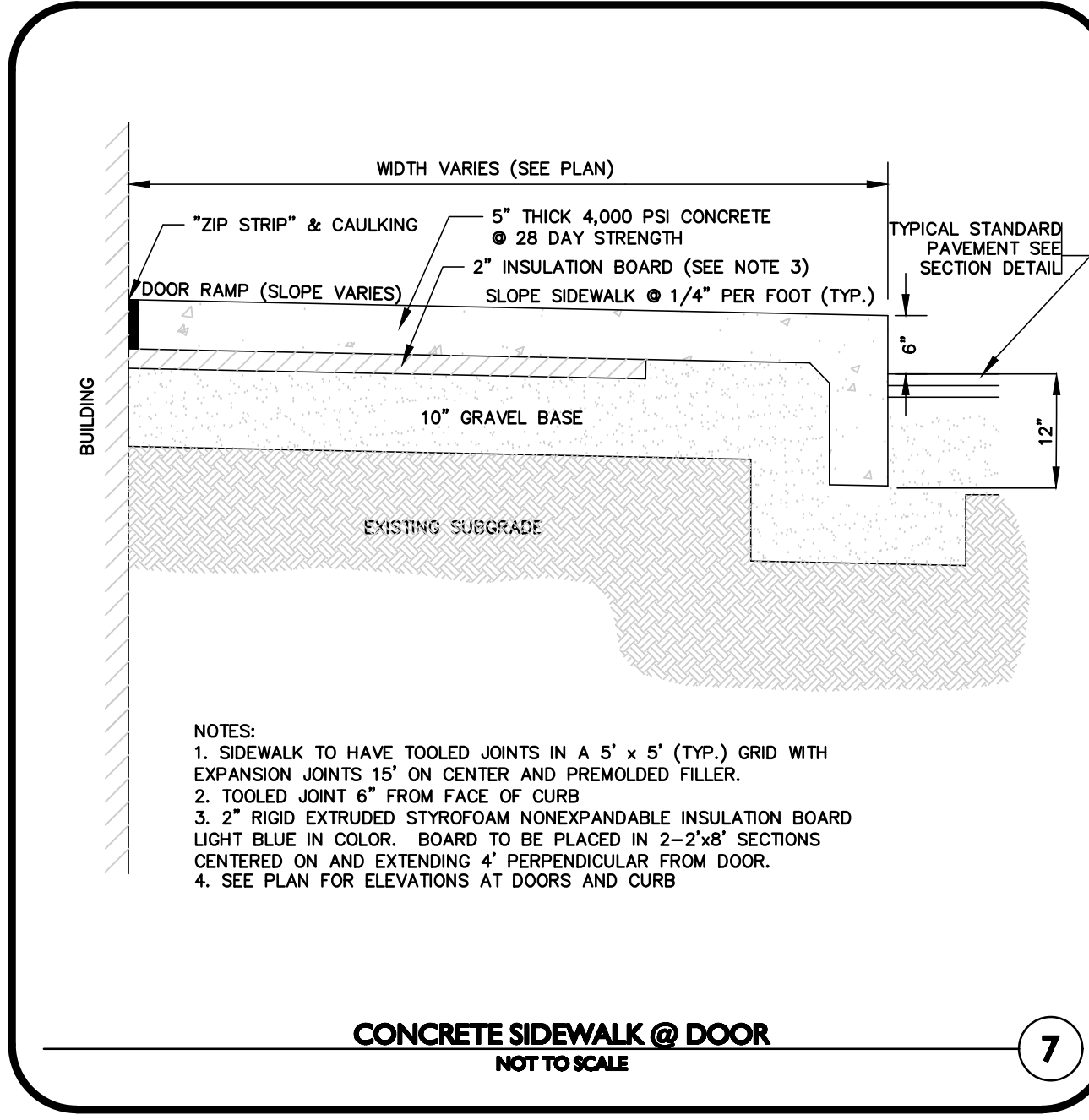
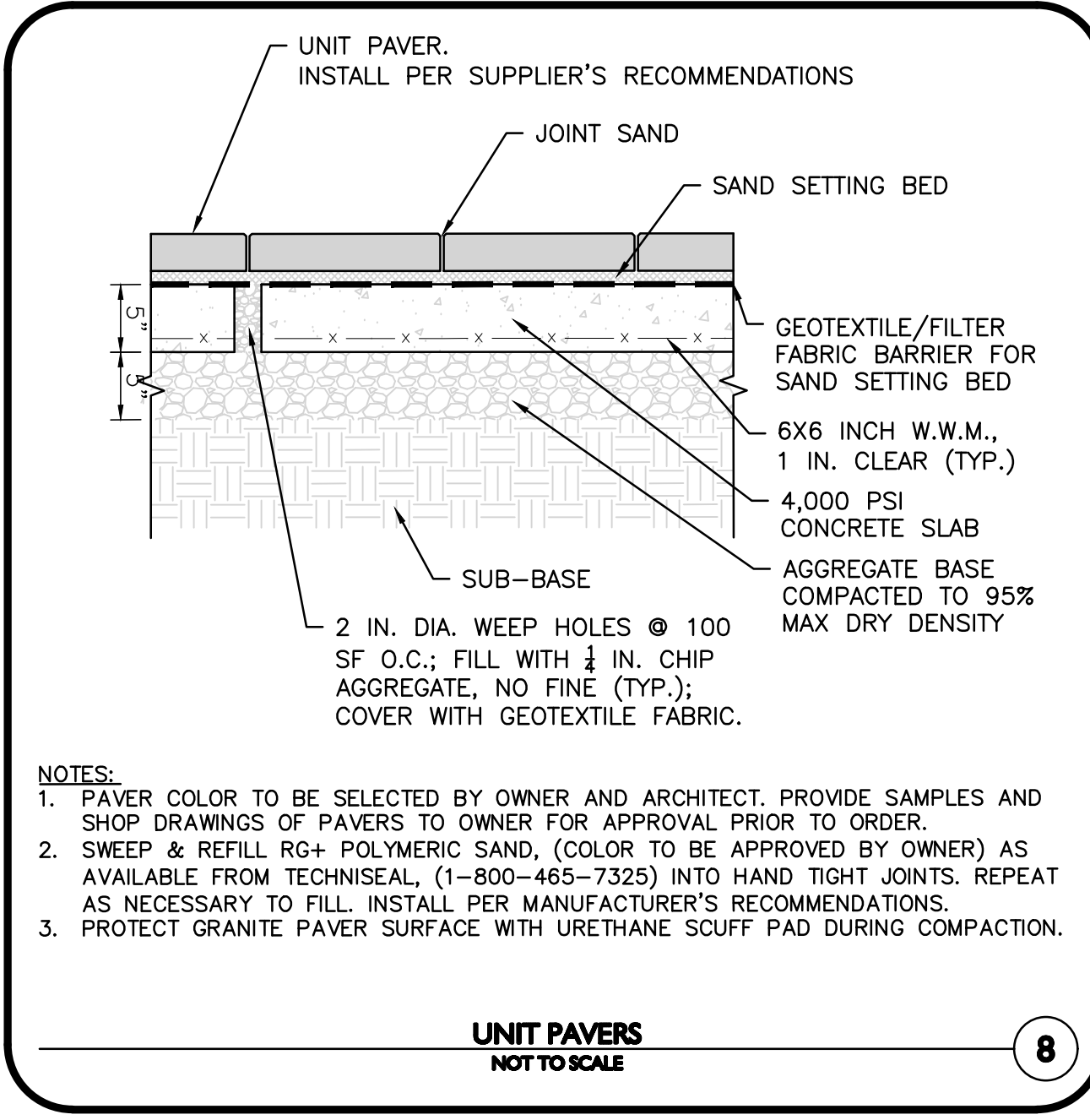
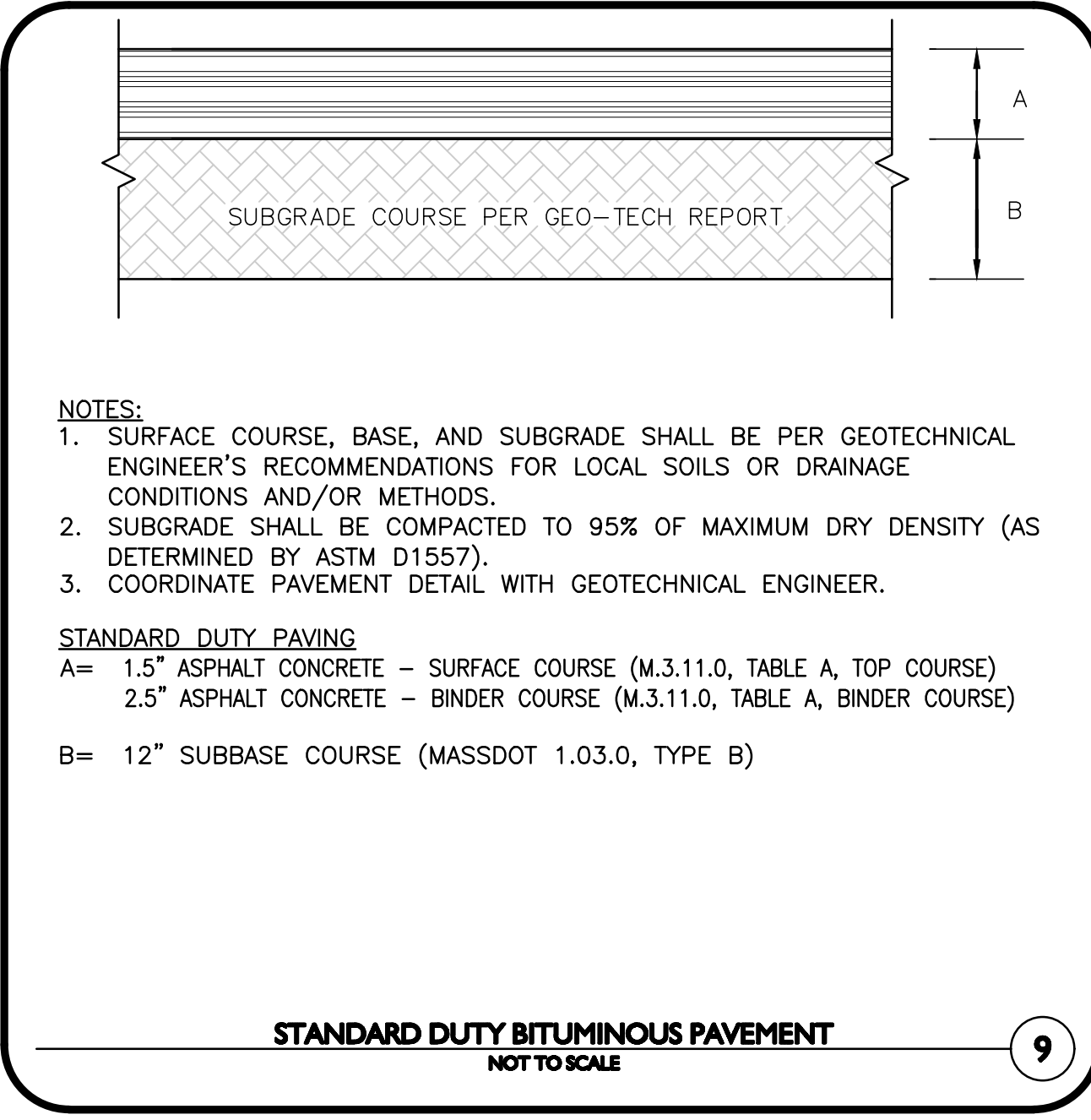
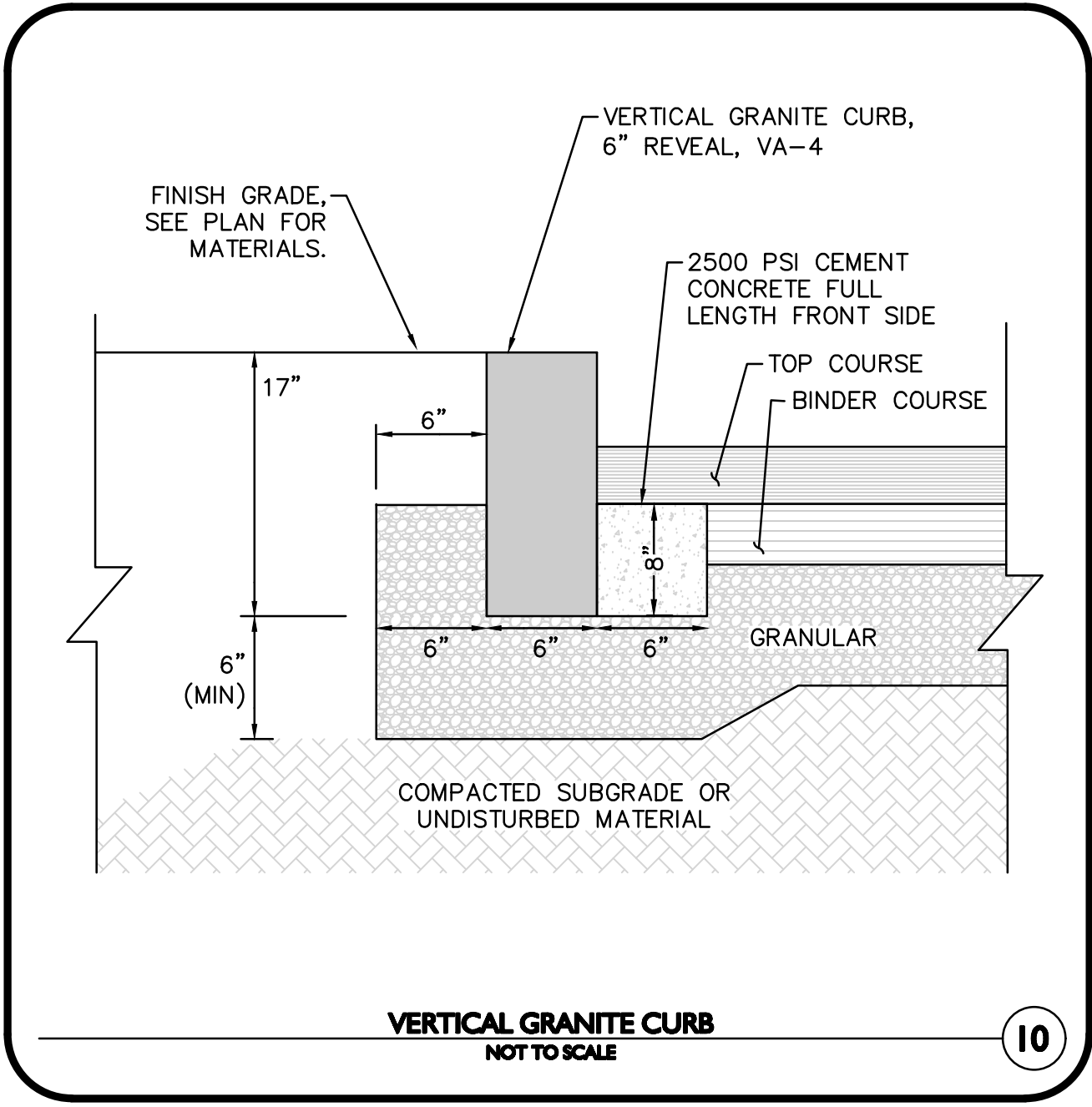
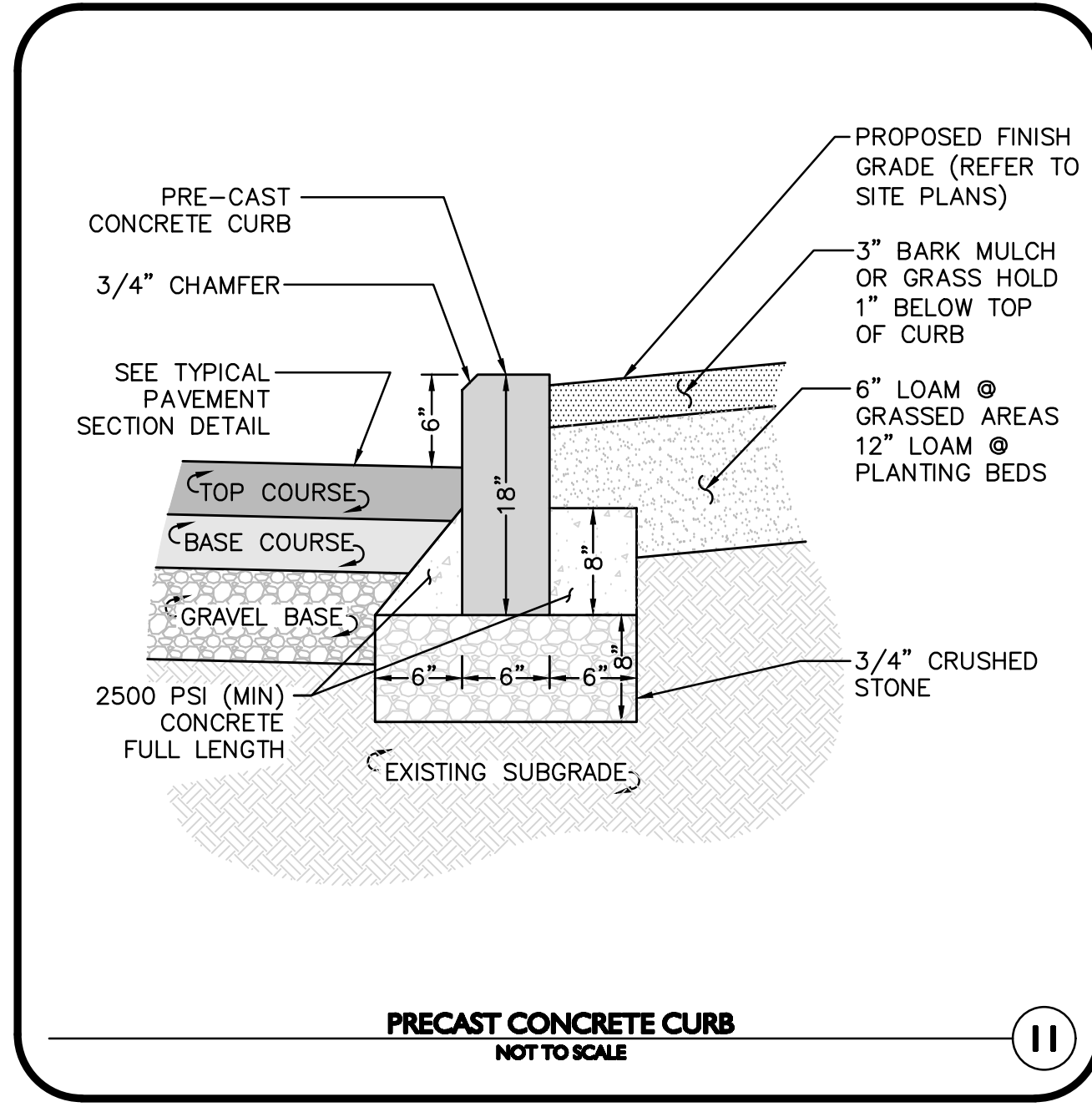
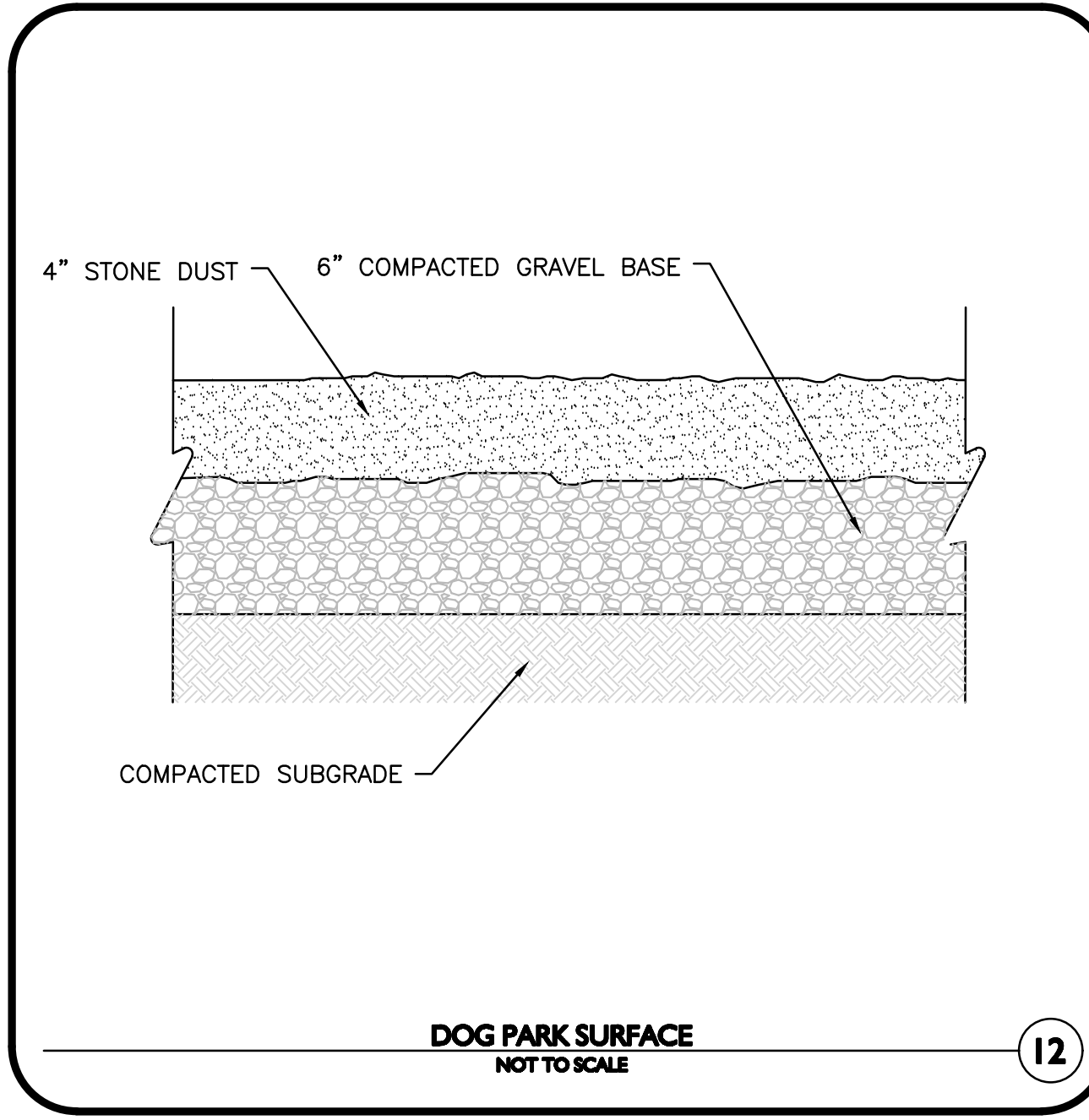
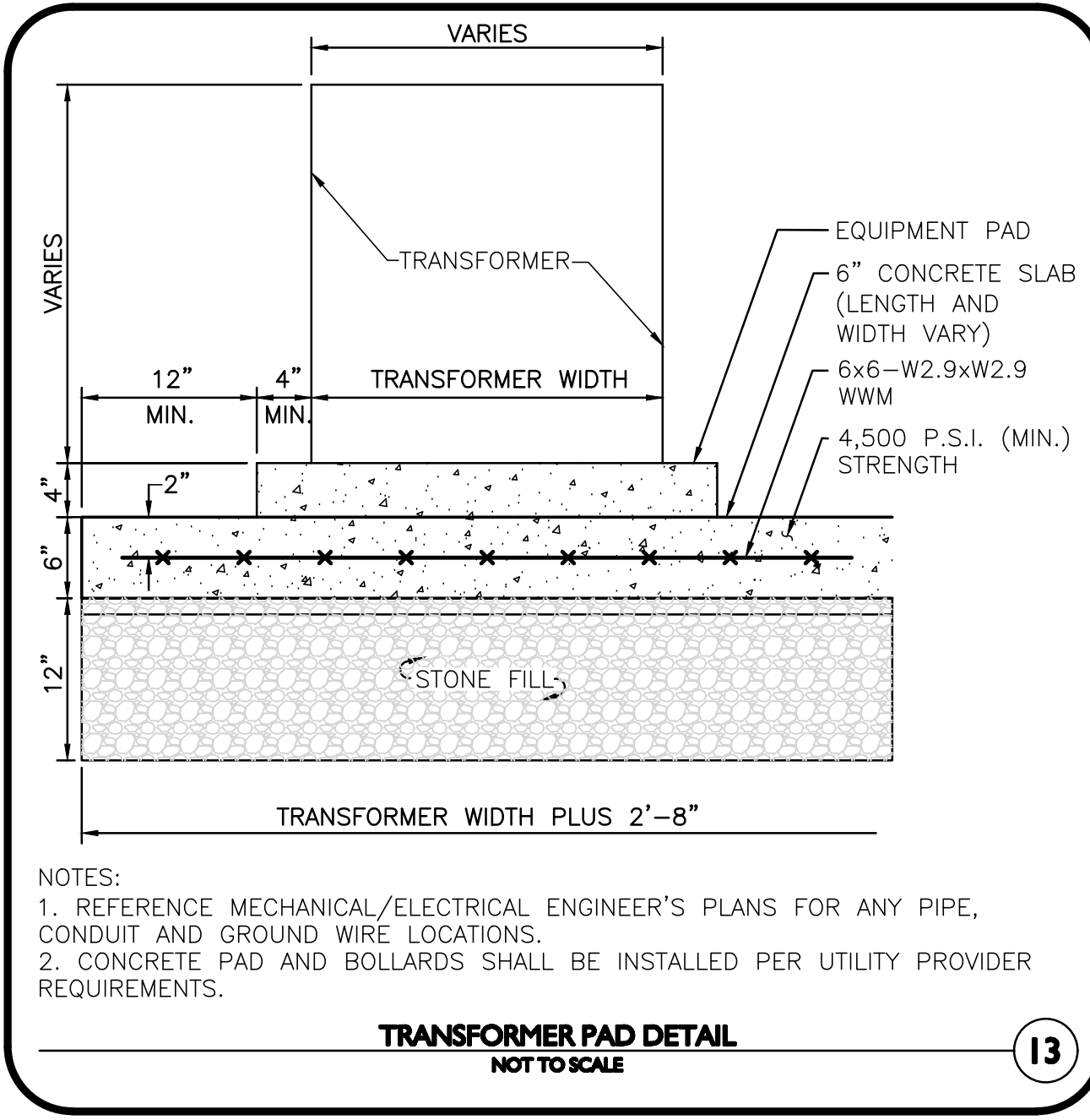
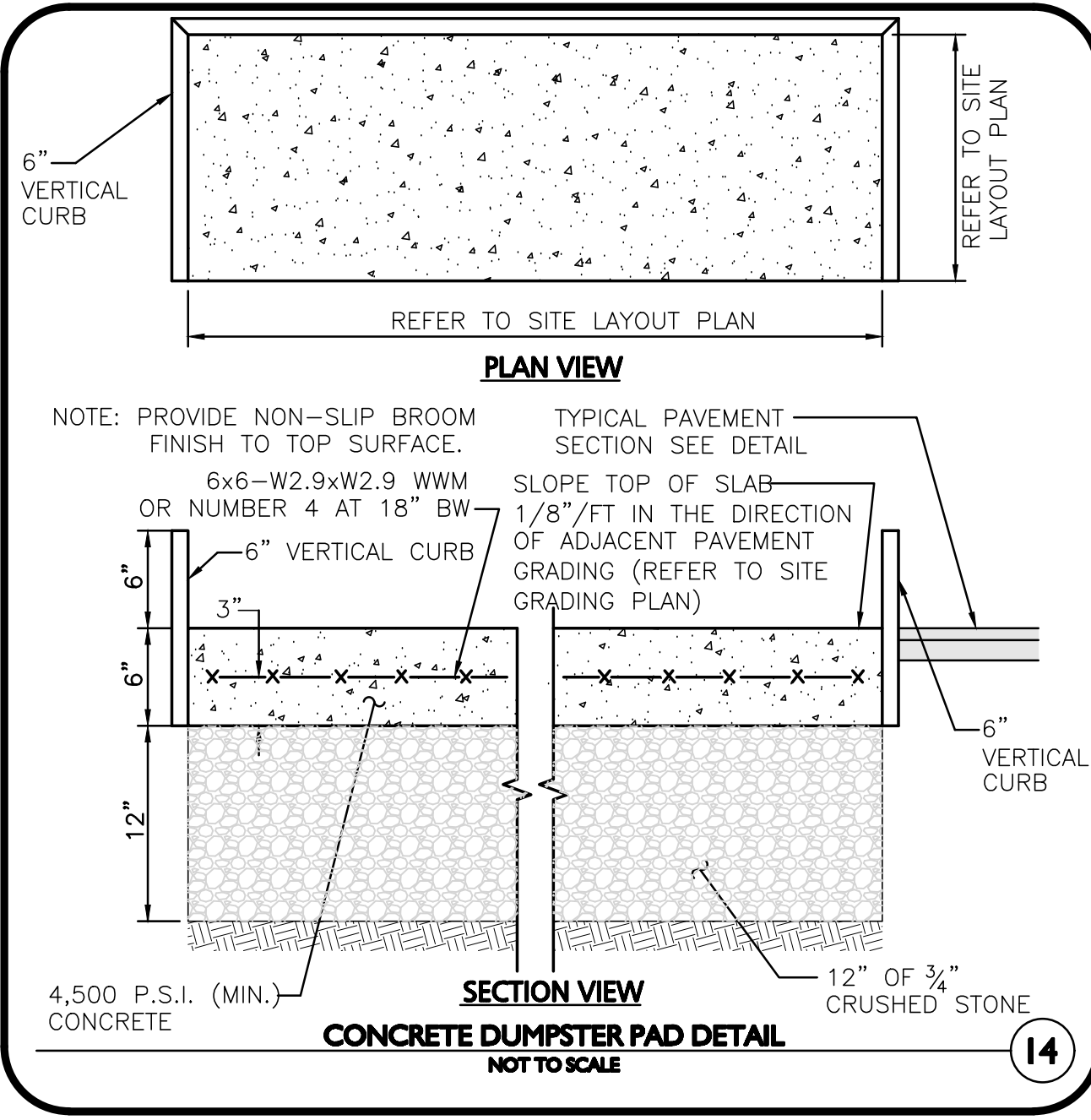
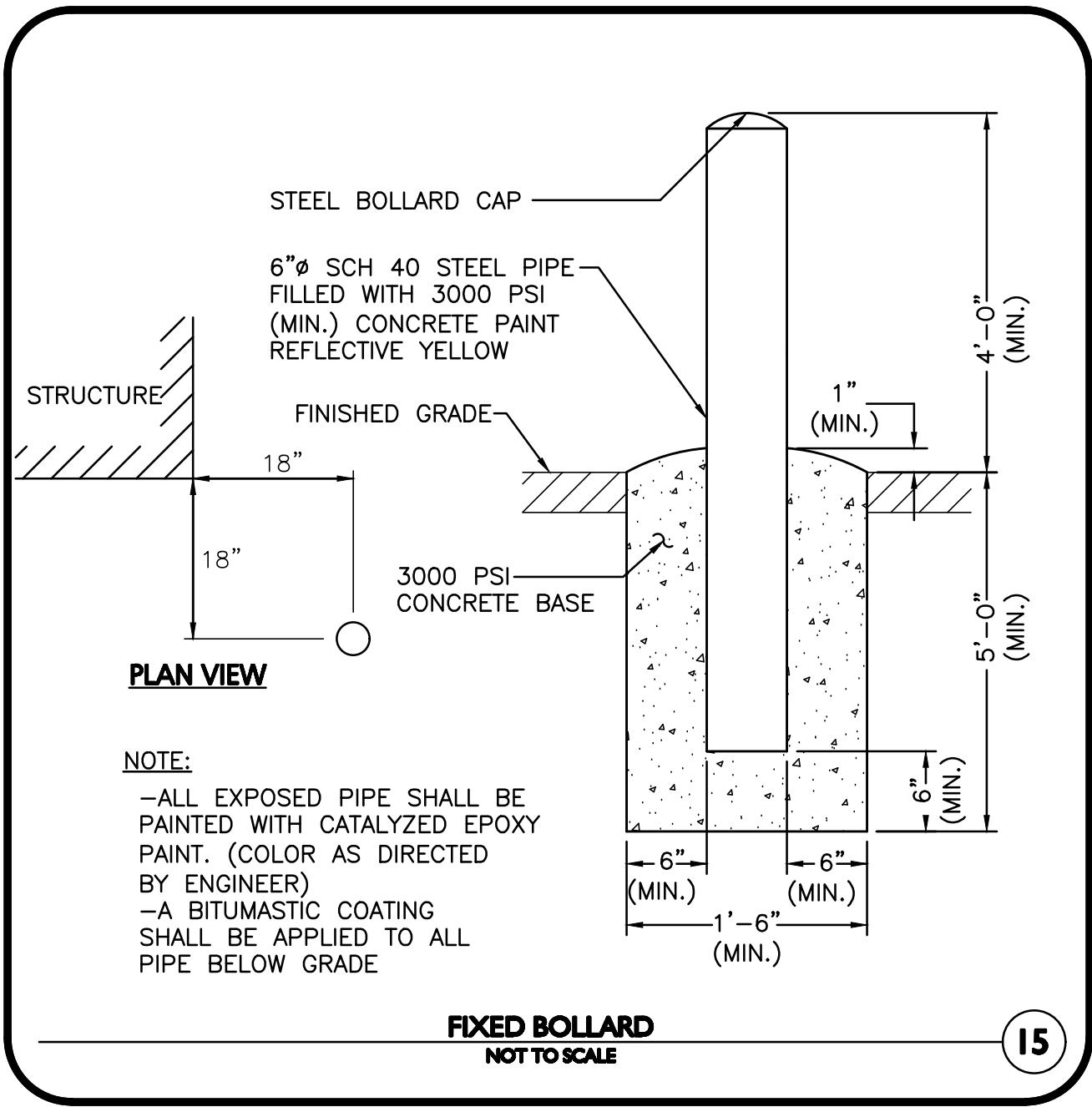
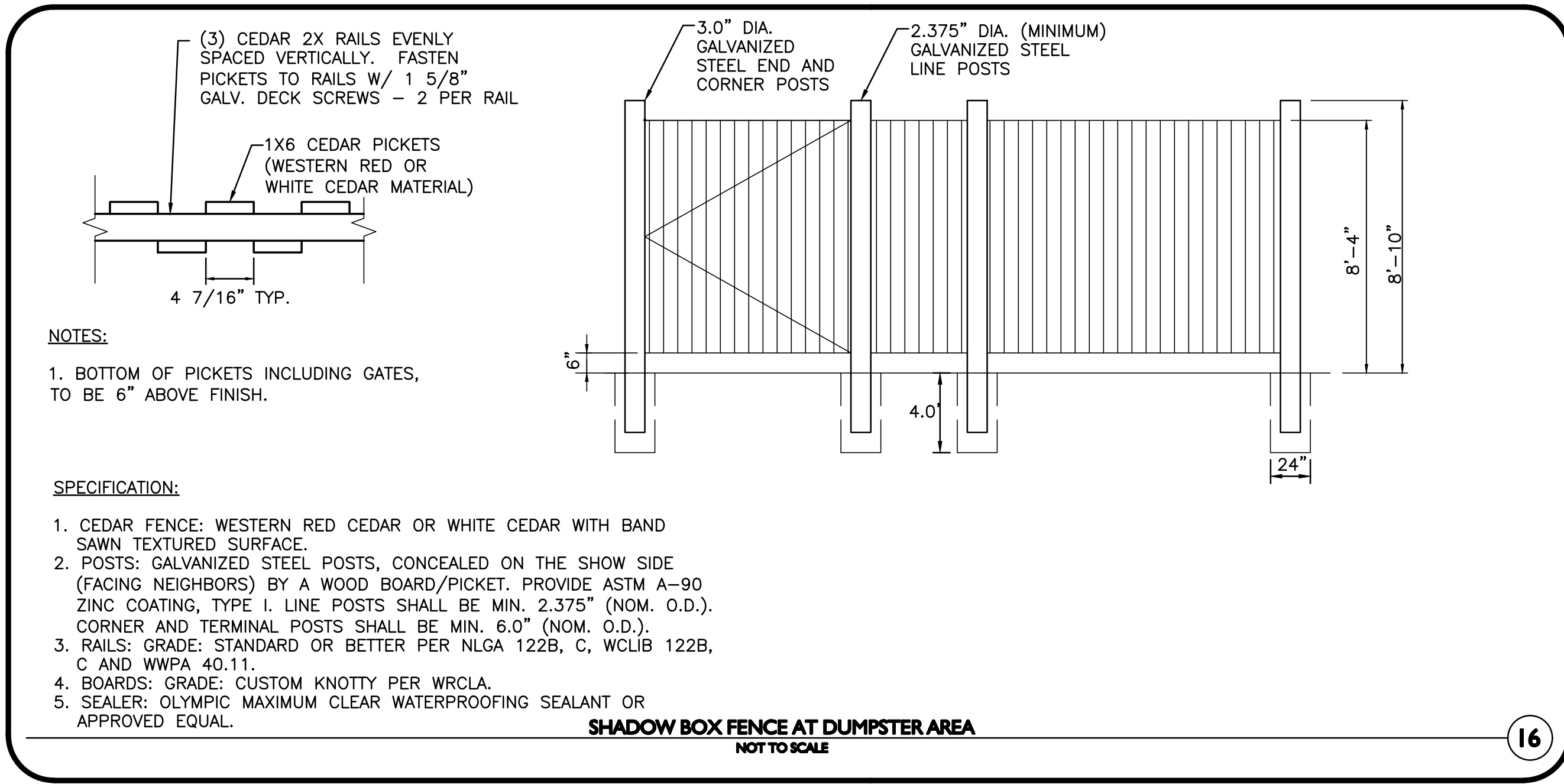
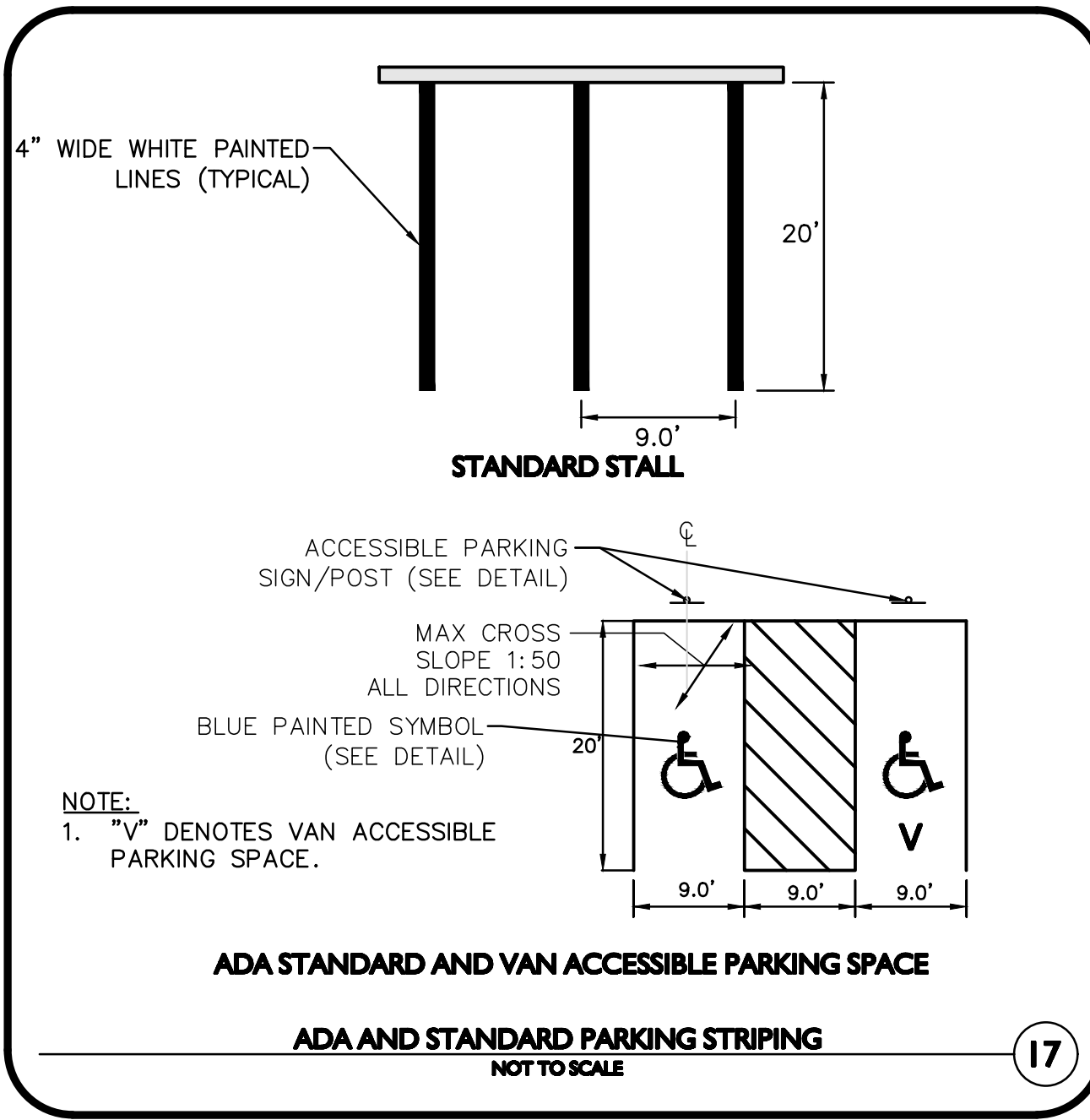
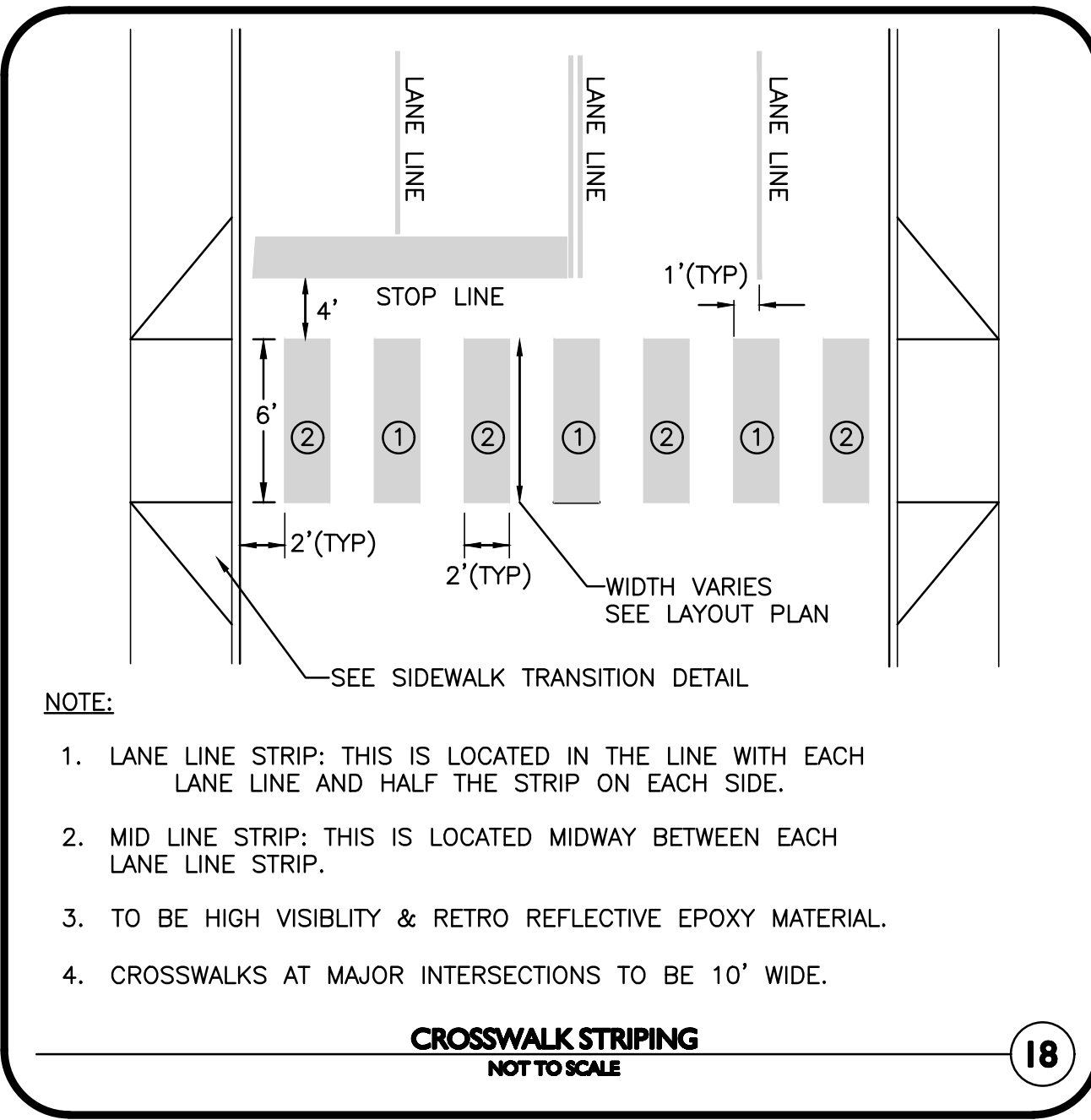


**PHOTO-METRICS PLAN**

**C-114**



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 ASSOCIATES, INC.  
 85 HUNTER STREET  
 LAWRENCE, MA 01840  
 TEL: 978.686.2222 FAX: 978.686.2229  
 www.allenmajor.com

PROFESSIONAL ENGINEER FOR  
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COMPREHENSIVE  
 PERMIT  
 NOT FOR  
 CONSTRUCTION

drawing checked by: SL

drawing scale: AS SHOWN

drawing date: 04 SEPTEMBER 2020

project number: 19021.00

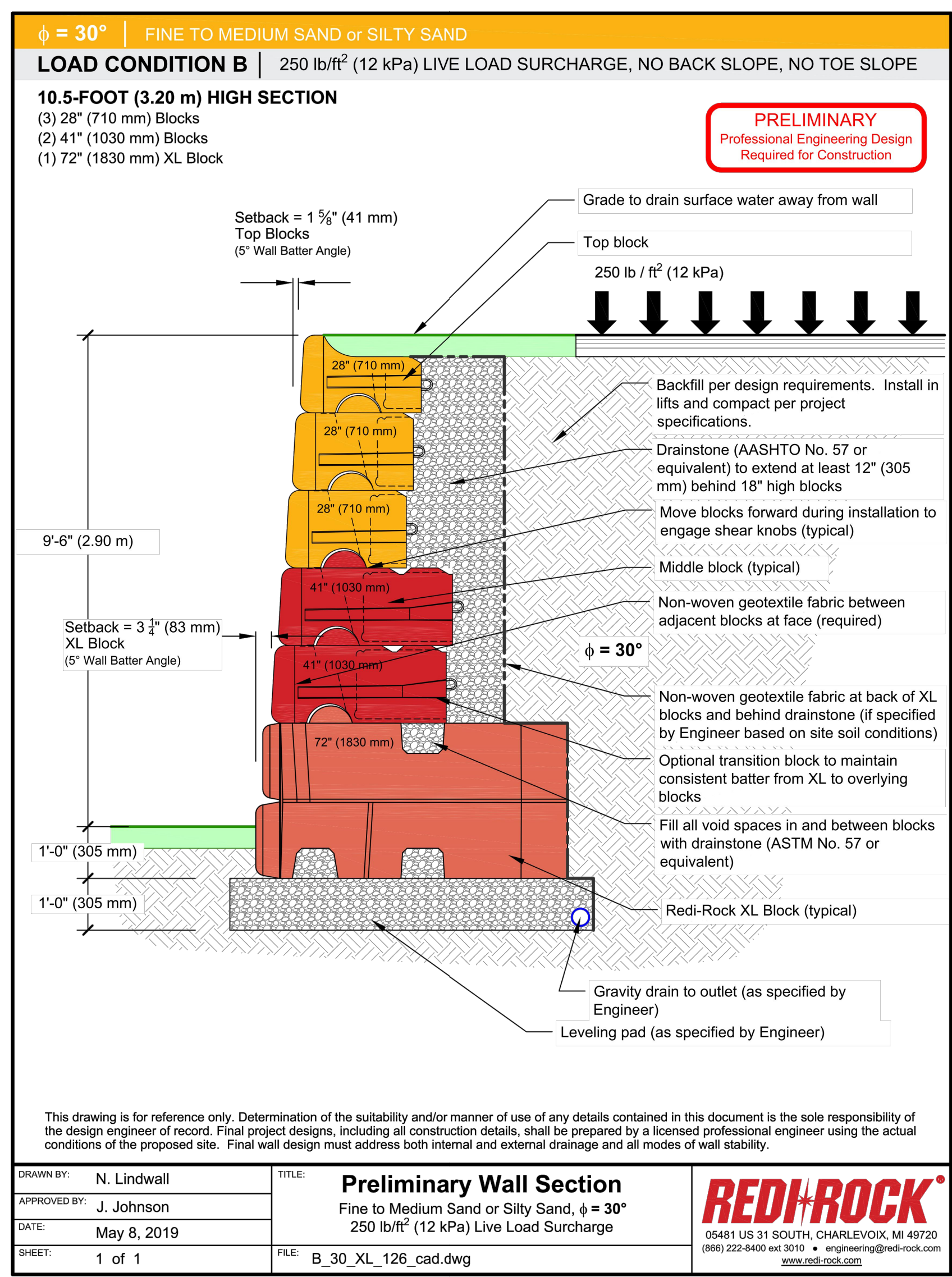
drawing revisions:

No.	Description	Date
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2	PER REVIEW CORRECT	05-11-2021

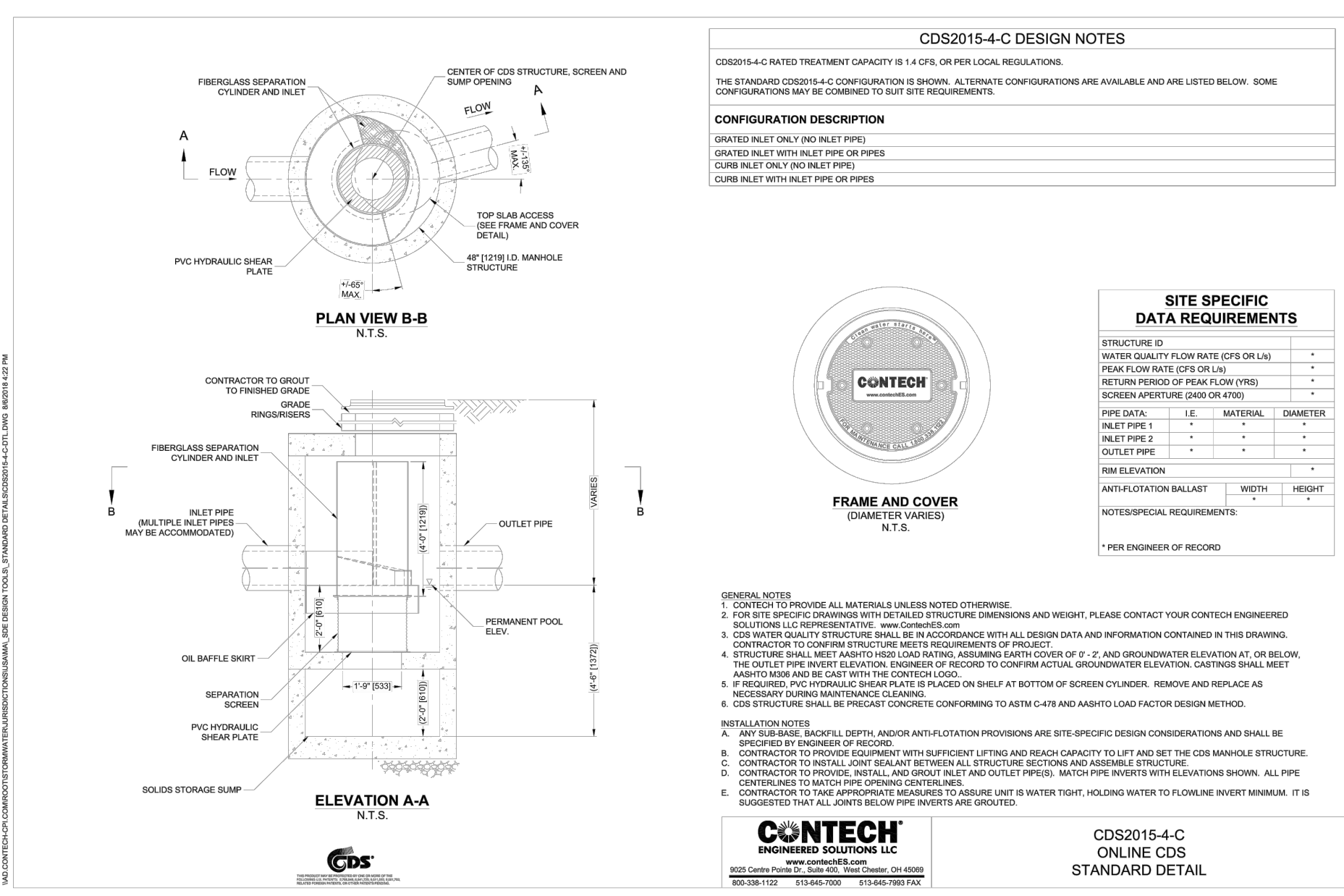


DETAILS

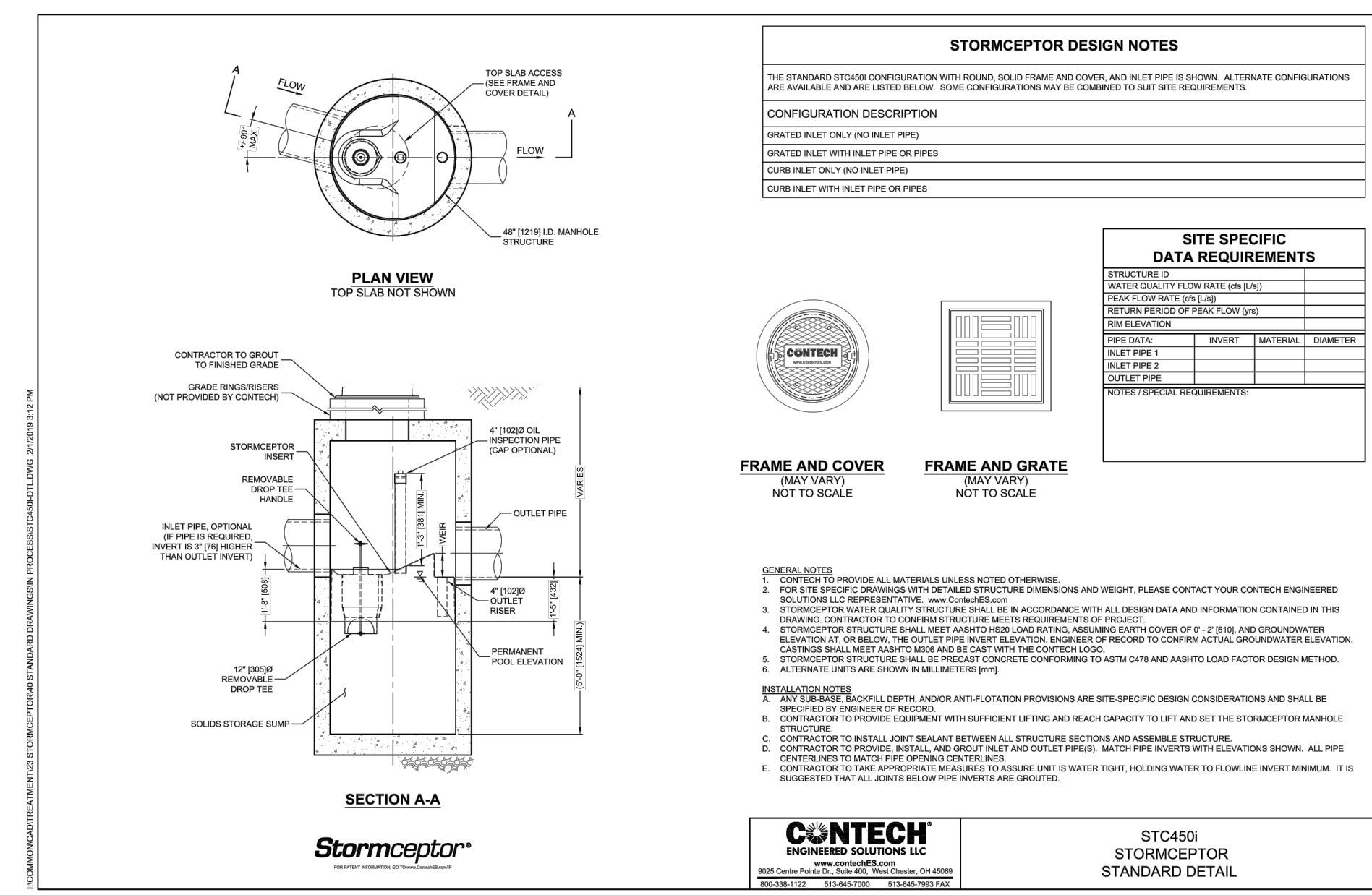
C-504



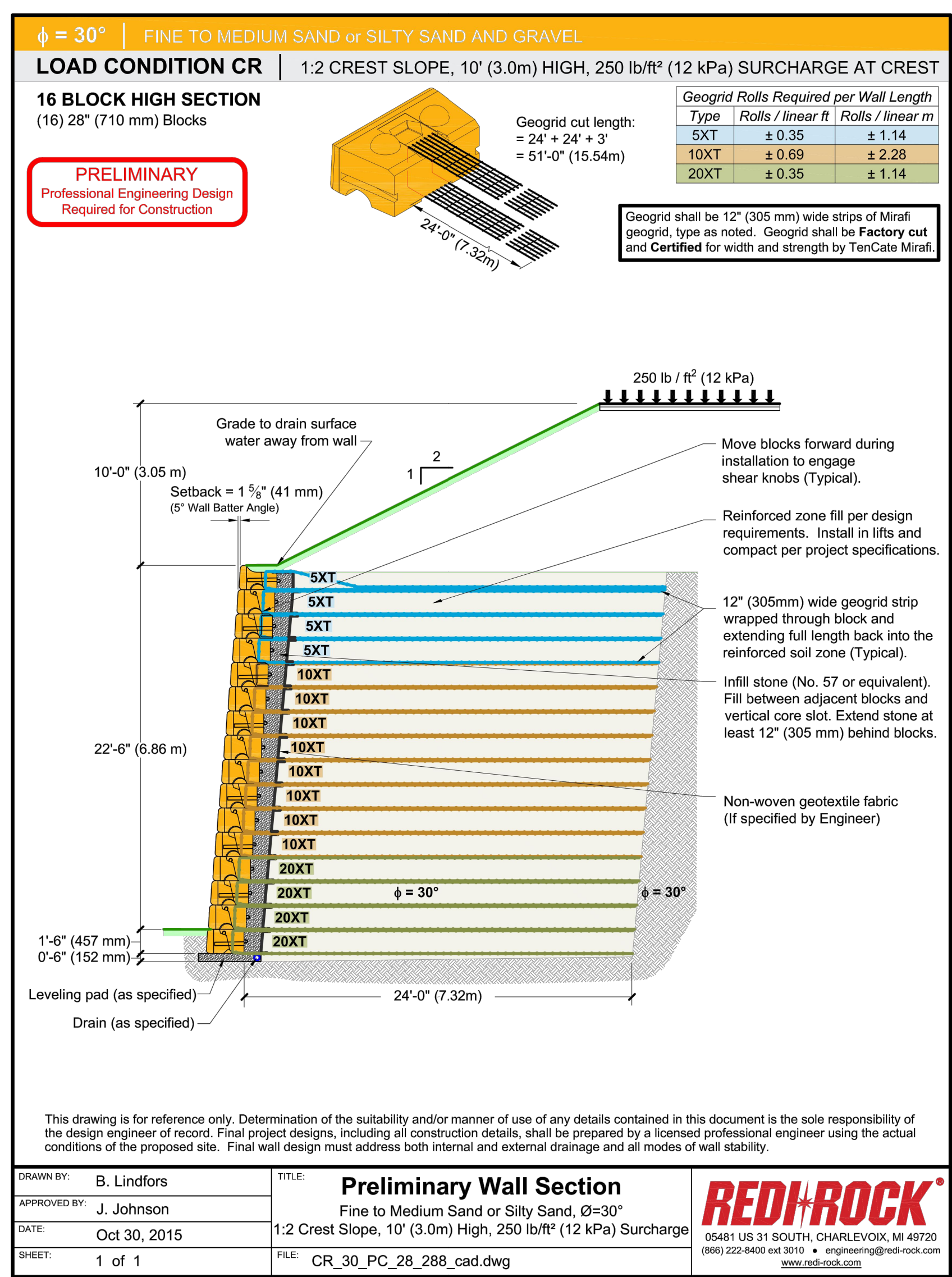
PRELIMINARY WALL SECTION DETAIL (1)  
 NOT TO SCALE



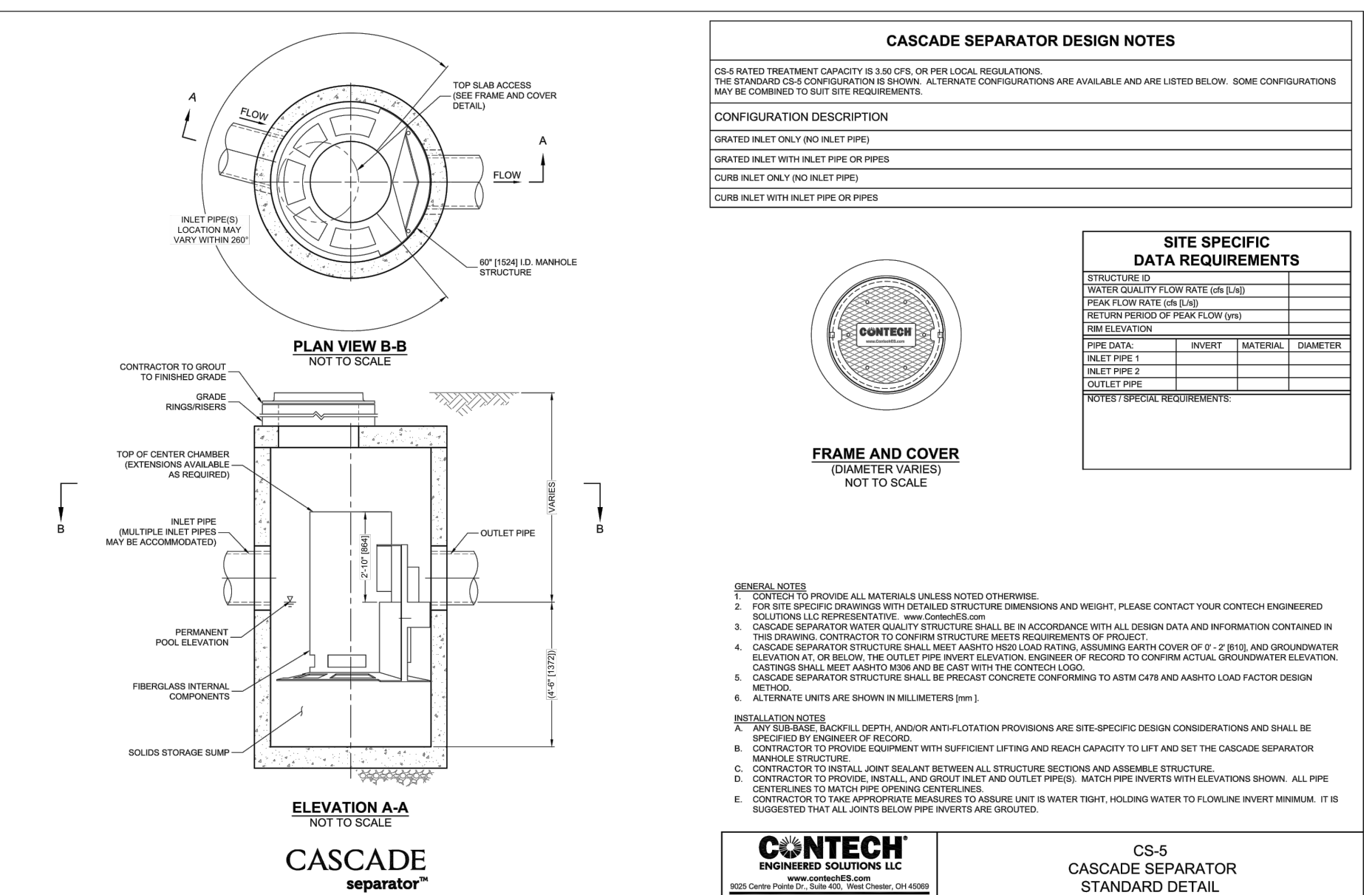
CONTECH CDS2015-4-C DETAIL  
 NOT TO SCALE



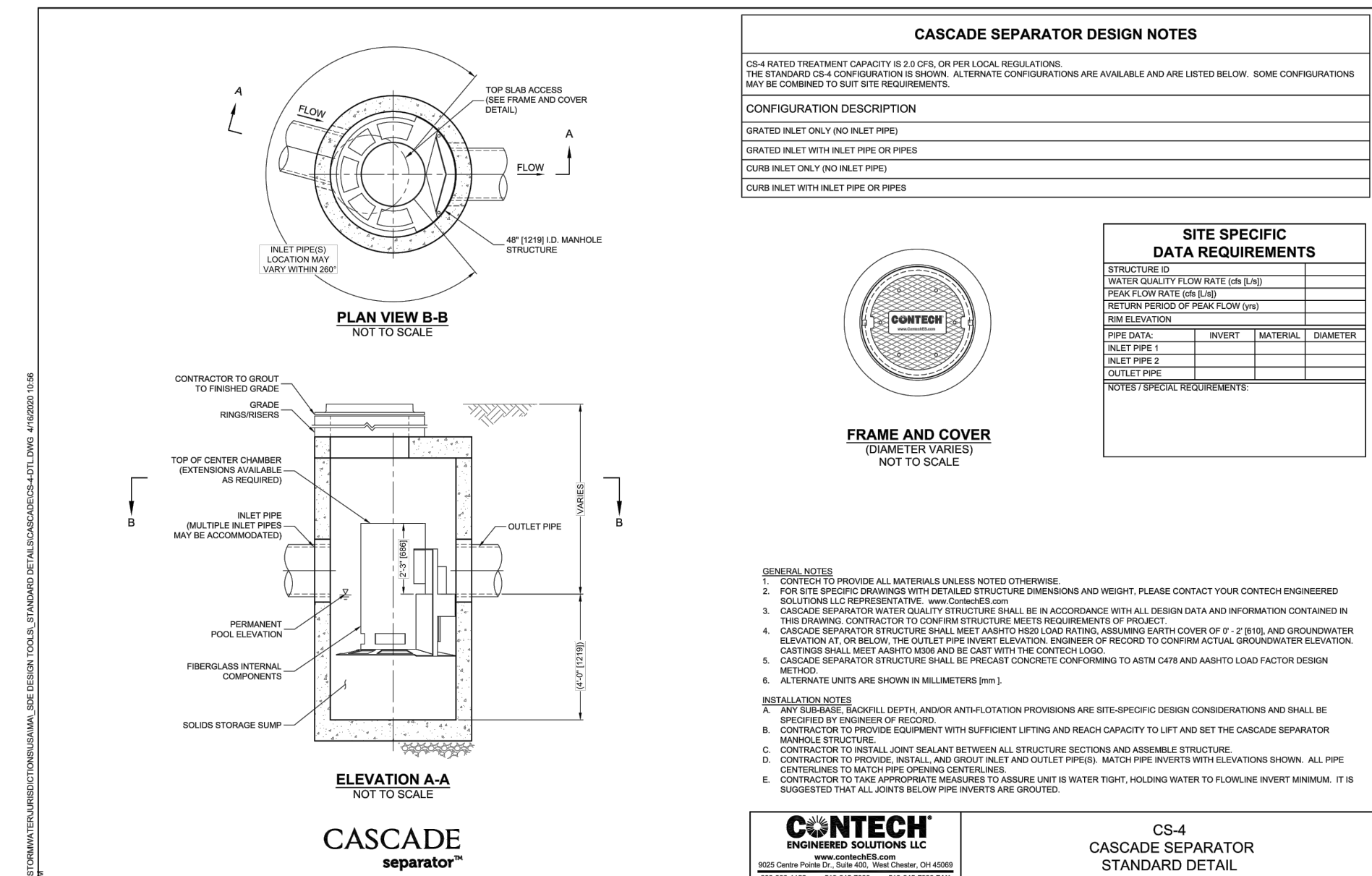
CONTECH STC450I DETAIL  
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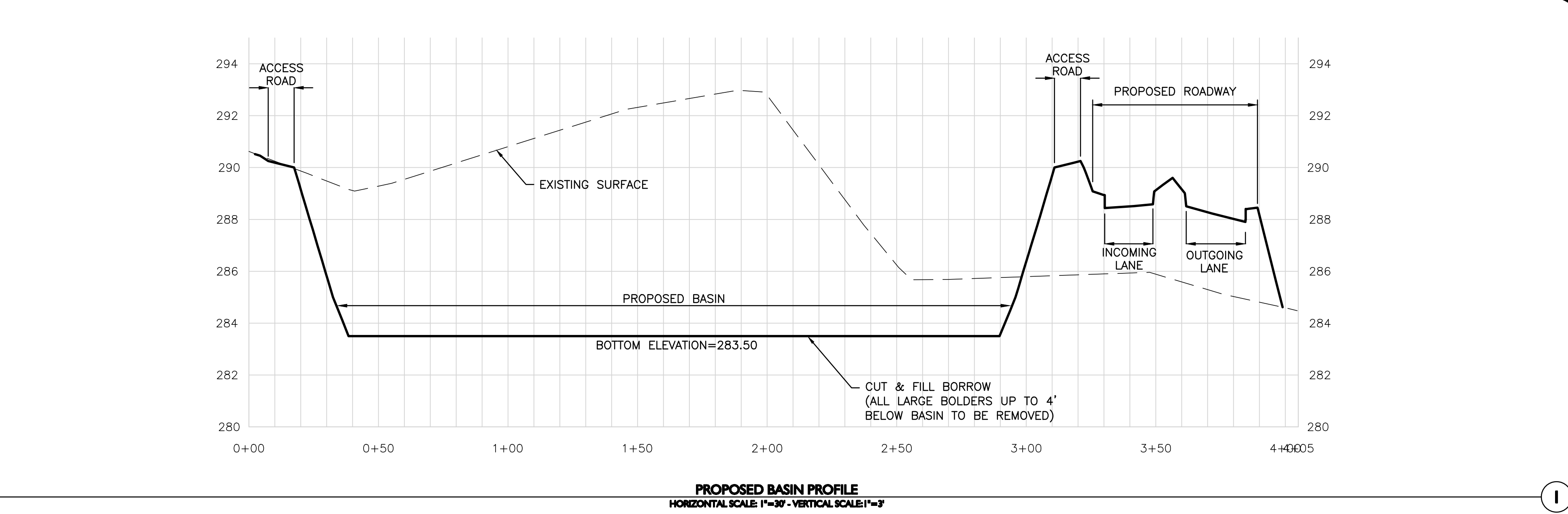
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CONTECH CS-5 DETAIL  
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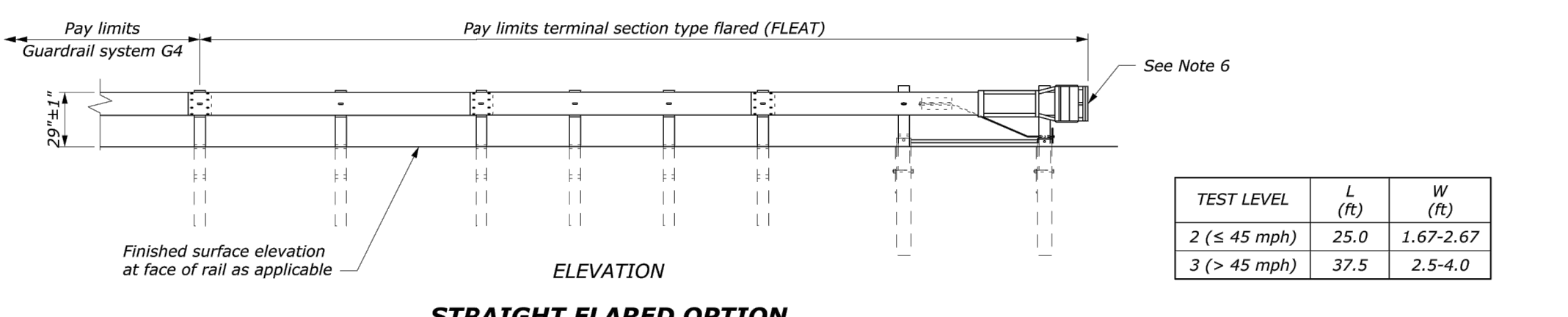
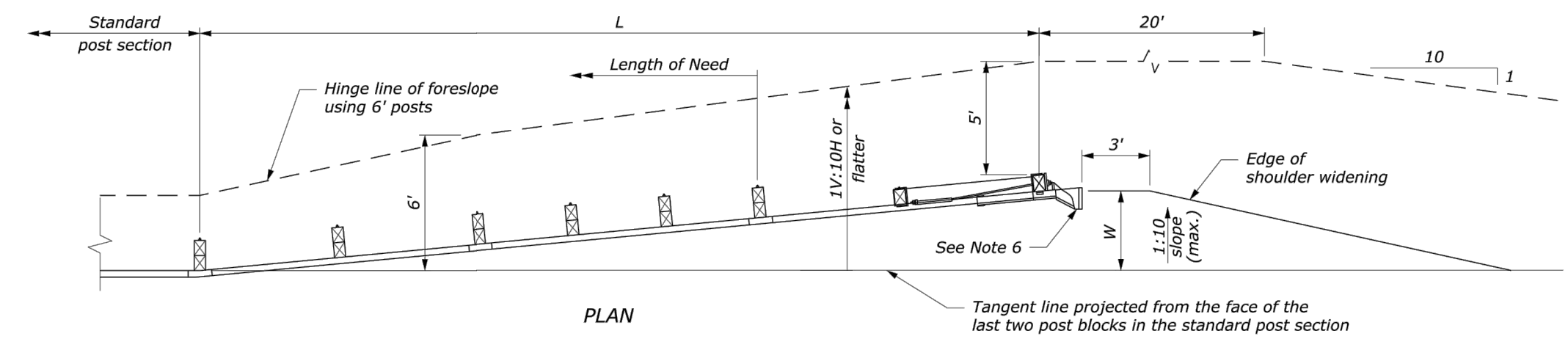
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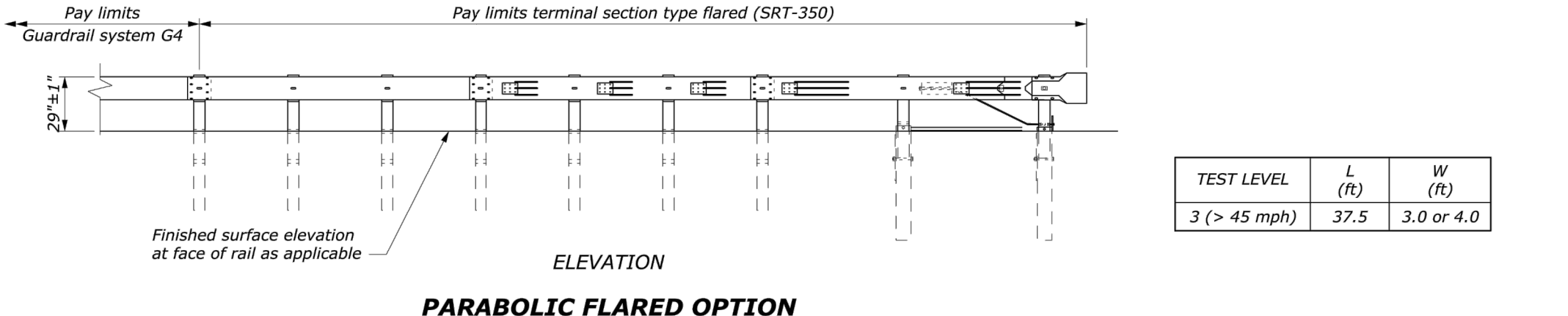
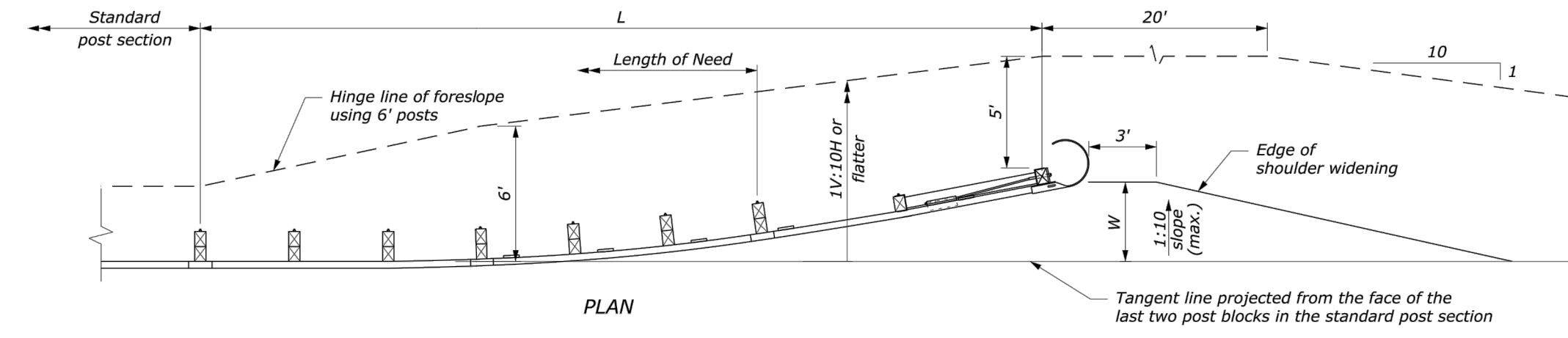
PROPOSED BASIN PROFILE  
 HORIZONTAL SCALE: 1"=30'-0" VERTICAL SCALE: 1"=3'-0"



No.	Description	Date
1	PER PER REVIEW	03-24-2021
2	PER PER REVIEW	05-11-2021



TEST LEVEL	L (ft)	W (ft)
2 (≤ 45 mph)	25.0	1.67-2.67
3 (> 45 mph)	37.5	2.5-4.0



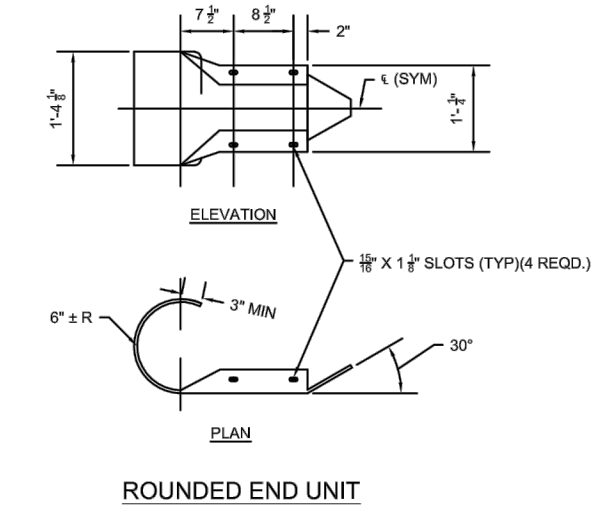
TEST LEVEL	L (ft)	W (ft)
3 (> 45 mph)	37.5	3.0 or 4.0

(ADAPTED FROM US DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION STANDARD 617-19)

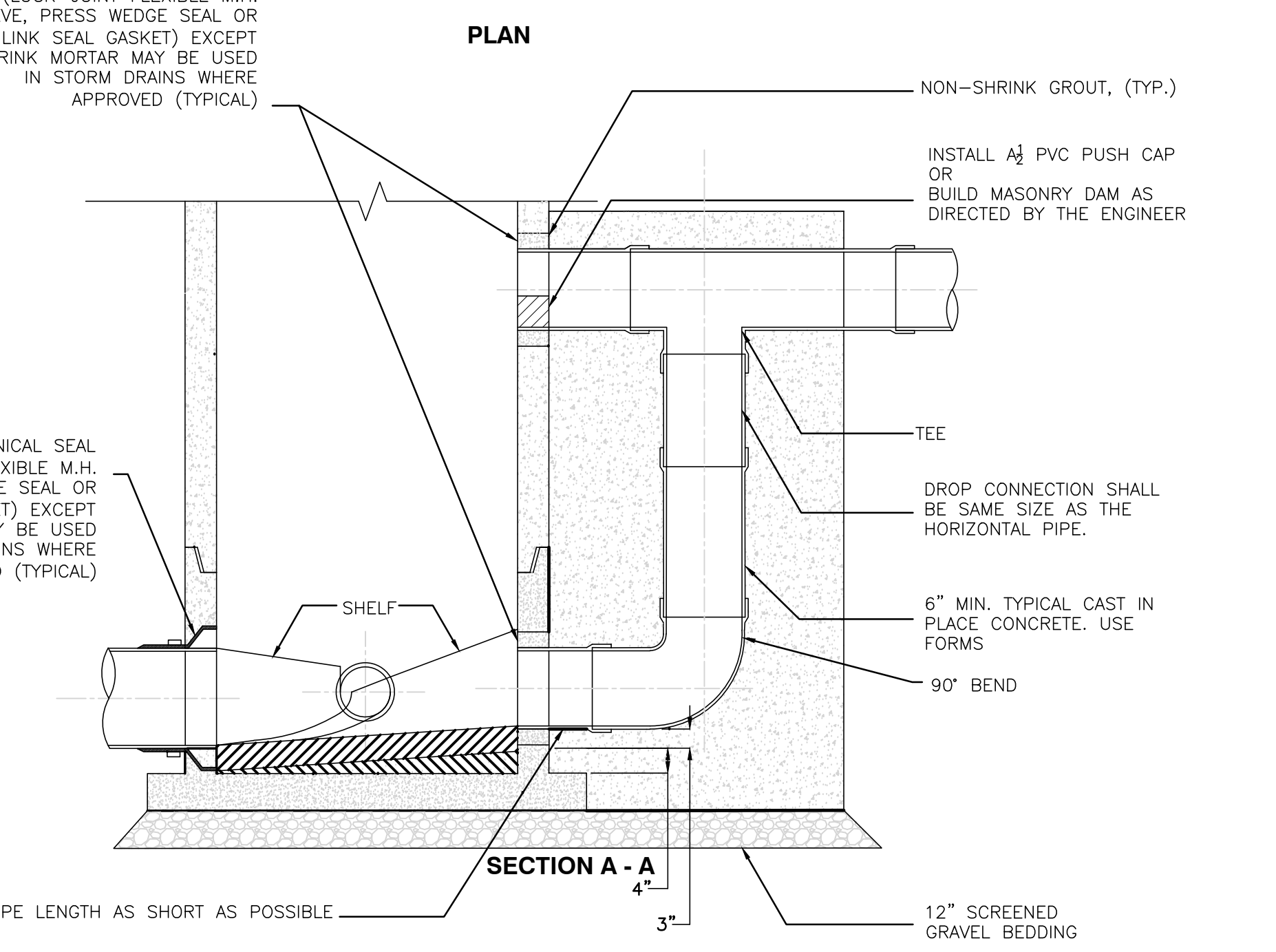
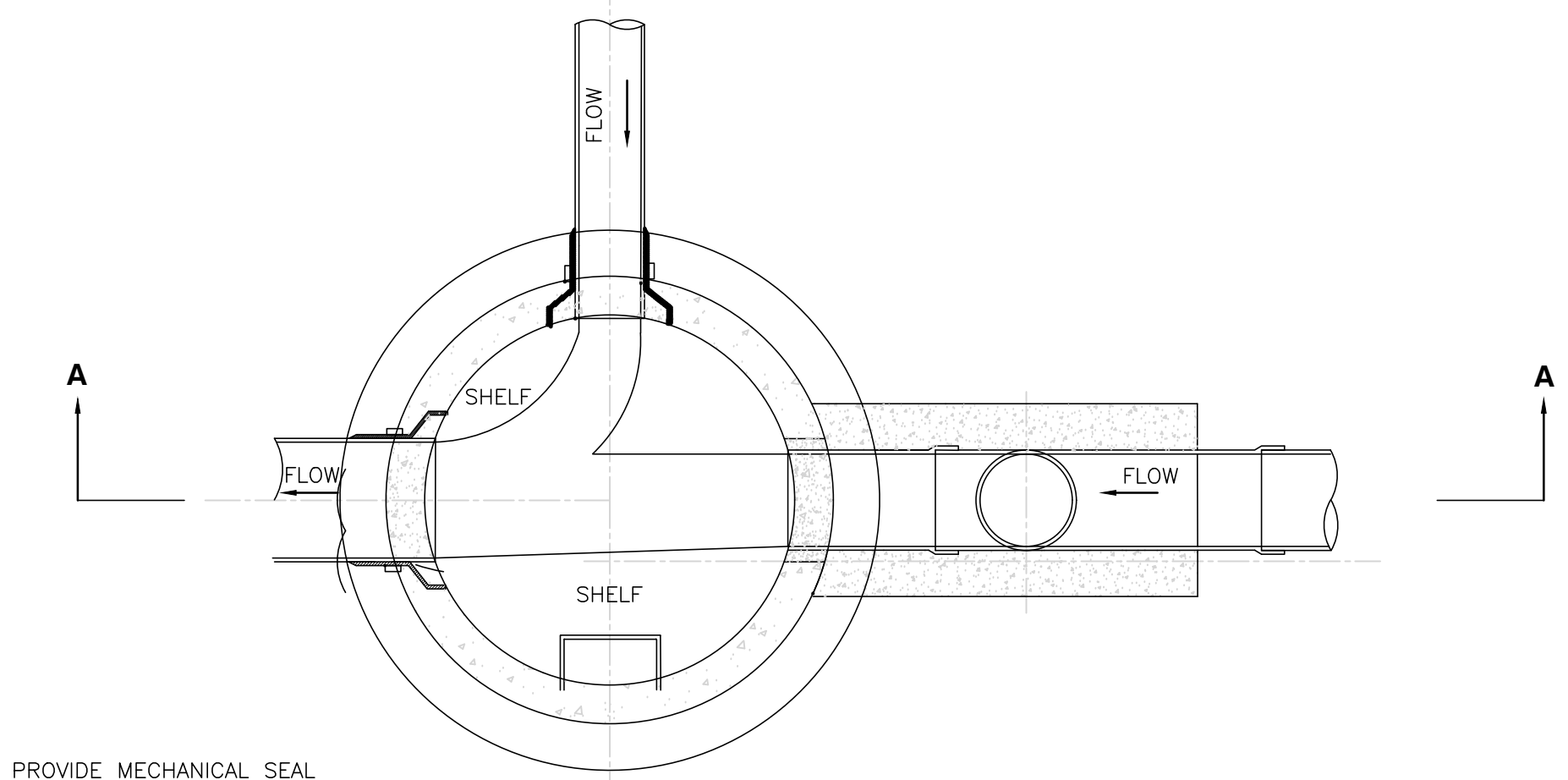
**GUARDRAIL TERMINAL END**  
 NOT TO SCALE

**NOTE:**

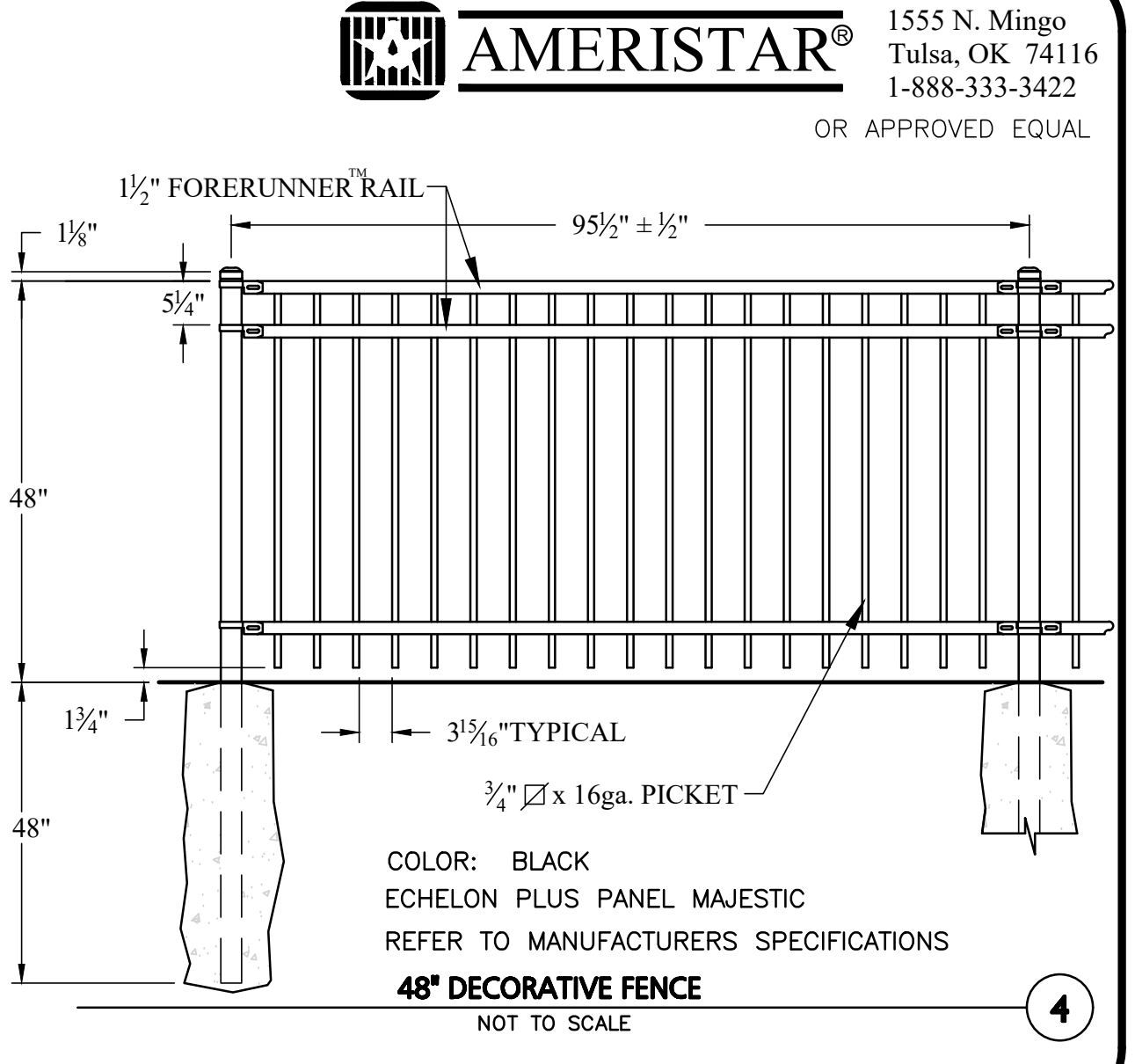
1. Use details shown as a general guide since manufacturer's details vary. Install a flared G4 W-beam guardrail terminal that meets ACRIP-350 or MASH requirements per manufacturer's recommendations. Ensure that terminal meets appropriate test level for the project.
2. When placing terminal on a curve and post offsets would result in the rail encroaching onto the shoulder (e.g., the inside of a curve), install the posts so that the face of the rail is at the edge of the shoulder.
3. Pave widened shoulder on both ends of guardrail runs when indicated on the plans.
4. See manufacturer's drawings for other details.
5. Construction of widening for terminal installation is incidental to the terminal.
6. A flat attenuator terminal head is shown. A rounded W-beam rail end section may be used.
7. Install a retroflected object marker according to the manufacturer's recommendations.



**ROUNDED END UNIT**



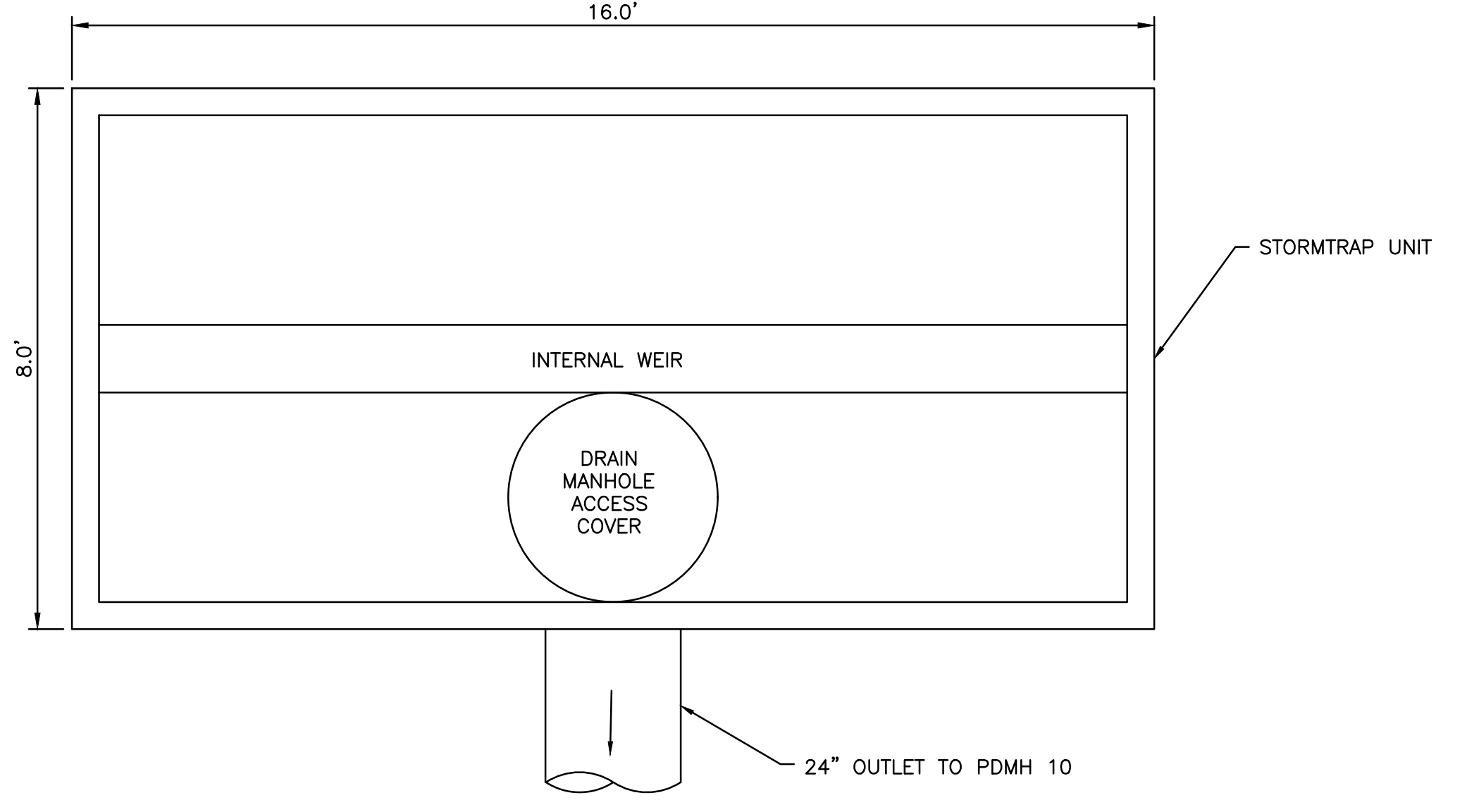
**EXTERNAL DROP MANHOLE**  
 NOT TO SCALE



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 Tulsa, OK 74116  
 1-888-333-3422  
 OR APPROVED EQUAL

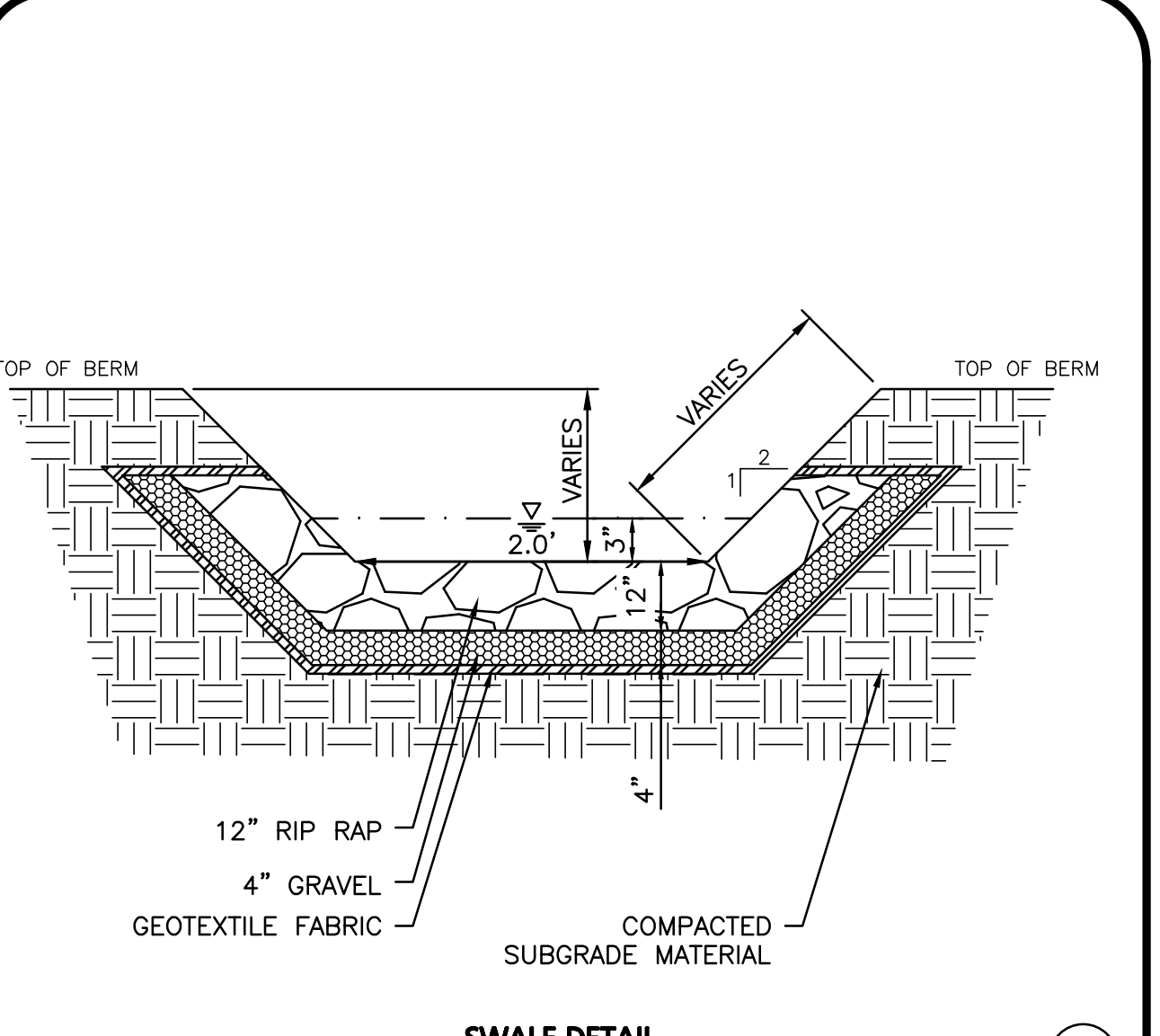
COLOR: BLACK  
 ECHELON PLUS PANEL MAJESTIC  
 REFER TO MANUFACTURER'S SPECIFICATIONS  
**48" DECORATIVE FENCE**

**4**



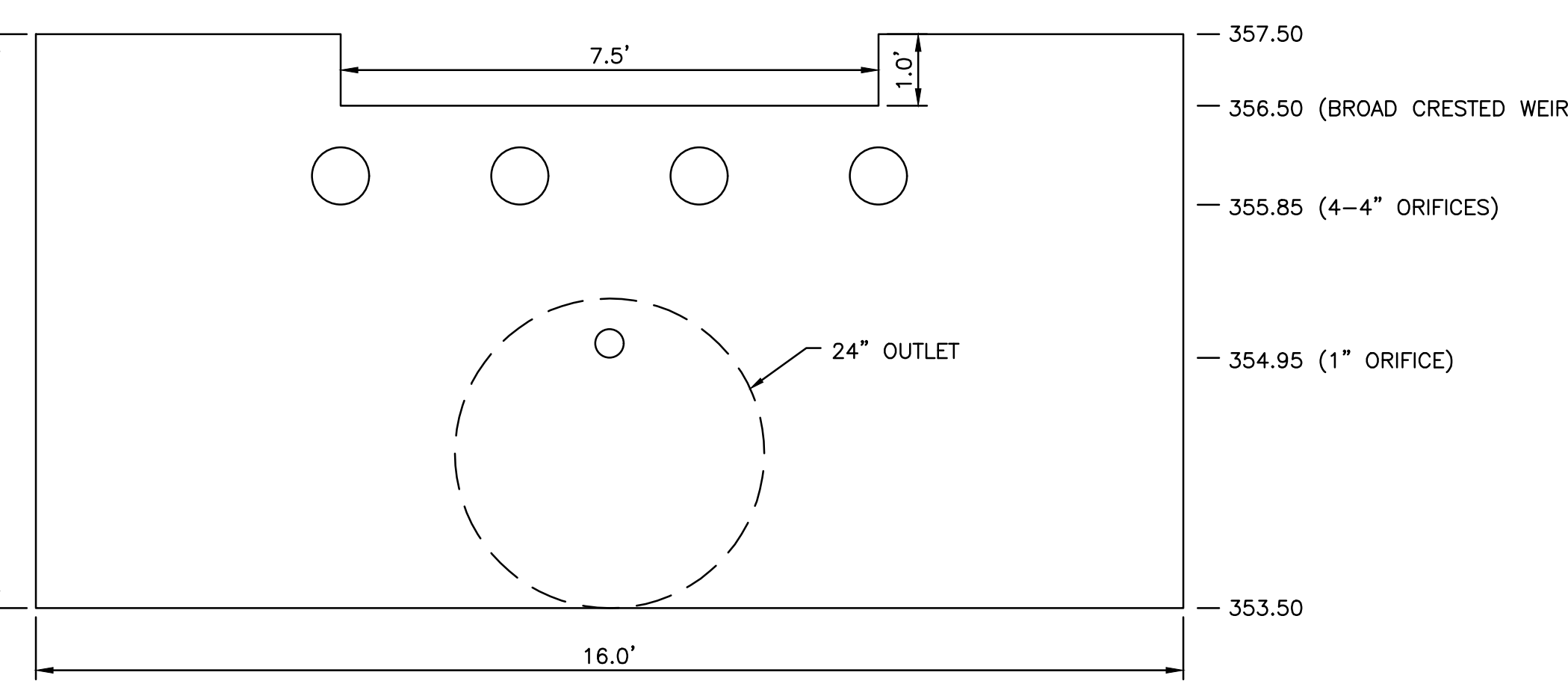
**STORMTRAP INTERNAL WEIR**  
 NOT TO SCALE

**2**



**SWALE DETAIL**  
 NOT TO SCALE

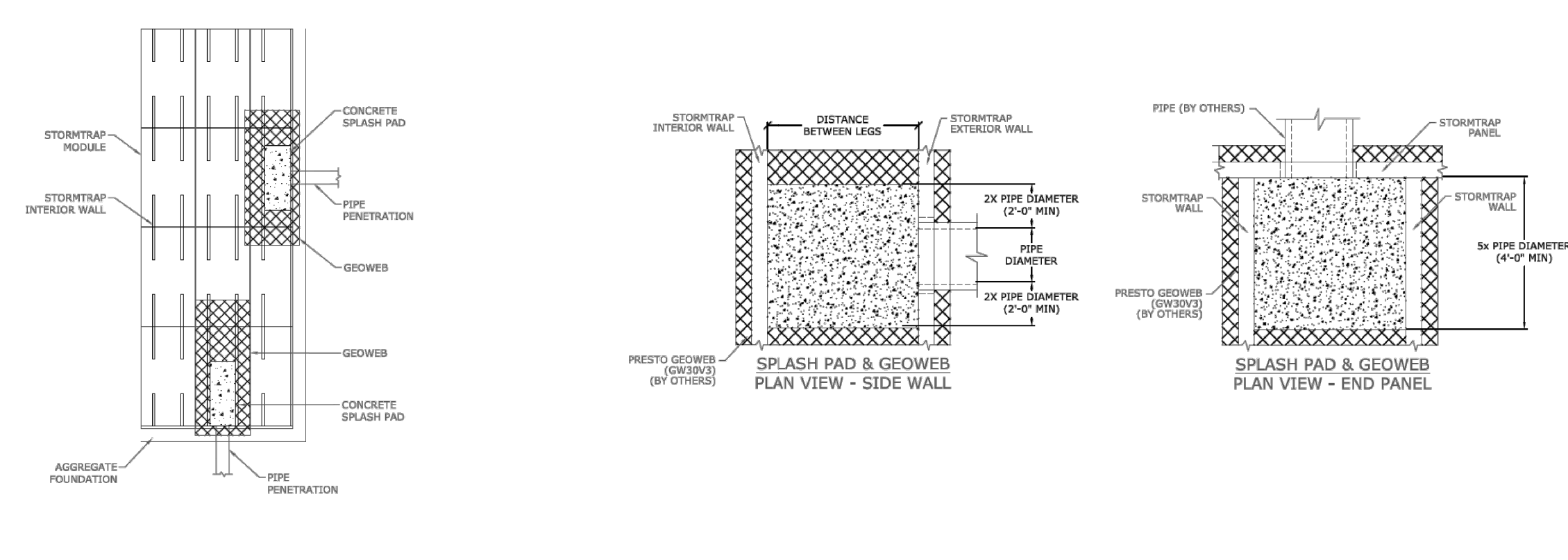
**3**



**NOTES:**

1. THE APPROVED GEOWEB SHALL BE PRESTO GEOWEB (GEOWEB); THE GEOWEB NOMINAL DIMENSIONS SHALL BE LEFT AS SHOWN.
2. THE CONCRETE SPLASH PAD AND GEOWEB SHALL BE INSTALLED PRIOR TO INSTALLATION OF THE STORMTRAP MODULE.
3. THE GEOWEB INFILL MATERIAL SHALL BE #5 AGGREGATE.
4. THE CONCRETE SPLASH PAD SHALL BE INSTALLED WITHIN THE GEOWEB AND IS REQUIRED AT ALL ENTRY LOCATIONS.
5. THE GEOWEB EDGE SHALL BE INSTALLED LEFT BEYOND THE OUTER PERIMETER OF THE STORMTRAP SYSTEM.
6. THE GEOWEB LONGITUDINAL DIMENSION (24" FT) SHALL BE INSTALLED PARALLEL TO THE STORMTRAP LEGS.
7. THE CONCRETE SPLASH PAD AND GEOWEB SHALL BE CENTERED AT THE PIPE PENETRATION.
8. REFER TO SPLASH PAD LAYOUT FOR CONCRETE SPLASH PAD DIMENSIONS.
9. IF ANY PRODUCT OTHER THAN PRESTO GEOWEB IS TO BE INSTALLED, THE PRODUCT MANUFACTURER IS REQUIRED TO SUBMIT A LETTER STATING THAT THE PRODUCT IS EQUAL OR BETTER THAN PRESTO GEOWEB, BOTH IN PERFORMANCE AND IN STRUCTURAL CAPACITY.

**SPLASH PAD CONFIGURATION**



**STORMTRAP SPLASH PAD & GEOWEB DETAILS**  
 NOT TO SCALE

**1**

**StormTrap®**  
 1-877-867-6872

**ENGINEER INFORMATION:**

PROJECT INFORMATION:  
 SINGLETRAP  
 INFILTRATION

CURRENT ISSUE DATE:

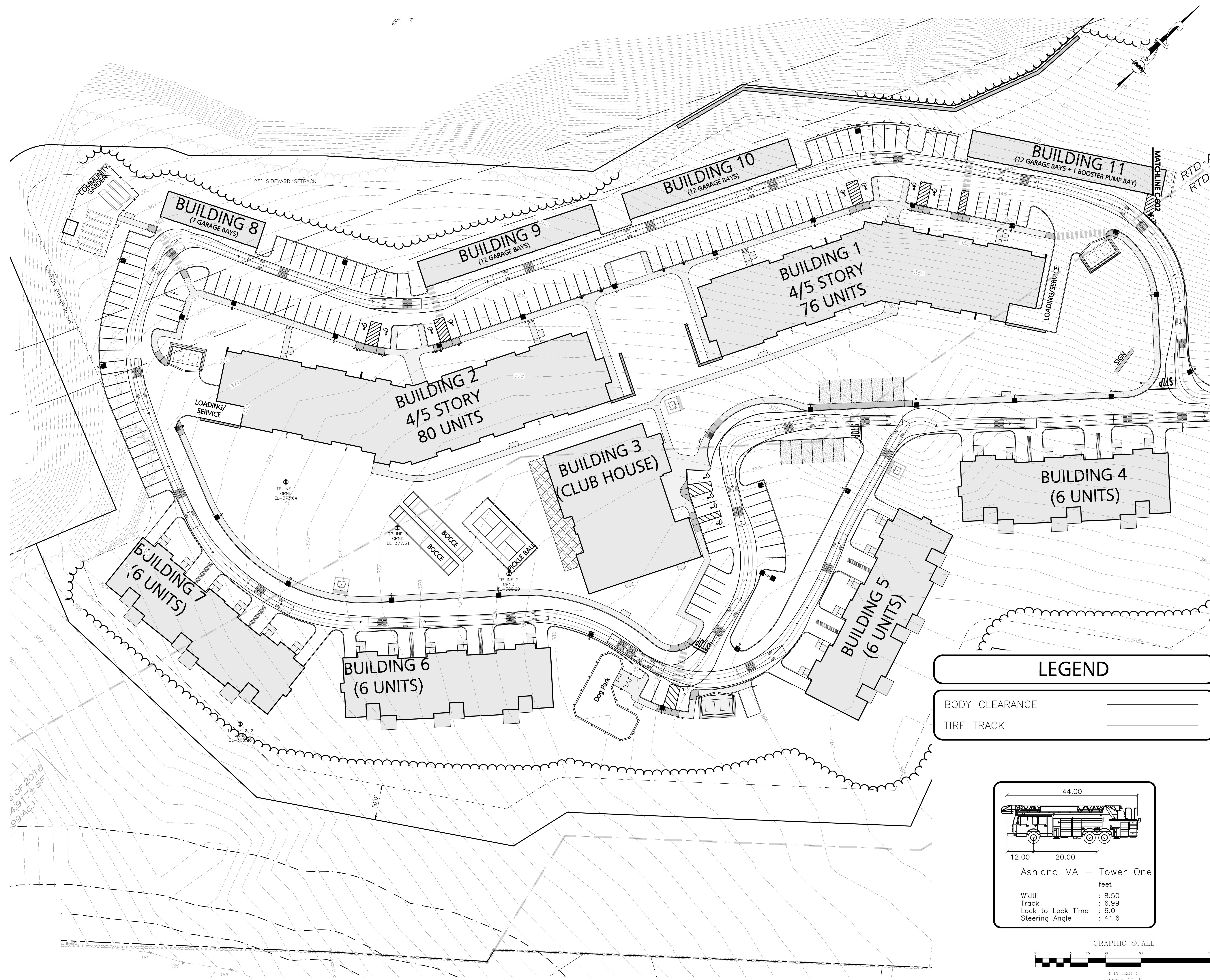
ISSUED FOR:  
 SAMPLE PROJECT

REV. DATE: ISSUED FOR: (MM/YY)

SCALE:  
 AS SHOWN

SHEET TITLE:  
**SPLASH PAD & GEOWEB DETAILS**

SHEET NUMBER:  
**6.0**



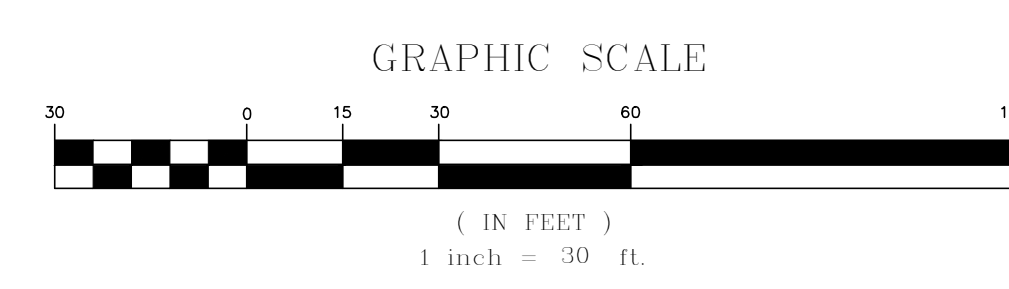
**LEGEND**

BODY CLEARANCE \_\_\_\_\_

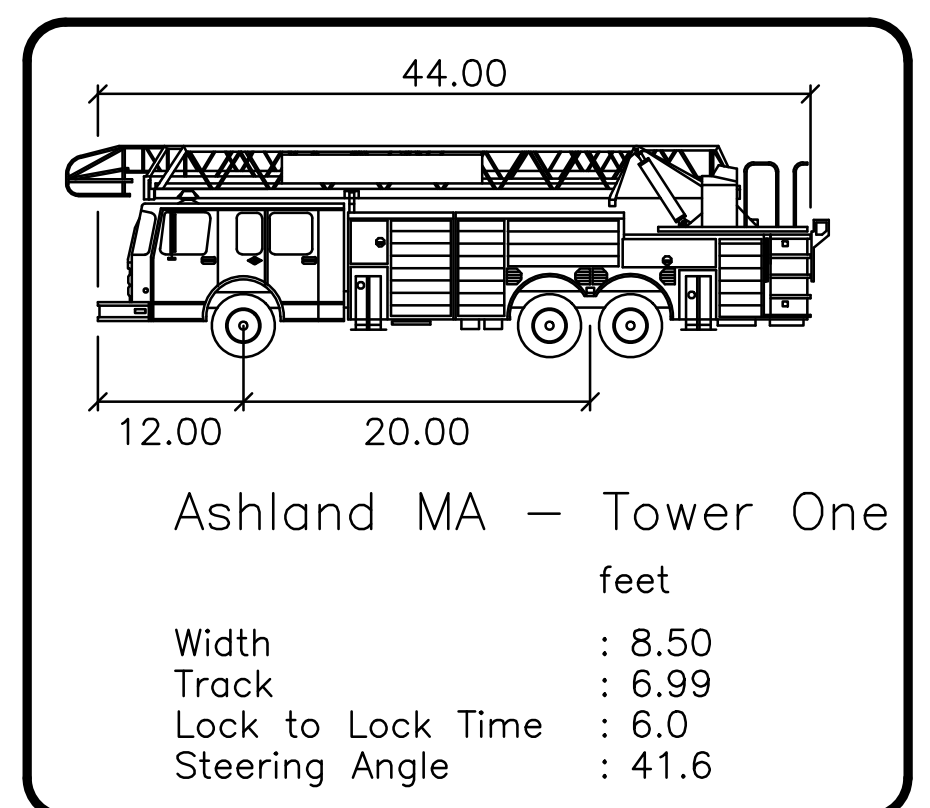
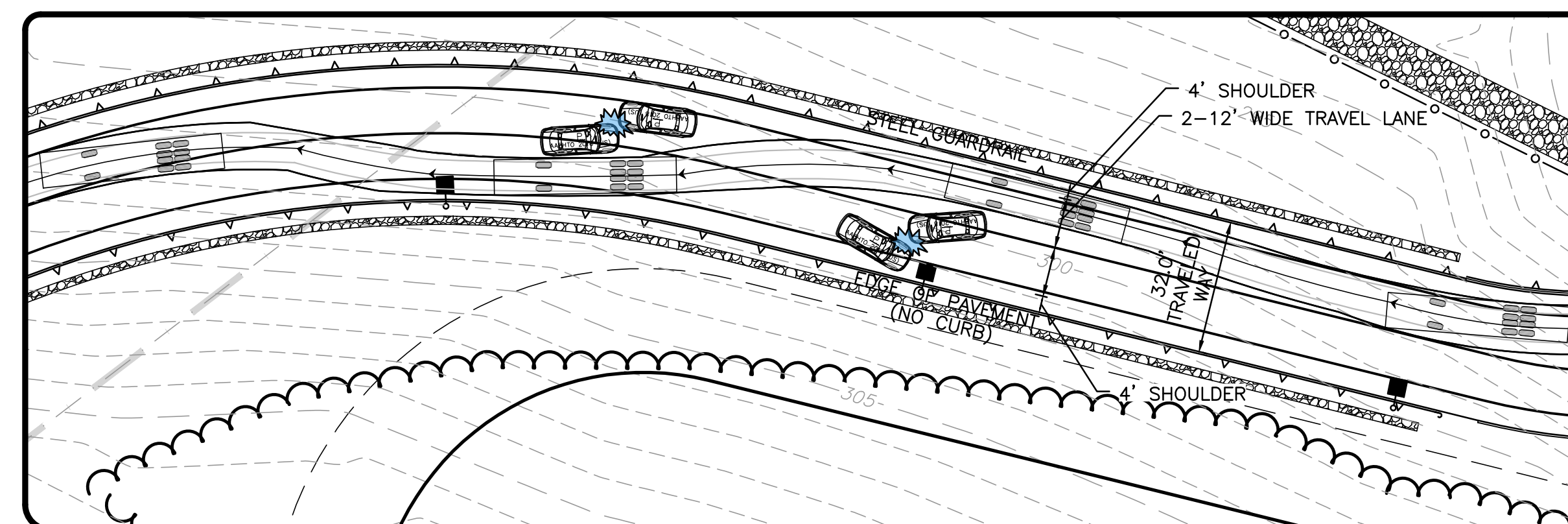
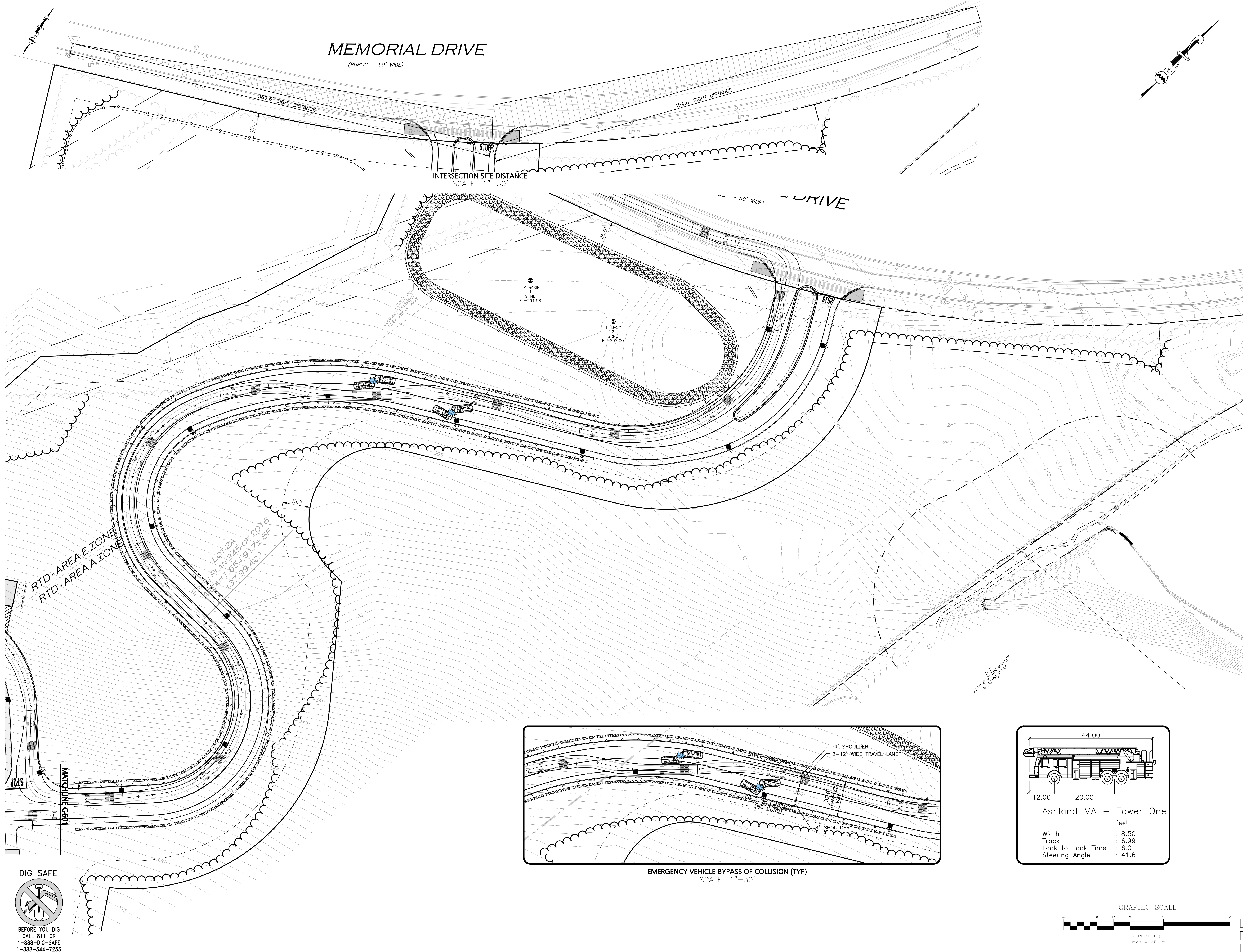
TIRE TRACK \_\_\_\_\_

Ashland MA - Tower One  
 feet

Width	: 8.50
Track	: 6.99
Lock to Lock Time	: 6.0
Steering Angle	: 41.6



**MEMORIAL DRIVE**  
 (PUBLIC - 50' WIDE)

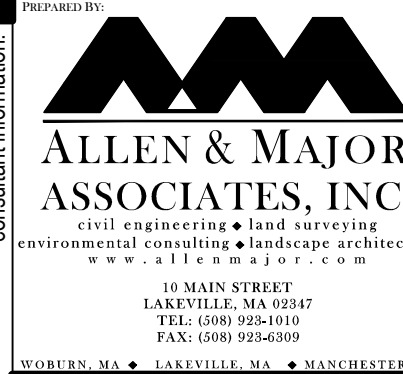


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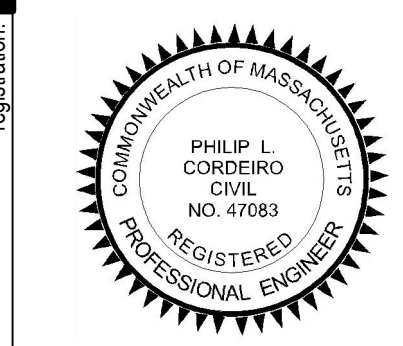
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 ALLEN & MAJOR ASSOCIATES, INC.

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drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1"=30'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

drawing revisions:

No.	Description	Date
1	ISSUED FOR PERMIT	03-24-2021
2	REVISIONS COMMENTS	05-11-2021

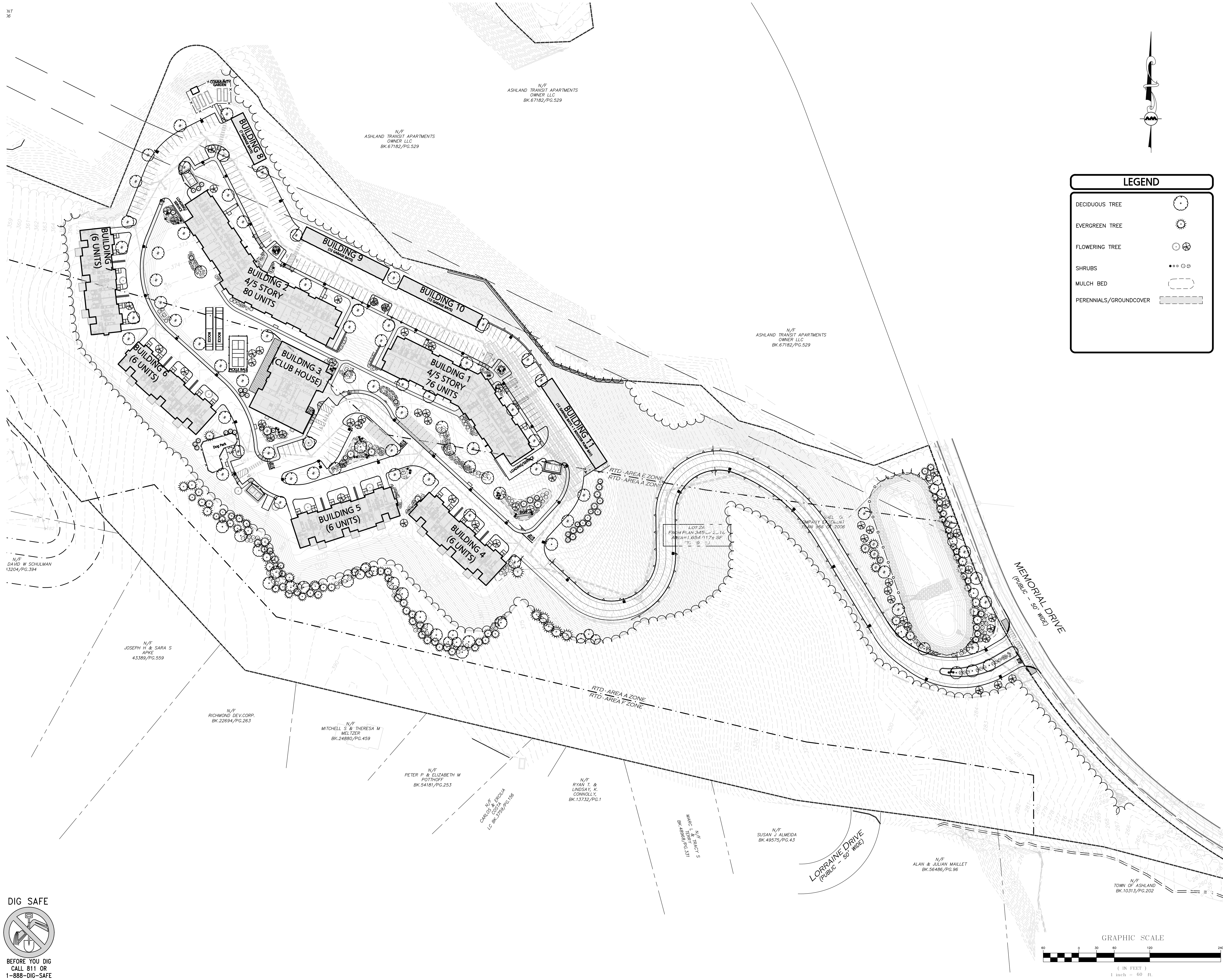


**VEHICLE MOVEMENT PLAN**

**C-602**



No.	Description	Date
1	PER PERMIT REVIEW	03-24-2021
2	PER PERMIT REVIEW	05-11-2021



**LEGEND**

- DECIDUOUS TREE
- EVERGREEN TREE
- FLOWERING TREE
- SHRUBS
- MULCH BED
- PERENNIALS/GROUNDCOVER

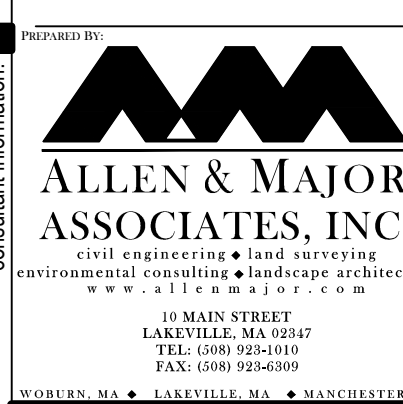
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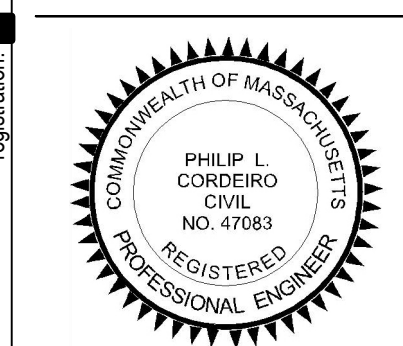
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drawing by: SL  
 drawing checked by: AD  
 drawing scale: 1" = 30'  
 drawing date: 04 SEPTEMBER 2020  
 project number: 19021.00

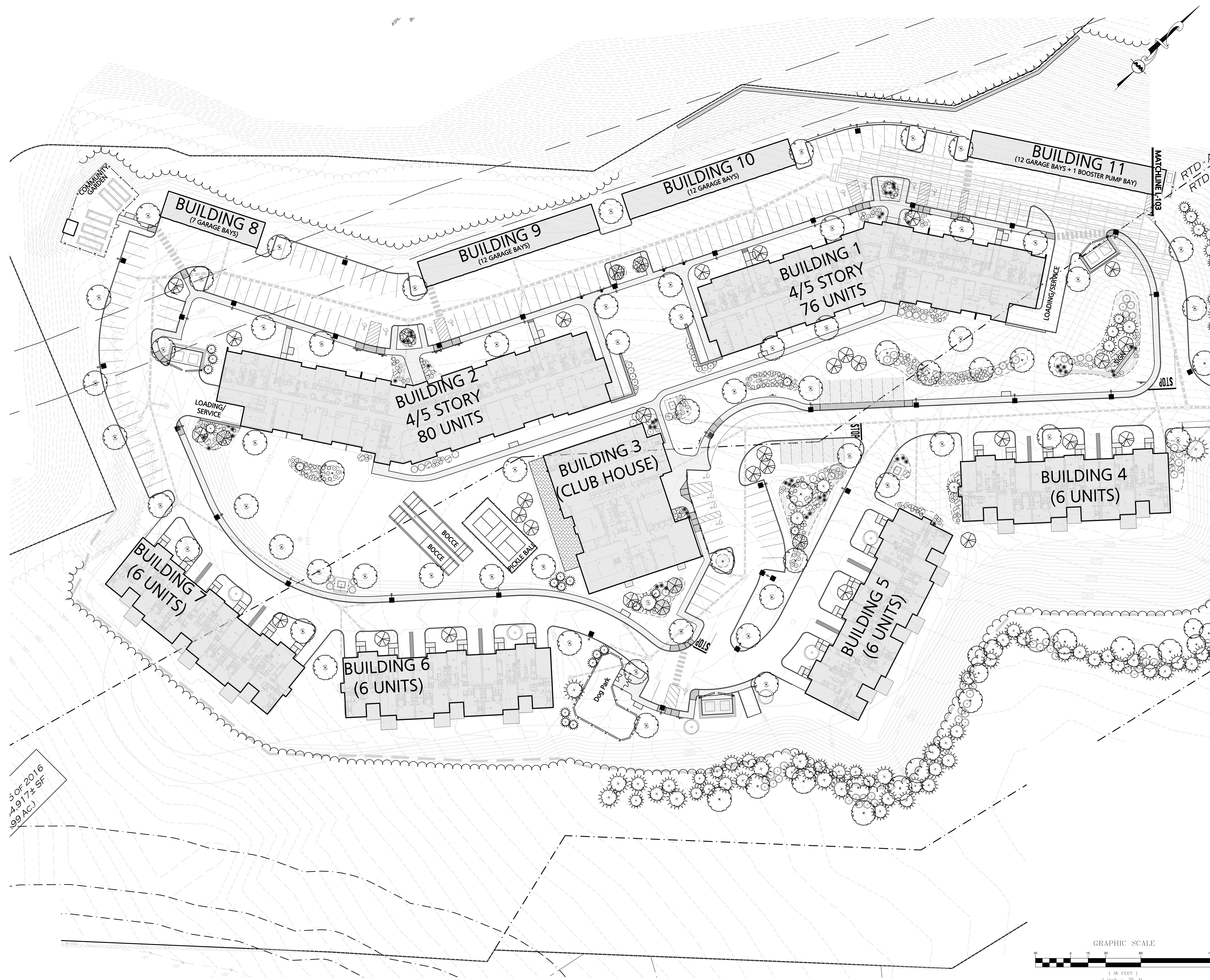
drawing revisions:

No.	Description	Date
1	PREPARED FOR CONSTRUCTION	03-24-2021
2	REVISIONS COMMENTS	05-11-2021



**LANDSCAPE  
 PLAN**

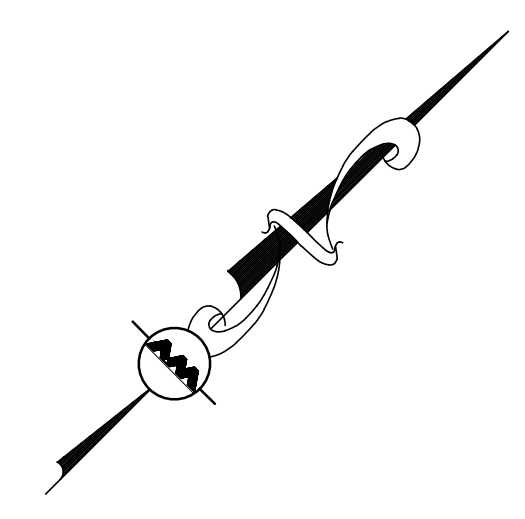
**L-102**



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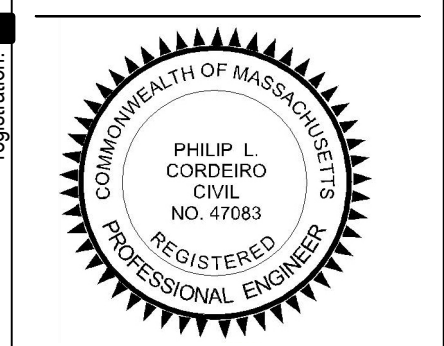
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drawing by: SL  
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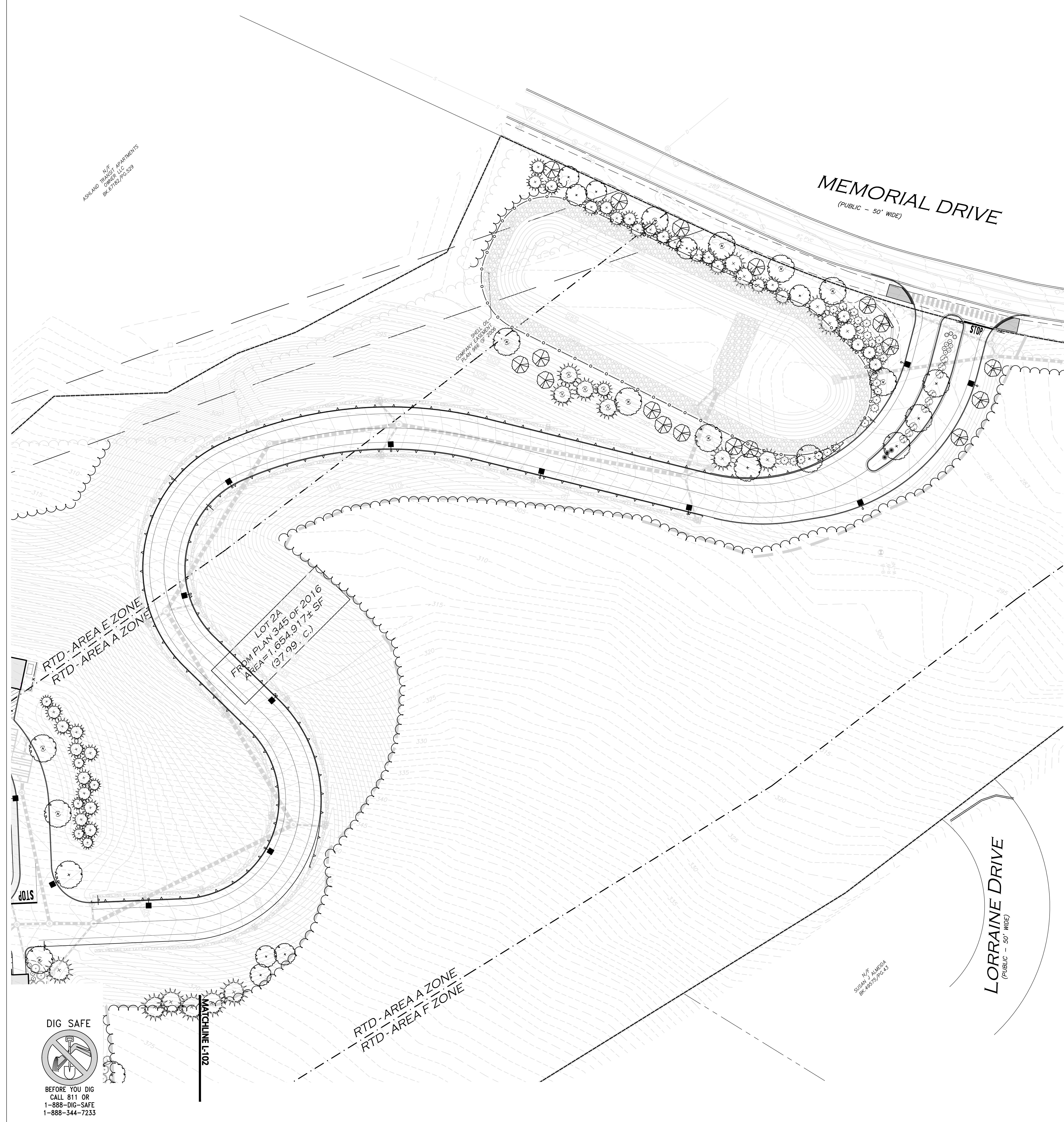
drawing revisions:

No.	Description	Date
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2	REVISIONS	05-11-2021



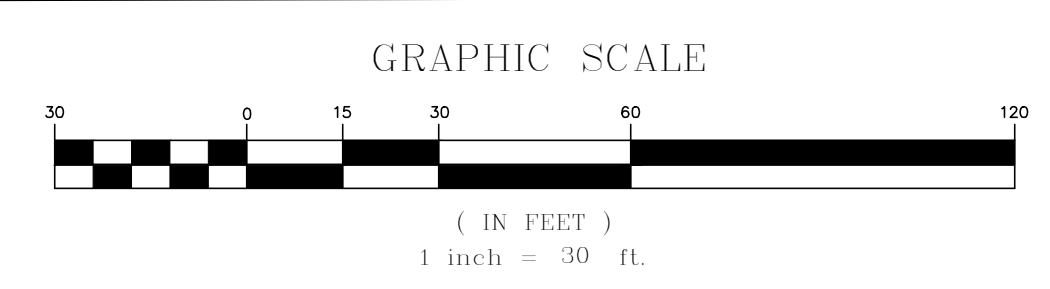
**LANDSCAPE PLAN**

**L-103**



**PLANTING SCHEDULE - TREES, SHRUBS, GROUNDCOVERS & PERENNIALS**

DECIDUOUS AND FLOWERING TREES						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
AF	0	ACER RUBRUM 'REDPOINTE'	REDPOINTE MAPLE	2.5-3" CAL.	AS SHOWN	B&B
AR	0	ACER RUBRUM 'KARPICK'	KARPICK RED MAPLE	2.5-3" CAL.	AS SHOWN	B&B
AG	0	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2.5-3" CAL.	AS SHOWN	B&B, MATCHED
BN	0	BETULA NIGRA 'DURA HEAT'	DURA HEAT RIVER BIRCH	12-14" HT.	AS SHOWN	B&B, MULTISTEM, MATCHED
MG	0	MALUS 'GLADIATOR'	COLUMNAR GLADIATOR CRABAPPLE	2.5-3" CAL.	AS SHOWN	B&B- SPECIMEN
PC	0	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2.5-3" CAL.	AS SHOWN	B&B- SPECIMEN
QB	0	QUERCUS BICOLOR	SWAMP WHITE OAK	2.5-3" CAL.	AS SHOWN	B&B
QP	0	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR FASTIGIATE OAK	2.5-3" CAL.	AS SHOWN	B&B
NS	0	NYSSA SYLVATICA 'GREEN GABLE'	GREEN GABLE TUPELO	2.5-3" CAL.	AS SHOWN	B&B
EVERGREEN TREES						
AC	0	ABIES CONCOLOR	WHITE FIR	7-8' HT.	AS SHOWN	B&B
CN	0	CHAMAECYPARIS NOOTKATENSIS 'GLAUCA PENDULA'	WEeping ALASKAN CEDAR	8-10' HT.	AS SHOWN	B&B
PS	0	PINUS STROBUS	WHITE PINE	7-8' HT.	AS SHOWN	B&B
TP	0	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT WESTERN ARBORVITAE	8-10' HT.	AS SHOWN	B&B
SHRUBS						
BG	0	BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	2-2.5'	AS SHOWN	B&B
CA	0	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	SIXTEEN CANDLES SUMMERSWEET	#7	AS SHOWN	POT
CI	0	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#7	AS SHOWN	POT
FG	0	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	2-2.5'	AS SHOWN	B&B
HY	0	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME PANICLE HYDRANGEA	2-2.5'	AS SHOWN	B&B
IG	0	ILEX GLABRA 'DENSE'	DENSE INKBERRY	2-2.5'	AS SHOWN	B&B
MP	0	MYRICA PENNSYLVANICA	BAYBERRY	2.5-3' HT.	AS SHOWN	B&B
PJM	0	RHODODENDRON 'PJM'	PJM RHODODENDRON	2.5-3' HT.	AS SHOWN	B&B
RA	0	RHUS AROMATICA 'GRO-LOW'	GROW LOW FRAGRANT SUMAC	2.5-3' HT.	AS SHOWN	B&B
RK	0	ROSA BLUSHING KNOCK OUT	BLUSHING KNOCK OUT ROSE	#3	AS SHOWN	POT
RR	0	ROSA WHITE OUT KNOCK OUT	WHITE KNOCK OUT ROSE	#3	AS SHOWN	POT
SV	0	SYRINGA VULGARIS 'OLD GLORY'	OLD GLORY LILAC	3-4' HT.	AS SHOWN	B&B
VJ	0	VIBURNUM JUDDII	JUDD VIBURNUM	3-4' HT.	AS SHOWN	B&B
PERENNIALS/GRASSES						
AB	0	AMSONIA 'BLUE ICE'	BLUE ICE BLUESTAR FLOWER	#2	24" O.C.	STAGGERED
AH	0	AMSONIA HUBRICHII	THREAD-LEAFED BLUESTAR	#2	24" O.C.	STAGGERED
CK	0	CALAMAGROSTIS 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#2	24" O.C.	STAGGERED
PV	0	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#3	30" O.C.	STAGGERED
DP	0	DENSTEADTIA PUNCTILOBA	HAYSCENTED FERN	#2	24" O.C.	STAGGERED
DS	0	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#2	24" O.C.	STAGGERED
EP	0	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#2	24" O.C.	STAGGERED
LB	0	LEUCANTHEMUM SUPERBUM 'BECKY'	BECKY SHASTA DAISY	#2	24" O.C.	STAGGERED
LS	0	LIRIOPE SPICATA	LILYTURF	#2	24" O.C.	STAGGERED
NW	0	NEPETA 'WALKER'S LOW'	WALKER'S LOW CATMINT	#2	24" O.C.	STAGGERED
RF	0	RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK EYED SUSAN	#1	24" O.C.	STAGGERED



drawing revisions:		
No.	Description	Date
1	PRELIMINARY	03-24-2021
2	REVISIONS	05-11-2021



TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 um	LESS THAN 5%

**TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS**  
 NOT TO SCALE

- NOTES:
- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
  - ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIBILE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ANAEROBIC SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLODS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEIOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
  - THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
  - TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

**EVERGREEN TREE DETAIL**  
 NOT TO SCALE

NOTES:

- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
- INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
- ATTACH GUYS AT 2/3 HEIGHT OF TREE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

**DECIDUOUS TREE DETAIL**  
 NOT TO SCALE

NOTES:

- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

**SHRUB PLANTING DETAIL**  
 NOT TO SCALE

NOTES:

- ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
- BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
- ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
- SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.

**TEMP. CONST. FENCE / TREE PROTECTION**  
 NOT TO SCALE

NOTE:

- CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.
- IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE TRUNKS AND DRIPLINE.

**LANDSCAPE STONE AROUND BUILDING DETAIL**  
 NOT TO SCALE

**Tropical Smoothie**  
 NEW in Color Culture This Year!

**PROVEN WINNERS ANNUALS FOR POTS OR EQUAL**  
 NOT TO SCALE

**NOT USED**  
 NOT TO SCALE

**APPROXIMATE IRRIGATION AREAS**  
 SCALE: 1" = 100'-0"



