



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

Key Plan

Civil Notes, Legends and Abbreviations

Drawn By NJB	Project ID 1914.00
Reviewed By BMV/JEC	Scale NOT TO SCALE
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C1.0

DEMOLITION NOTES:

- SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
- THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OFFSITE BY CONTRACTOR.
- UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATERTIGHT BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.
- UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
- UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
- UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
- ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OFFSITE.
- AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY AGENS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
- EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
- REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
- ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.
- BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
- THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.

EROSION AND SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT MASS GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
- SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
- ALL STOCK PILES SHALL BE PROTECTED AND LOCATED A MINIMUM OF 100' FROM EXISTING WETLAND RESOURCE AREAS & WITHIN THE LIMIT OF WORK.
- ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OFFSITE.
- TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENIED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
- THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE TOWN OF ASHLAND CONSERVATION AGENT. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

GENERAL NOTES:

- TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED "PRELIMINARY EXISTING CONDITIONS PLAN", PREPARED BY NITSCH ENGINEERING, DATED NOVEMBER 13, 2019.
- FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 250170054F. THE SITE IS IN ZONE X AND ZONE AE.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
- THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACOBS' LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCH ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
- THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
- ELEVATIONS REFER TO NAVD83.
- THE CONTRACTOR SHALL COMPLY WITH THE ORDER OF CONDITIONS DATED XXXX XX, XXXX AND ISSUED BY THE ASHLAND CONSERVATION COMMISSION (DEP #XXX-XXX).
- FOR SOIL INFORMATION REFER TO GEOTECHNICAL REPORT.

UTILITY NOTES:

- ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVING BUILDINGS AND FACILITIES WITHIN OR OUTSIDE THE PROJECT LIMIT UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE OWNER.
- ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
- GAS, TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY IN COORDINATION WITH THE MECHANICAL, ELECTRIC, AND PLUMBING CONSULTANTS.
- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES OF NEW UTILITIES WITH GAS, TELECOMMUNICATION AND ELECTRICAL SERVICES.
- INSTALL WATER LINES WITH A MINIMUM OF FIVE FEET OF COVER AND A MAXIMUM OF SEVEN FEET COVER FROM THE FINAL DESIGN GRADES.
- MAINTAIN 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION (WATER OVER SEWER) BETWEEN SEWER AND WATER LINES. WHEREVER THERE IS LESS THAN 10 FEET OF HORIZONTAL SEPARATION AND 18 INCHES OF VERTICAL SEPARATION BETWEEN A PROPOSED OR EXISTING SEWER LINE TO REMAIN AND A PROPOSED OR EXISTING WATER LINE TO REMAIN BOTH WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE FOR A DISTANCE OF 10-FEET ON EITHER SIDE OF THE CROSSING. ONE (1) FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER AT THE CROSSING.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR TRENCHING, BACKFILLING, AND SURFACE RESTORATION FOR GAS UTILITY SYSTEMS.
- ALL ONSITE UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.
- ALL GRATES IN WALKWAYS SHALL BE ADA COMPLIANT.

PROPOSED LEGEND

- — — — — LIMIT OF WORK
- // — — — EXISTING UTILITY TO BE ABANDONED, REMOVED AND DISPOSED IF IN CONFLICT WITH NEW SITE IMPROVEMENTS, OR AS INDICATED ON DRAWINGS
- ○ — ○ — EROSION CONTROL BARRIER
- x — x — CONSTRUCTION FENCE
- W — DOMESTIC WATER PIPE
- FP — FIRE PROTECTION PIPE
- S — SANITARY SEWER PIPE
- D — STORM DRAIN PIPE
- G — GAS PIPE
- E — ELECTRIC DUCT/BANK
- T/C — TELECOM DUCT/BANK
- ⊘ INLET PROTECTION
- - - - - ELEVATION CONTOURS
- - - - - MATCH LINE
- - - - - CENTERLINE
- ○ ○ ○ ○ CLEANOUT
- ● ● ● ● AREA DRAIN
- ● ● ● ● ACCESS BASIN
- ⊙ ⊙ ⊙ ⊙ ⊙ DRAIN MANHOLE
- ⊙ ⊙ ⊙ ⊙ ⊙ WATER QUALITY STRUCTURE
- ⊙ ⊙ ⊙ ⊙ ⊙ CATCH BASIN
- ⊙ ⊙ ⊙ ⊙ ⊙ DOUBLE CATCH BASIN
- ⊙ ⊙ ⊙ ⊙ ⊙ WATER QUALITY INLET
- ⊙ ⊙ ⊙ ⊙ ⊙ SEWER MANHOLE
- ⊙ ⊙ ⊙ ⊙ ⊙ TELECOM MANHOLE
- ⊙ ⊙ ⊙ ⊙ ⊙ ELECTRIC MANHOLE
- ⊙ ⊙ ⊙ ⊙ ⊙ WATER VALVE
- ⊙ ⊙ ⊙ ⊙ ⊙ FIRE HYDRANT

ABBREVIATIONS

- AB ACCESS BASIN
- AD AREA DRAIN
- BC BOTTOM OF CURB ELEVATION
- CB CATCH BASIN
- CCB CAPE COD BERM
- CI CAST IRON
- CJ CONTROL JOINT
- CL CENTER LINE
- CO CLEANOUT
- COP CENTER OF PIPE
- CP CARRIER PIPE
- CCP CORRUGATED POLYETHYLENE PIPE
- DCB DOUBLE CATCH BASIN
- DI DUCTILE IRON PIPE CEMENT LINER
- DM DRAIN MANHOLE
- EJ EXPANSION JOINT
- EHH ELECTRIC HANDHOLE
- EMH ELECTRIC MANHOLE
- FD FOUNDATION DRAIN
- FE FINISHED FLOOR ELEVATION
- HP HIGH POINT
- HYD FIRE HYDRANT
- INV INVERT ELEVATION
- LF LINEAR FEET
- LOW LIMIT OF WORK
- LP LOW POINT
- LW LAB WASTE
- M&P MAINTAIN AND PROTECT
- NC NOT IN CONTRACT
- OC ON CENTER
- PCS OUTLET CONTROL STRUCTURE
- PERM PERIMETER DRAIN
- PERF PERFORATED
- PVC POLYVINYL CHLORIDE PIPE
- R&D REMOVE AND DISPOSE OF
- R&S REMOVE AND STOCKPILE
- RO ROOF DRAIN
- RM RIM ELEVATION
- SMH SEWER MANHOLE
- SS SEWER SERVICE
- TC TOP OF CURB ELEVATION
- THH TELECOM HANDHOLE
- TMH TELECOM MANHOLE
- TOP TOP OF PIPE
- TOD TOP OF DUCT BANK
- TPY TYPICAL
- UD UNDERDRAIN
- UGS UNDERGAS/AB DRAIN
- VOC VERTICAL GRANITE CURB
- WQI WATER QUALITY INLET
- WQS WATER QUALITY STRUCTURE
- WV WATER VALVE



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
*Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers*
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

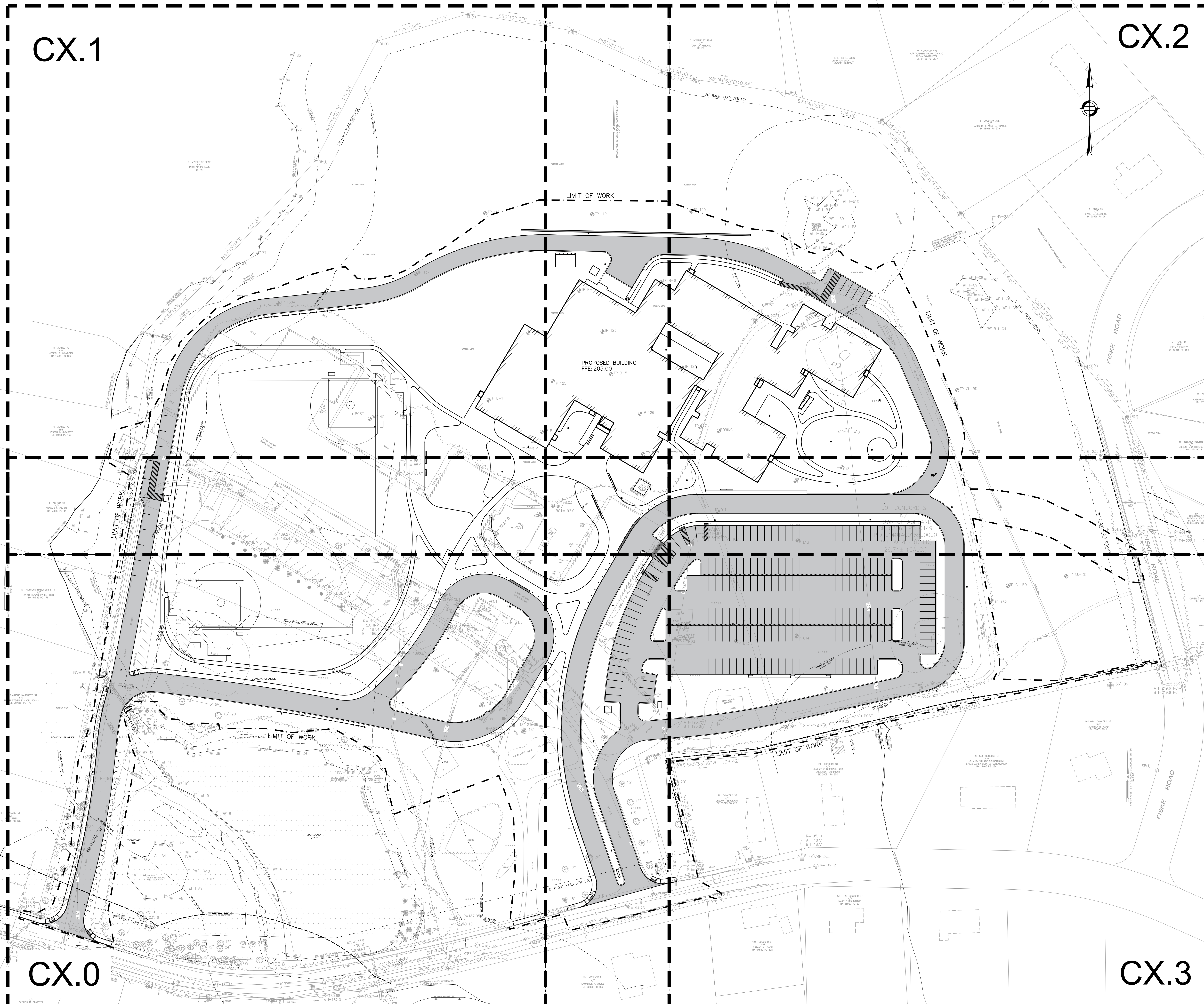
EARLY TRADE PACKAGE

Key Plan

Sheet Title
Overall Site Plan

Drawn By MUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 40'
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C1.1



SCALE:
1" = 40'



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
*Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers*
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamps

EARLY TRADE PACKAGE

Key Plan

Erosion and Sedimentation Control Plan

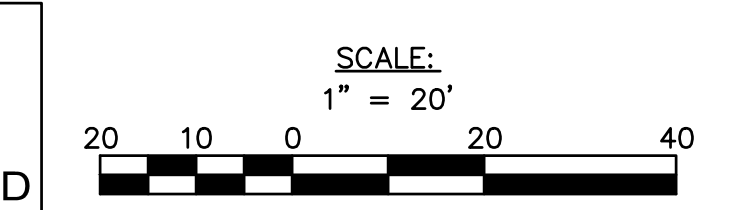
Drawn By HUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C2.1



SITE EROSION CONTROL LEGEND

[Hatched Pattern]	STEEP SLOPE PROTECTION
-------------------	------------------------



ALL PROPOSED DRAINAGE INLET STRUCTURES SHALL BE PROVIDED WITH INLET PROTECTION ONCE INSTALLED

MATCH LINE - SHEET C2.1
MATCH LINE - SHEET C2.0

11 ALFRED RD
N/F
JOSEPH G. GOMBETTI
BK 15021 PG 166

0 ALFRED RD
N/F
JOSEPH G. GOMBETTI
BK 15021 PG 166

5 ALFRED RD
N/F
THOMAS G. FRASER
BK 56030 PG 44

0 MYRTLE ST REAR
N/F
TOWN OF ASHLAND
BK PG



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

No.	Date	Note
ISSUE		

EARLY TRADE PACKAGE

Key Plan	
	↑ NORTH

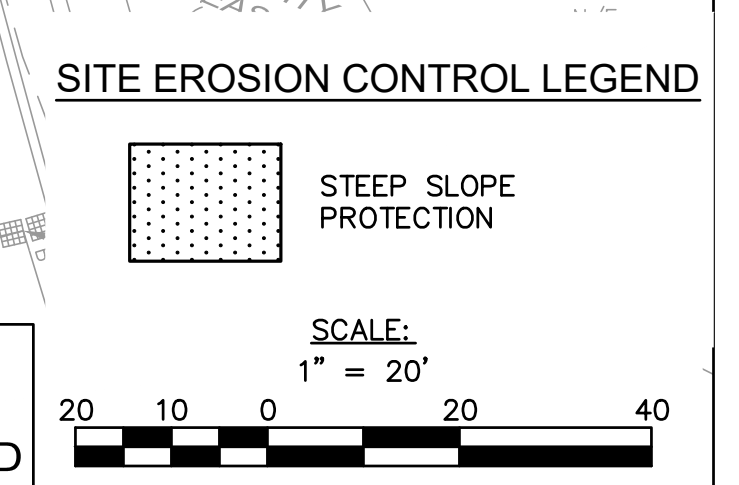
Erosion and Sedimentation Control Plan

Drawn By NLSB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Issue Date 09.29.2021
Sheet No.	

C2.2



90 CONCORD ST
N/F
TOWN OF ASHLAND
BK 08063 PG 0449
PID 014014001850000
28± ACRES (DELD)
26.74± (CALC.)



ALL PROPOSED DRAINAGE INLET STRUCTURES SHALL BE PROVIDED WITH INLET PROTECTION ONCE INSTALLED



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner/Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/Traffic/Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

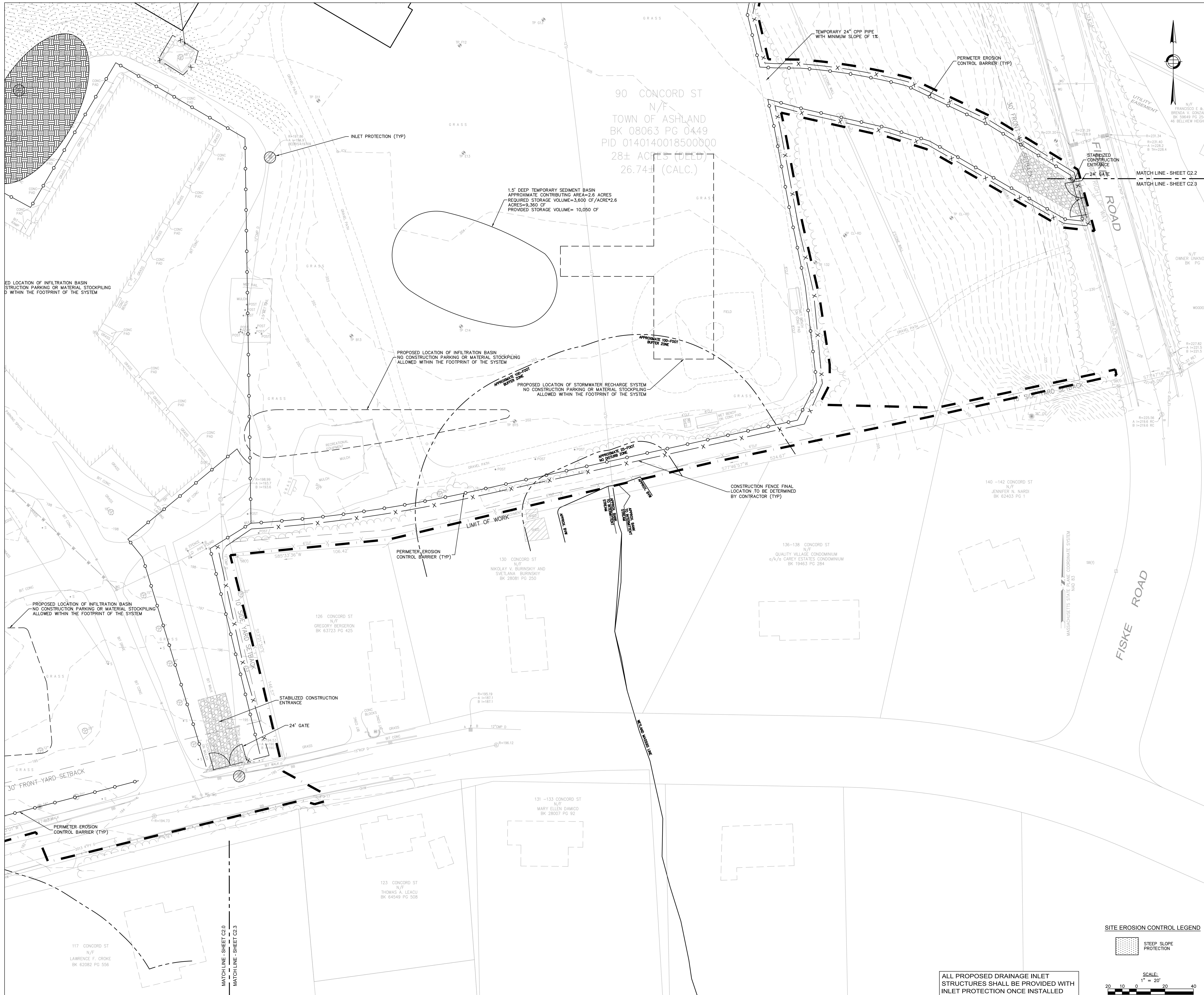
EARLY TRADE PACKAGE

Key Plan

Erosion and Sedimentation Control Plan

Drawn By HUB	Project ID 1914.00
Reviewed By BMW/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C2.3



90 CONCORD ST
N/F
TOWN OF ASHLAND
BK 08063 PG 0449
PID 0140140018500000
28± ACRES (DEED)
26.74± (CALC.)

1.5' DEEP TEMPORARY SEDIMENT BASIN
APPROXIMATE CONTRIBUTING AREA=2.6 ACRES
REQUIRED STORAGE VOLUME=3,600 CF/ACRE*2.6
ADEQS=9,360 CF
PROVIDED STORAGE VOLUME= 10,050 CF

PROPOSED LOCATION OF INFILTRATION BASIN
NO CONSTRUCTION PARKING OR MATERIAL STOCKPILING
ALLOWED WITHIN THE FOOTPRINT OF THE SYSTEM

PROPOSED LOCATION OF STORMWATER RECHARGE SYSTEM
NO CONSTRUCTION PARKING OR MATERIAL STOCKPILING
ALLOWED WITHIN THE FOOTPRINT OF THE SYSTEM

CONSTRUCTION FENCE FINAL
LOCATION TO BE DETERMINED
BY CONTRACTOR (TYP)

PERIMETER EROSION
CONTROL BARRIER (TYP)

STABILIZED CONSTRUCTION
ENTRANCE

24' GATE

PROPOSED LOCATION OF INFILTRATION BASIN
NO CONSTRUCTION PARKING OR MATERIAL STOCKPILING
ALLOWED WITHIN THE FOOTPRINT OF THE SYSTEM

30' FRONT-YARD SETBACK

MATCHLINE - SHEET C2.0
MATCHLINE - SHEET C2.3

117 CONCORD ST
N/F
LAWRENCE F. CROKE
BK 62082 PG 556

126 CONCORD ST
N/F
GREGORY BERGERON
BK 63723 PG 425

130 CONCORD ST
N/F
NIKOLAY V. BURINSKY AND
SHELANA BURINSKY
BK 28081 PG 250

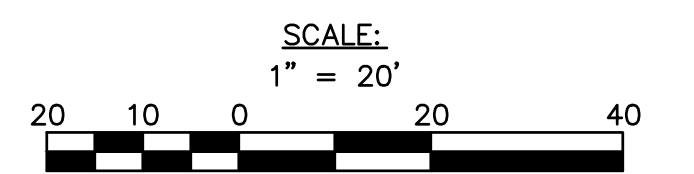
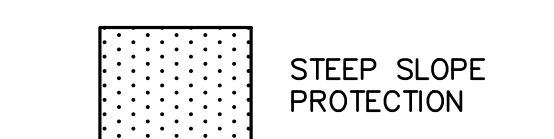
136-138 CONCORD ST
N/F
QUALITY VILLAGE CONDOMINIUM
6/9/90 CAREY ESTATES CONDOMINIUM
BK 19463 PG 284

131-133 CONCORD ST
N/F
MARY ELLEN DAMCO
BK 28007 PG 92

123 CONCORD ST
N/F
THOMAS A. LEACU
BK 64549 PG 508

140-142 CONCORD ST
N/F
JENNIFER N. NARDI
BK 62403 PG 1

SITE EROSION CONTROL LEGEND



ALL PROPOSED DRAINAGE INLET
STRUCTURES SHALL BE PROVIDED WITH
INLET PROTECTION ONCE INSTALLED



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner/Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

Key Plan

Site Demolition Plan

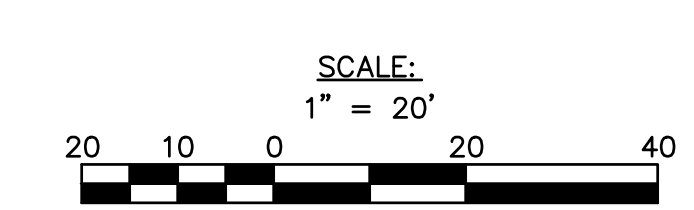
Drawn By NJB	Project ID 186690
Reviewed By BMW/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Issue Date 09.29.2021
Sheet No.	

C3.0



SITE DEMOLITION LEGEND

- R&D EXISTING BUILDING
SEE ARCHITECTURAL PLANS
FOR DETAILS
- R&D ASPHALT PAVEMENT,
CONCRETE PAVEMENT, AND
CURB MATERIALS



5 ALFRED RD
N/F
THOMAS D. FRASER
BK 56030 PG 44

MATCH LINE - SHEET C3.1

MATCH LINE - SHEET C3.0

17 RAYMOND MARCHETTI ST T
N/F
TANVIR RIZWAN PATEL RITEN
BK 54585 PG 171

RAYMOND MARCHETTI ST
N/F
R STEVEN E MACRI JOHN J
BK 20788 PG 470

CONCORD ST
N/F
W FEIBS
72 PG 126

85 CONCORD ST
N/F
PATRICIA M. CINCOTTA
BK 31631 PG 475



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
*Mechanical Electrical Technology
Plumbing & Fire Protection Engineers*
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

Key Plan

Site Demolition Plan

Drawn By HUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C3.1



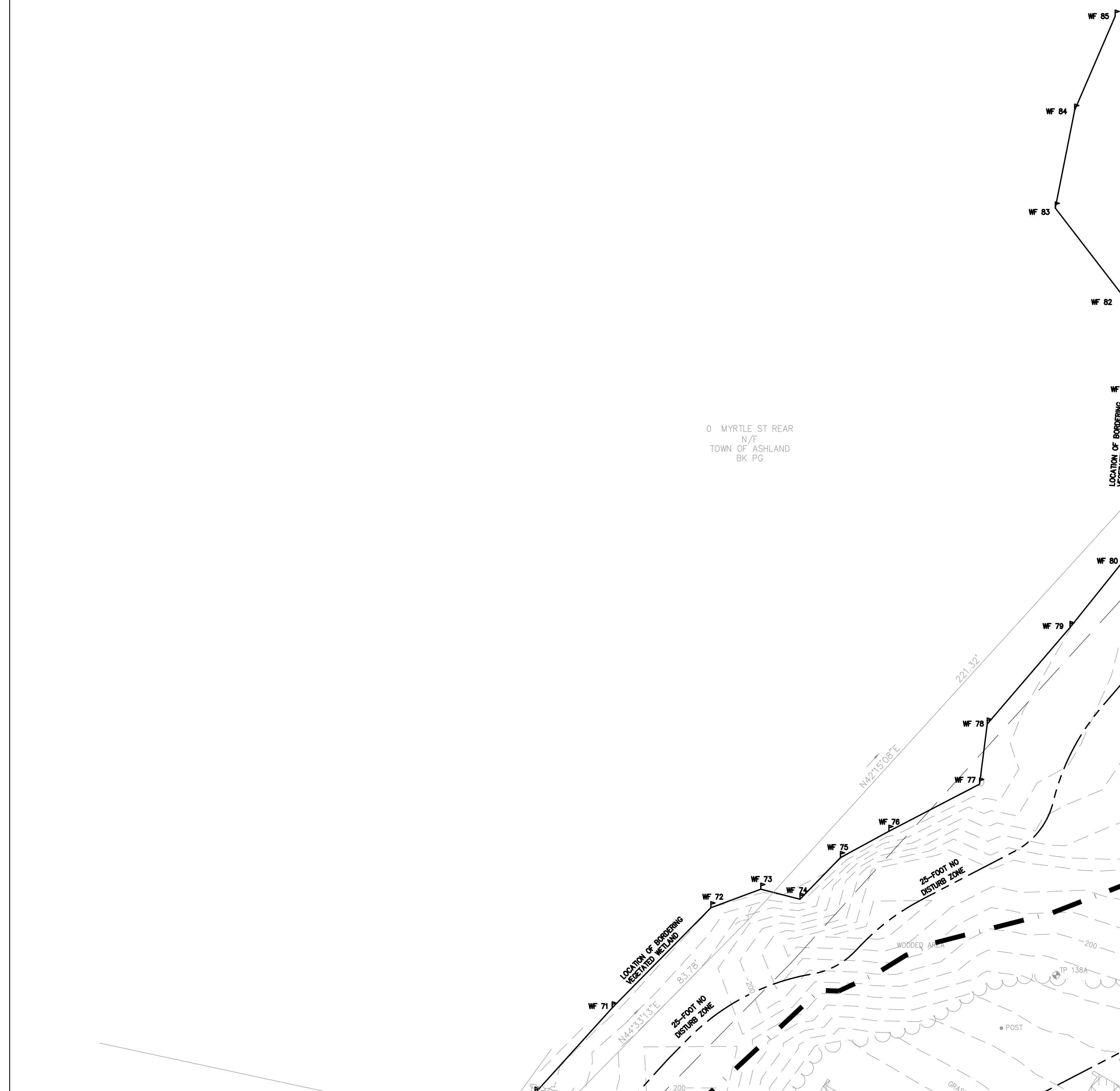
MATCH LINE - SHEET C3.1
MATCH LINE - SHEET C3.0

11 ALFRED RD
N/F
JOSEPH G. GOMBETTI
BK 15021 PG 166

0 ALFRED RD
N/F
JOSEPH G. GOMBETTI
BK 15021 PG 166

5 ALFRED RD
N/F
THOMAS D. FRASER
BK 56030 PG 44

0 MYRTLE ST REAR
N/F
TOWN OF ASHLAND
BK PG





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Protection Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

62 FOLLY AVENUE
KATHARINE
BK 5398

EARLY TRADE PACKAGE

Key Plan

51 BELLVIEW HEIGHTS
N/F
STEVEN F. WHITRIDGE
L.C. BK 1071 PG 8

MATCH LINE - SHEET C3.2
MATCH LINE - SHEET C3.3

Site Demolition Plan

Drawn By HUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Issue Date 09.29.2021
Sheet No.	

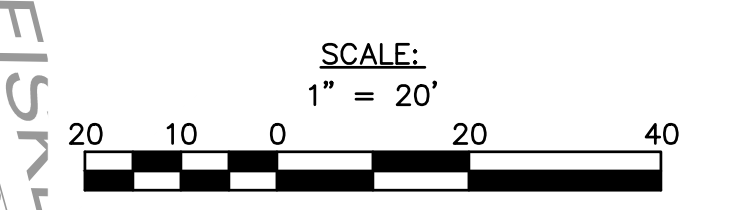
C3.2



90 CONCORD ST
N/F
TOWN OF ASHLAND
BK 08063 PG 0449
PID 0140140018500000
28± ACRES (DEED)
26.74± (CALC.)

SITE DEMOLITION LEGEND

- R&D EXISTING BUILDING SEE ARCHITECTURAL PLANS FOR DETAILS
- R&D ASPHALT PAVEMENT, CONCRETE PAVEMENT, AND CURB MATERIALS





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

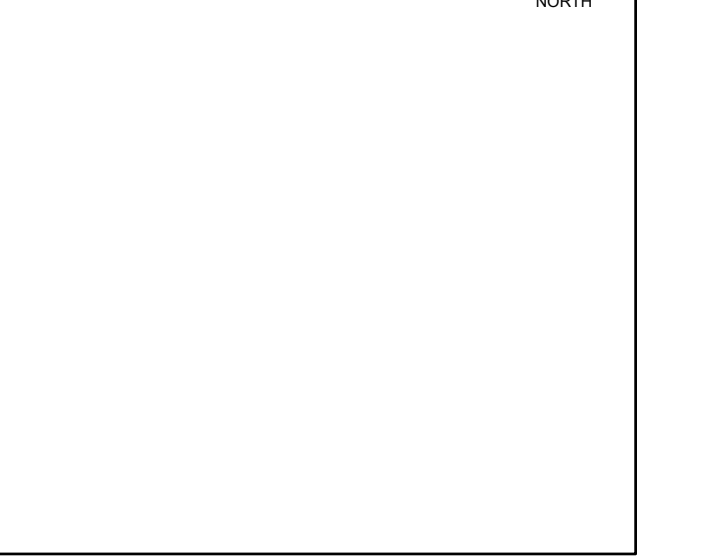
AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

Key Plan



Site Demolition Plan

Drawn By HUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C3.3



SITE DEMOLITION LEGEND

- R&D EXISTING BUILDING SEE ARCHITECTURAL PLANS FOR DETAILS
- R&D ASPHALT PAVEMENT, CONCRETE PAVEMENT, AND CURB MATERIALS

SCALE:
1" = 20'

MATCH LINE - SHEET C3.0
MATCH LINE - SHEET C3.3

90 CONCORD ST
N/F
TOWN OF ASHLAND
BK 08063 PG 0449
PID 0140140018500000
28± ACRES (DEED)
26.74± (CALC.)

R&D GRAVEL PATH (TYP.)

TEMPORARY 24" CPP PIPE WITH MINIMUM SLOPE OF 1%

MATCH LINE - SHEET C3.2
MATCH LINE - SHEET C3.3

R&D CATCH BASIN AND ASSOCIATED PIPING

R&D CATCH BASIN AND ASSOCIATED PIPING

R&D ASPHALT PAVEMENT (TYP.)

R&D MANHOLE

R&D WATER VALVE

R&D UTILITY POLE

R&D WATER SERVICE CUT AND CAP AT MAIN

R&D DRAIN

R&D FENCE

LIMIT OF WORK

CUT AND CAP WATER SERVICE AT MAIN

M&P CATCH BASIN

PLUG PIPE AT CB

117 CONCORD ST
N/F
LAWRENCE F. CROKE
BK 62082 PG 556

126 CONCORD ST
N/F
GREGORY BERGERON
BK 63723 PG 425

130 CONCORD ST
N/F
NIKOLAY V. BURINSKY AND
SVELIANA BURINSKY
BK 28081 PG 250

131 -133 CONCORD ST
N/F
MARY ELLEN DAMICO
BK 28007 PG 92

123 CONCORD ST
N/F
THOMAS A. LEACU
BK 64549 PG 508

136-138 CONCORD ST
N/F
QUALITY VILLAGE CONDOMINIUM
6/9/90 CAREY ESTATES CONDOMINIUM
BK 19463 PG 284

140 -142 CONCORD ST
N/F
JENNIFER N. NARDI
BK 62403 PG 1

FISKE ROAD

FISKE ROAD

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK

30' FRONT-YARD SETBACK



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
*Mechanical Electrical Technology
Plumbing & Fire Protection Engineers*
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

Key Plan	

Roadway Layout and Materials Plan

Drawn By	Project ID
Reviewed By	1914.00
Scale	1" = 20'
DATE: 09/29/2021	Plot Date: 09/29/2021
Sheet No.	

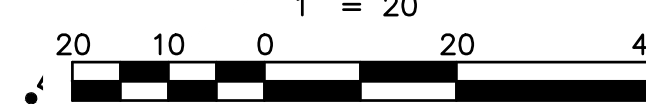
C4.1

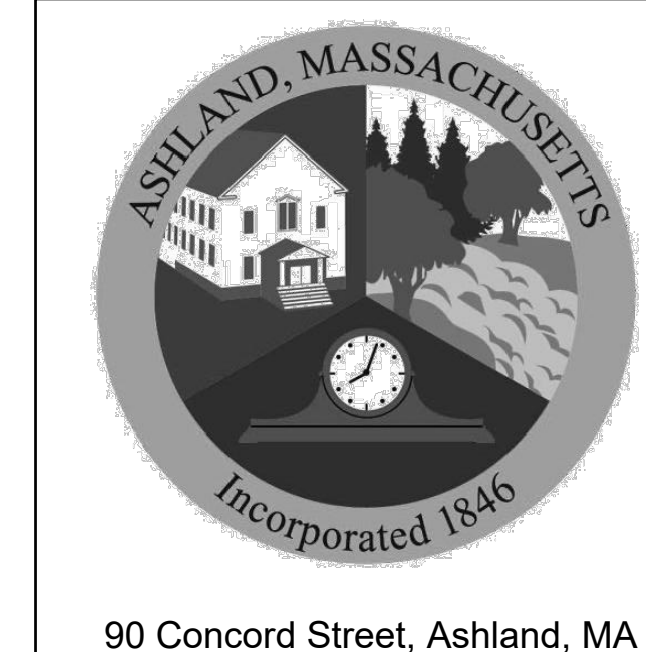


SITE LAYOUT LEGEND

ASPHALT PAVEMENT

SCALE: 1" = 20'





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner/Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamps

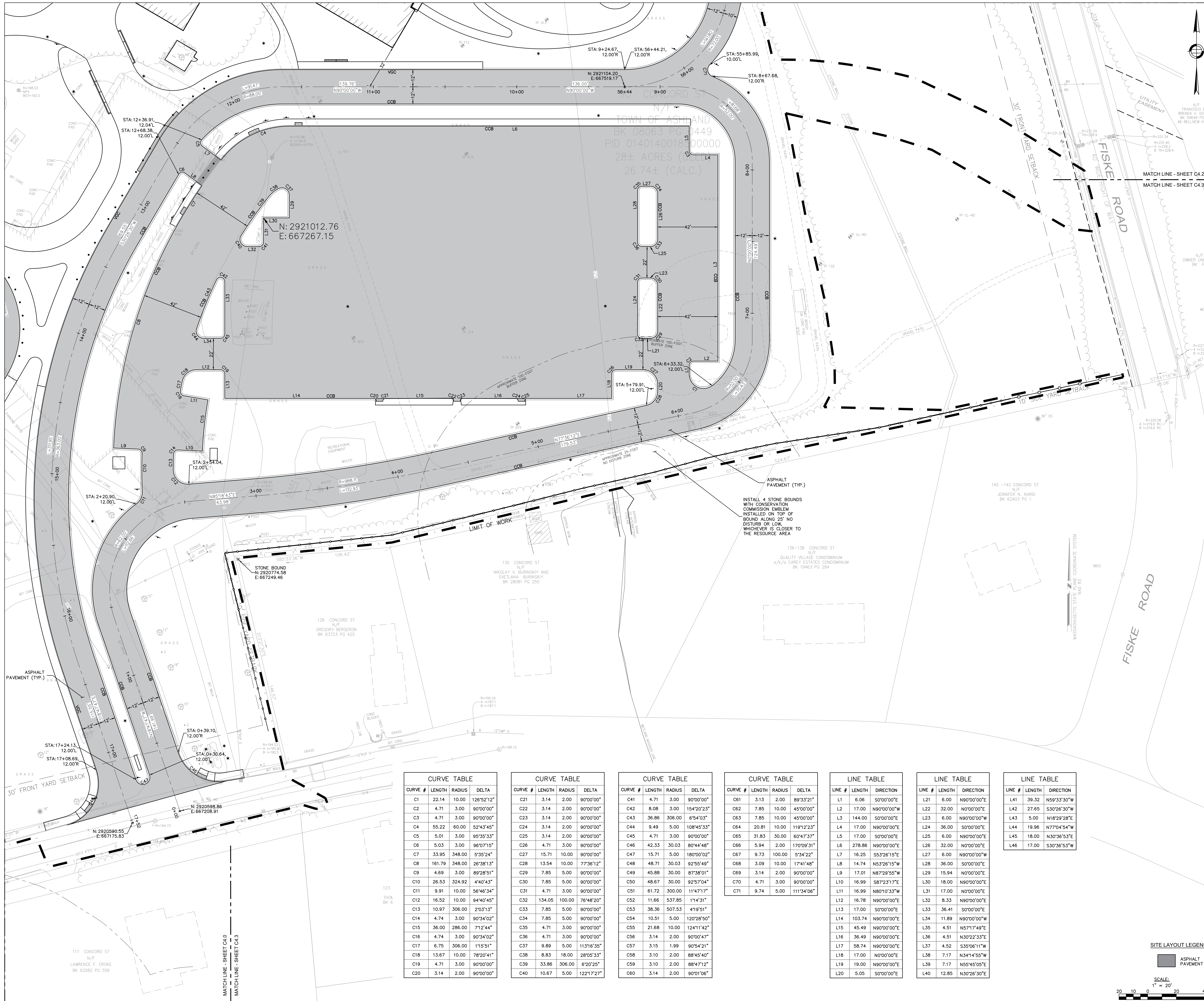
EARLY TRADE PACKAGE

Key Plan	North Arrow

Sheet Title
Roadway Layout and Materials Plan

Drawn By	Project ID
NJB	1914.00
Reviewed By	Scale
BMV/JEG	1" = 20'
Drawn Date	Plot Date
09.29.2021	09.29.2021
Sheet No.	

C4.3



CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	22.14	10.00	126°52'12"
C2	4.71	3.00	90°00'00"
C3	4.71	3.00	90°00'00"
C4	55.22	60.00	52°43'45"
C5	5.01	3.00	95°35'33"
C6	5.03	3.00	96°07'15"
C7	33.95	348.00	5°35'24"
C8	161.79	348.00	26°38'13"
C9	4.69	3.00	89°28'51"
C10	26.53	324.92	4°40'43"
C11	9.91	10.00	56°46'34"
C12	16.52	10.00	94°40'45"
C13	10.97	306.00	2°03'13"
C14	4.74	3.00	90°34'02"
C15	36.00	286.00	7°12'44"
C16	4.74	3.00	90°34'02"
C17	6.75	306.00	1°15'51"
C18	13.67	10.00	78°20'41"
C19	4.71	3.00	90°00'00"
C20	3.14	2.00	90°00'00"

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C21	3.14	2.00	90°00'00"
C22	3.14	2.00	90°00'00"
C23	3.14	2.00	90°00'00"
C24	3.14	2.00	90°00'00"
C25	3.14	2.00	90°00'00"
C26	4.71	3.00	90°00'00"
C27	15.71	10.00	90°00'00"
C28	13.54	10.00	77°36'12"
C29	7.85	5.00	90°00'00"
C30	7.85	5.00	90°00'00"
C31	61.72	300.00	11°47'17"
C32	134.05	100.00	76°48'20"
C33	7.85	5.00	90°00'00"
C34	7.85	5.00	120°28'50"
C35	4.71	3.00	90°00'00"
C36	4.71	3.00	90°00'00"
C37	9.89	5.00	113°16'35"
C38	8.83	18.00	28°05'33"
C39	33.86	306.00	6°20'25"
C40	10.67	5.00	122°17'27"

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C41	4.71	3.00	90°00'00"
C42	8.08	3.00	154°20'23"
C43	36.86	306.00	6°54'03"
C44	9.49	5.00	108°45'33"
C45	4.71	3.00	90°00'00"
C46	42.33	30.03	80°44'48"
C47	15.71	5.00	180°00'02"
C48	48.71	30.03	92°55'49"
C49	45.88	30.00	87°38'01"
C50	48.67	30.00	92°57'04"
C51	61.72	300.00	11°47'17"
C52	11.66	537.85	1°41'31"
C53	38.36	507.53	4°19'51"
C54	10.51	5.00	120°28'50"
C55	21.68	10.00	124°11'42"
C56	3.14	2.00	90°00'47"
C57	3.15	1.99	90°54'21"
C58	3.10	2.00	88°45'40"
C59	3.10	2.00	88°47'12"
C60	3.14	2.00	90°01'06"

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C61	3.13	2.00	89°33'21"
C62	7.85	10.00	45°00'00"
C63	7.85	10.00	45°00'00"
C64	20.81	10.00	119°12'23"
C65	31.83	30.00	60°47'37"
C66	5.94	2.00	170°09'31"
C67	9.73	100.00	5°34'22"
C68	3.09	10.00	17°41'48"
C69	3.14	2.00	90°00'00"
C70	4.71	3.00	90°00'00"
C71	9.74	5.00	111°34'06"

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	6.06	S0°00'00"E
L2	17.00	N90°00'00"W
L3	144.00	S0°00'00"E
L4	17.00	N90°00'00"E
L5	17.00	S0°00'00"E
L6	278.86	N90°00'00"E
L7	16.25	S53°26'15"E
L8	14.74	N53°26'15"W
L9	17.01	N87°29'55"W
L10	16.99	S87°23'17"E
L11	16.99	N80°10'33"W
L12	16.78	N90°00'00"E
L13	17.00	S0°00'00"E
L14	103.74	N90°00'00"E
L15	45.49	N90°00'00"E
L16	36.49	N90°00'00"E
L17	58.74	N90°00'00"E
L18	17.00	N0°00'00"E
L19	19.00	N90°00'00"E
L20	5.05	S0°00'00"E

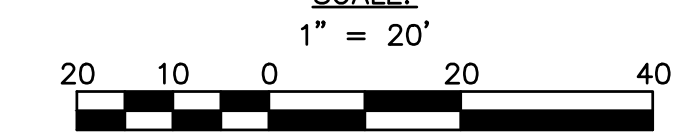
LINE TABLE		
LINE #	LENGTH	DIRECTION
L21	6.00	N90°00'00"E
L22	32.00	N0°00'00"E
L23	6.00	N90°00'00"W
L24	36.00	S0°00'00"E
L25	6.00	N90°00'00"E
L26	32.00	N0°00'00"E
L27	6.00	N90°00'00"W
L28	36.00	S0°00'00"E
L29	15.94	N0°00'00"E
L30	18.00	N90°00'00"E
L31	17.00	N0°00'00"E
L32	8.33	N90°00'00"E
L33	36.41	S0°00'00"E
L34	11.89	N90°00'00"W
L35	4.51	N57°17'49"E
L36	4.51	N30°22'33"E
L37	4.52	S35°06'11"W
L38	7.17	N34°14'55"W
L39	7.17	N55°45'05"E
L40	12.85	N30°26'30"E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L41	39.32	N59°33'30"W
L42	27.65	S30°26'30"W
L43	5.00	N18°29'28"E
L44	19.96	N77°04'54"W
L45	18.00	N30°36'53"E
L46	17.00	S30°36'53"W

SITE LAYOUT LEGEND



SCALE: 1" = 20'





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
*Mechanical Electrical Technology
Plumbing & Fire Protection Engineers*
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

Key Plan

Signage and Striping Plan

Drawn By HUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Issue Date 09.29.2021
Sheet No.	

C5.1





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner: Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
*Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers*
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

No.	Date	Note
ISSUE		

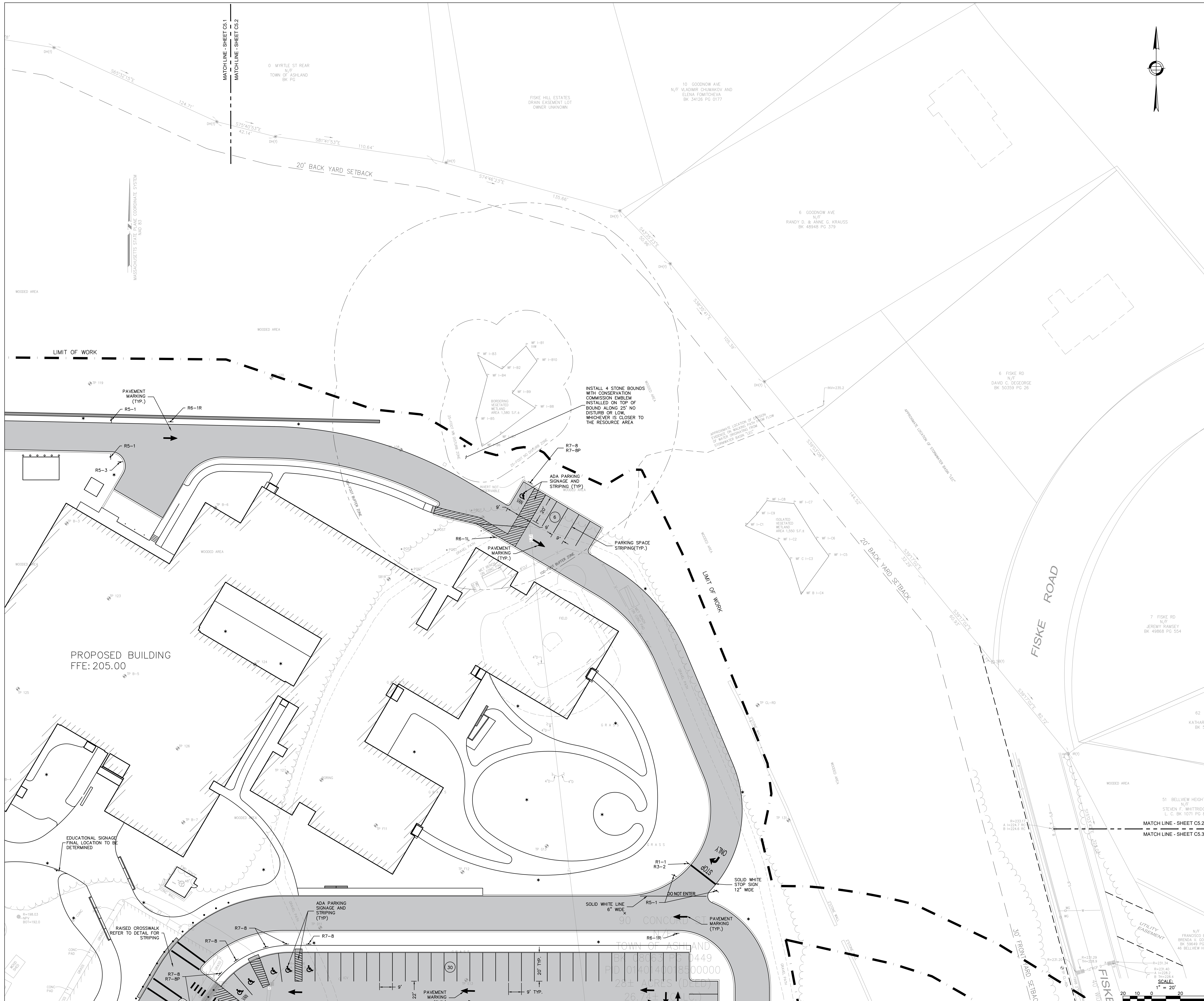
EARLY TRADE PACKAGE

Key Plan	

Signage and Striping Plan

Drawn By HUB	Project ID 1914.00
Reviewed By BMV/JEG	Scale 1" = 20'
Issue Date 09.29.2021	Issue Date 09.29.2021
Sheet No.	

C5.2





FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE

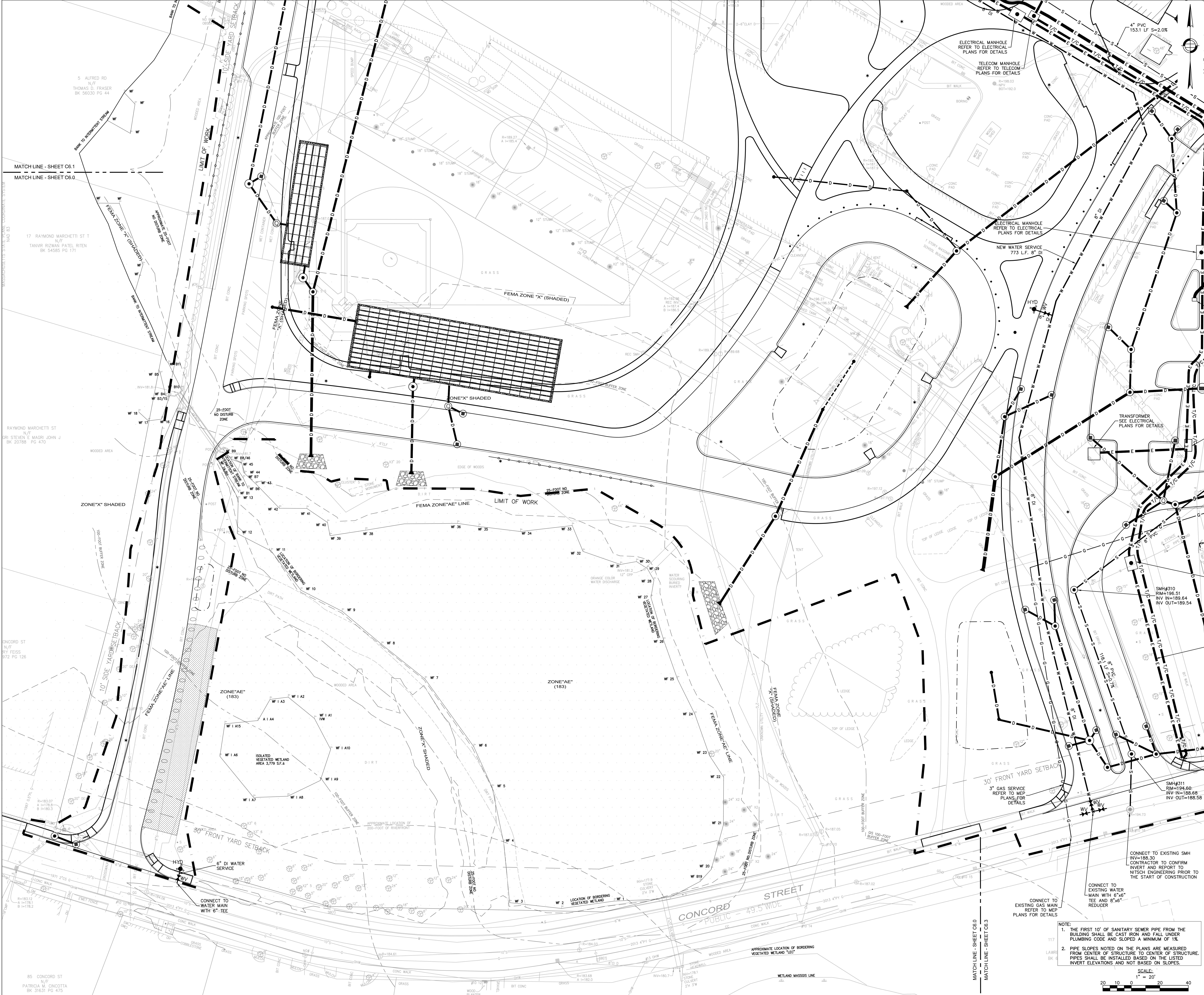
Key Plan

Sheet Title

Site Utility Plan

Drawn By NJB	Project ID 1914.00
Reviewed By BNV/JEC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

C6.0



NOTE:
1. THE FIRST 10' OF SANITARY SEWER PIPE FROM THE BUILDING SHALL BE CAST IRON AND FALL UNDER PLUMBING CODE AND SLOPED A MINIMUM OF 1%.
2. PIPE SLOPES NOTED ON THE PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPES SHALL BE INSTALLED BASED ON THE LISTED INVERT ELEVATIONS AND NOT BASED ON SLOPES.

SCALE:
1" = 20'

5 ALFRED RD
THOMAS D. FRASER
BK 56030 PG 44

MATCH LINE - SHEET C6.1
MATCH LINE - SHEET C6.0

17 RAYMOND MARCHETTI ST
N/F
TANVIR RIZWAN PATEL, RITEN
BK 54585 PG 171

RAYMOND MARCHETTI ST
N/F
SRI STEVEN E MAGRI, JOHN J
BK 20788 PG 470

CONCORD ST
N/F
RY FEISS
BK 1972 PG 126

85 CONCORD ST
N/F
PATRICIA M. CINCOTTA
BK 31631 PG 475

90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/Traffic/Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

EARLY TRADE PACKAGE

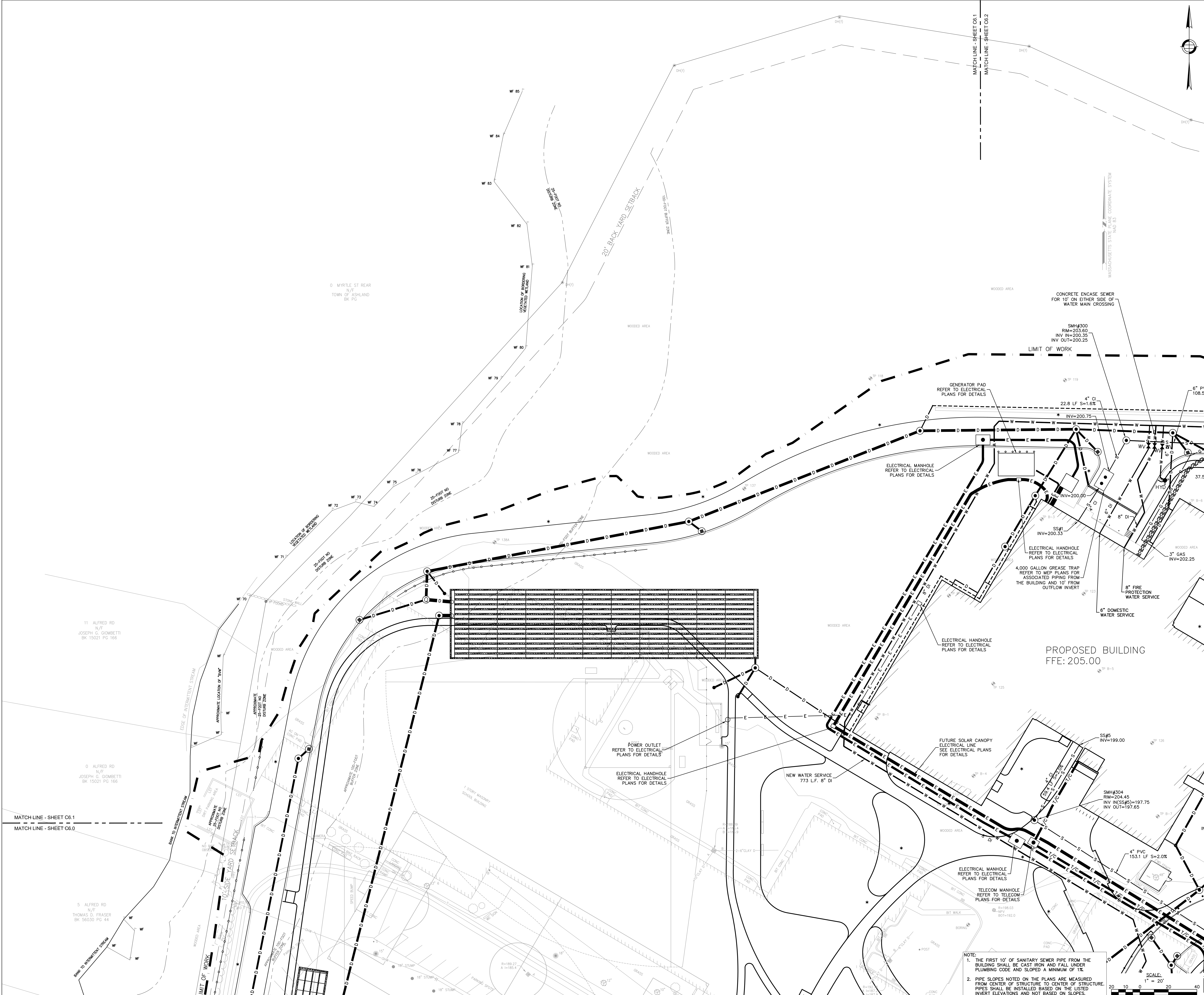
Key Plan



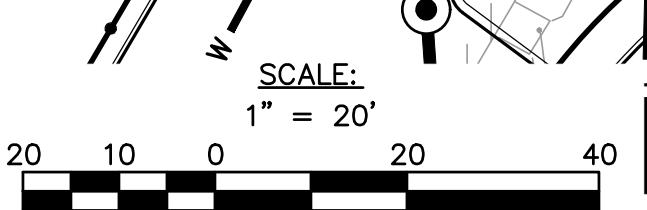
Site Utility Plan

Drawn By NJB	Project ID 1914.00
Reviewed By BNV/IEC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

C6.1



NOTE:
 1. THE FIRST 10' OF SANITARY SEWER PIPE FROM THE BUILDING SHALL BE CAST IRON AND FALL UNDER PLUMBING CODE AND SLOPED A MINIMUM OF 1%.
 2. PIPE SLOPES NOTED ON THE PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPES SHALL BE INSTALLED BASED ON THE LISTED INVERT ELEVATIONS AND NOT BASED ON SLOPES.



MATCH LINE - SHEET C6.1
MATCH LINE - SHEET C6.0

11 ALFRED RD
N/F
JOSEPH C. GIOMBETTI
BK 15021 PG 166

0 ALFRED RD
N/F
JOSEPH C. GIOMBETTI
BK 15021 PG 166

5 ALFRED RD
N/F
THOMAS D. FRASER
BK 56030 PG 44

0 MYRTLE ST REAR
N/F
TOWN OF ASHLAND
BK PG



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner/Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/Traffic/Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

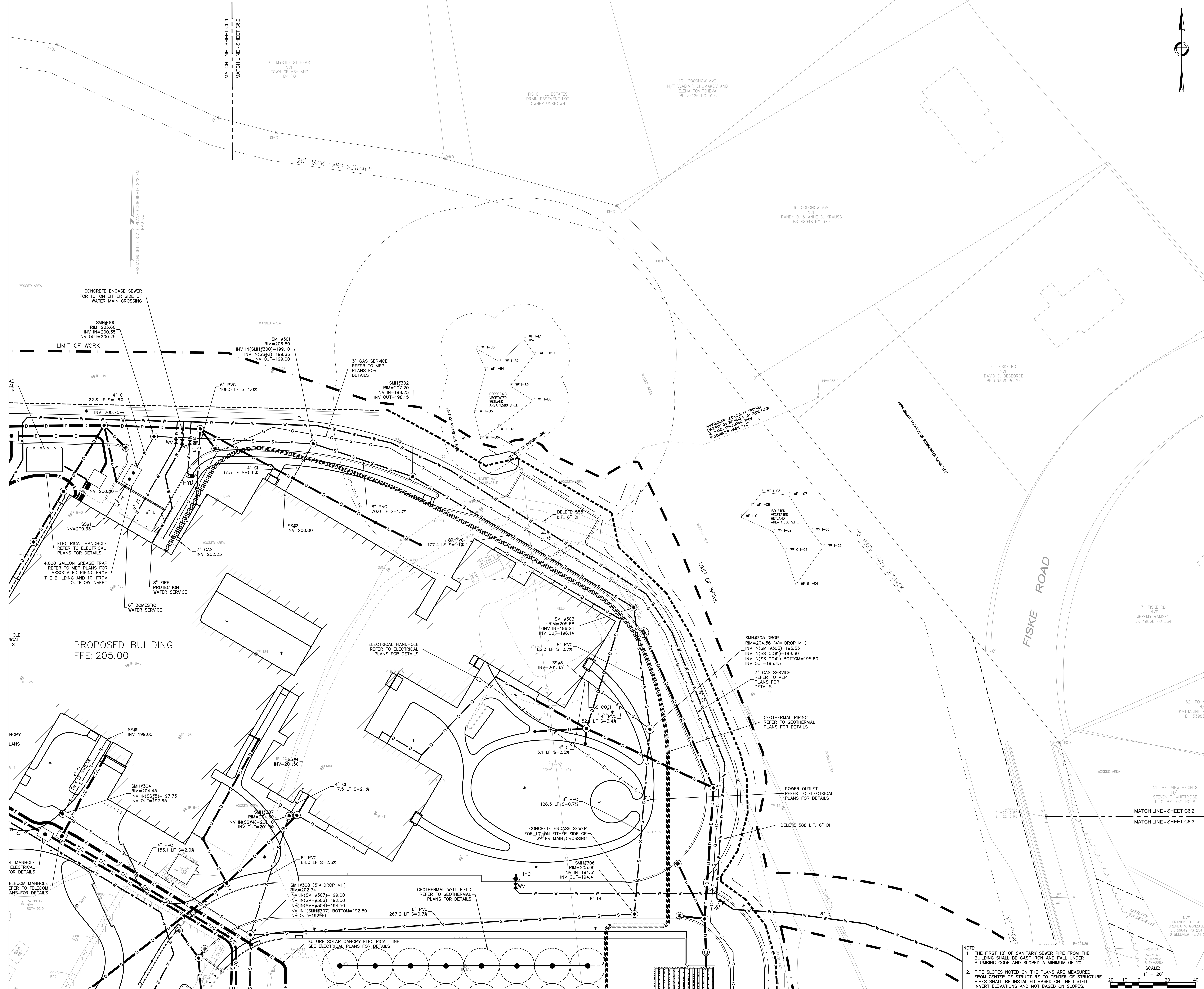
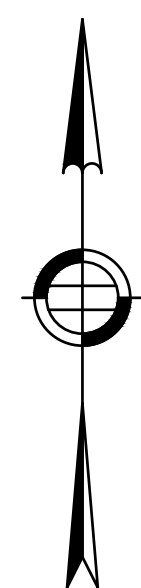
Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

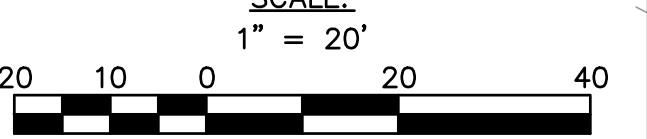
Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043



NOTE:
1. THE FIRST 10' OF SANITARY SEWER PIPE FROM THE BUILDING SHALL BE CAST IRON AND FALL UNDER PLUMBING CODE AND SLOPED A MINIMUM OF 1%.
2. PIPE SLOPES NOTED ON THE PLANS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPES SHALL BE INSTALLED BASED ON THE LISTED INVERT ELEVATIONS AND NOT BASED ON SLOPES.



No.	Date	Note
REVISIONS		
ISSUE		

Stamp

EARLY TRADE PACKAGE



Key Plan

MATCH LINE - SHEET C6.2
MATCH LINE - SHEET C6.3

Site Utility Plan

Drawn By NJB	Project ID 1914.00
Reviewed By BMY/EGC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

C6.2



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

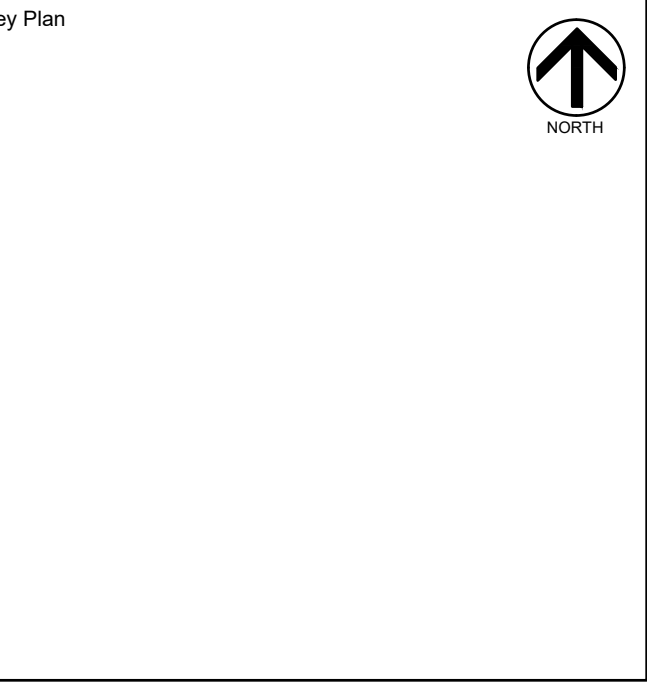
AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		

No.	Date	Note
ISSUE		

Stamp

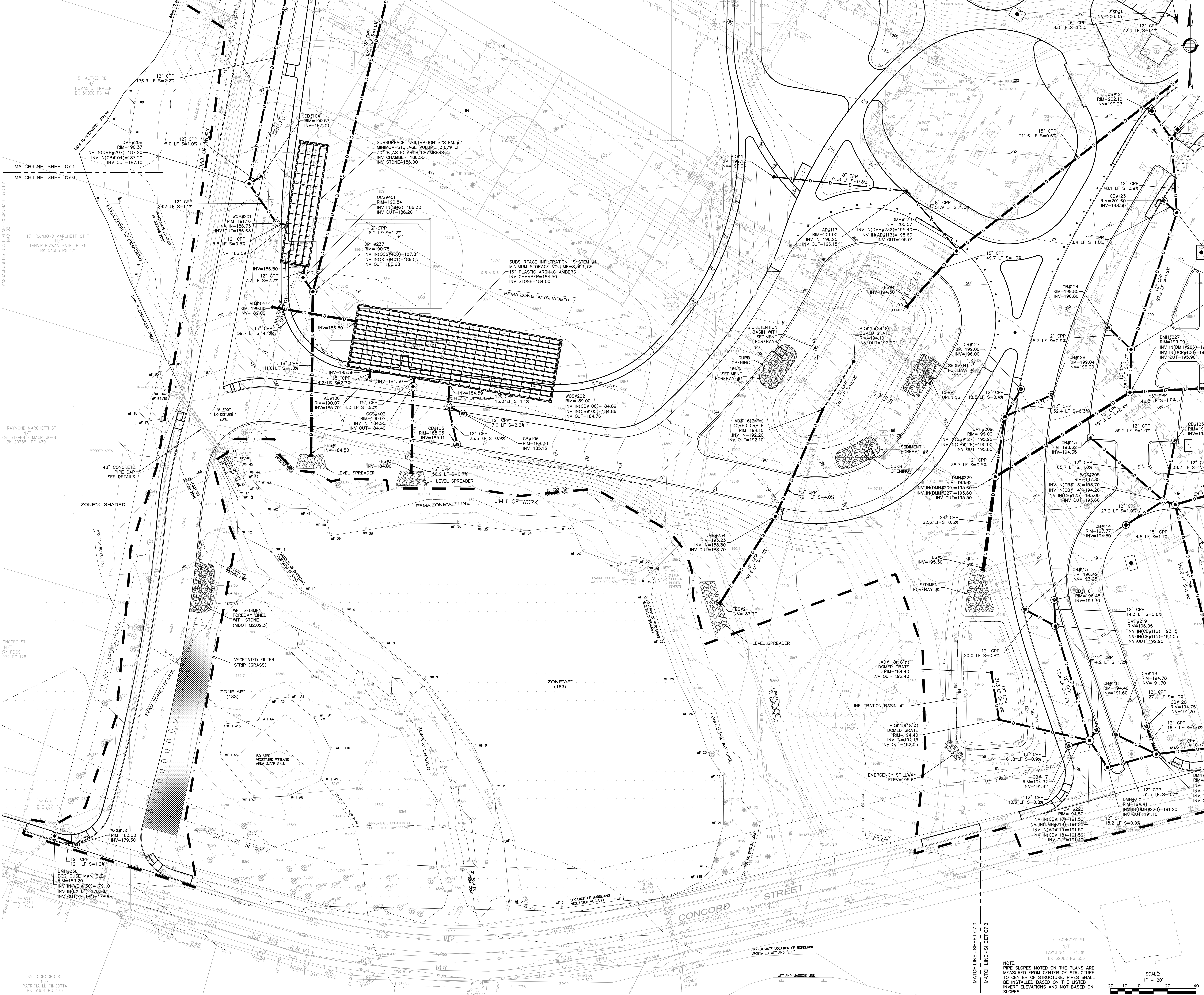
EARLY TRADE PACKAGE



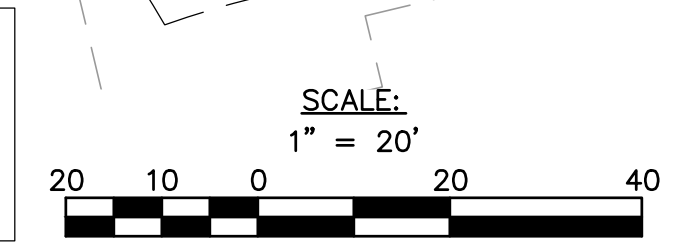
Site Drainage Plan

Drawn By NJB	Project ID 1914.00
Reviewed By BNV/JEC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

C7.0



NOTE:
PIPE SLOPES NOTED ON THE PLANS ARE
MEASURED FROM CENTER OF STRUCTURE
TO CENTER OF STRUCTURE. PIPES SHALL
BE INSTALLED BASED ON THE LISTED
INVERT ELEVATIONS AND NOT BASED ON
SLOPES.



85 CONCORD ST
PATRICIA W. CINCOTTA
BK 31631 PG 475

5 ALFRED RD
N/F
THOMAS D. FRASER
BK 56030 PG 44

DMH#208
RIM=190.37
INV IN(DMH#207)=187.20
INV IN(CB#104)=187.20
INV OUT=187.10

12" CPP
176.3 LF S=2.2%

DMH#201
RIM=191.16
INV IN=186.73
INV OUT=186.63

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

DMH#236
DOORHOUSE MANHOLE
RIM=183.20
INV IN(WQ#30)=179.10
INV IN(EX 8")=178.72
INV OUT(EX 16")=178.64

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
8.0 LF S=1.0%

12" CPP
29.7 LF S=1.1%

12" CPP
8.2 LF S=1.2%

12" CPP
5.5 LF S=0.03%

12" CPP
7.2 LF S=2.2%

15" CPP
59.7 LF S=4.1%

15" CPP
111.6 LF S=1.0%

15" CPP
4.3 LF S=0.0%

12" CPP
7.6 LF S=2.2%

12" CPP
23.5 LF S=0.9%

15" CPP
56.9 LF S=0.7%

12" CPP
80.2 LF S=1.1%

12" CPP
20.0 LF S=0.8%

12" CPP
10.6 LF S=0.8%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%

12" CPP
12.1 LF S=1.2%



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner/Project Manager

Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants

Nitsch Engineering, Inc.
Land Survey/Traffic/Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical/Electrical/Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

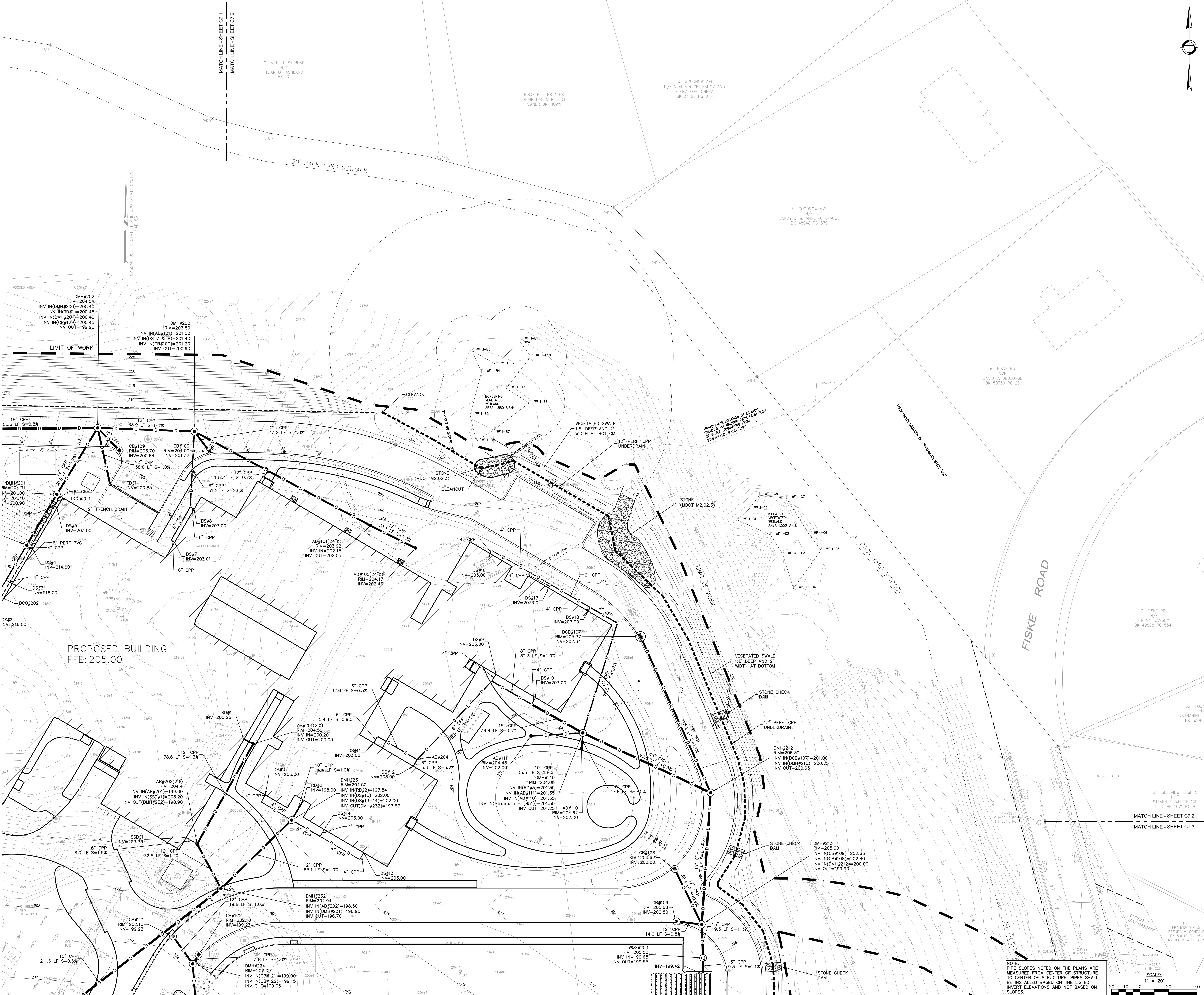
EARLY TRADE PACKAGE

Key Plan

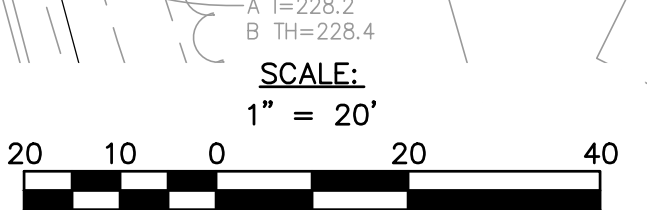
Site Drainage Plan

Drawn By NJB	Project ID 1914.00
Reviewed By BMC/EGC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

C7.2



NOTE:
PIPE SLOPES NOTED ON THE PLANS ARE
MEASURED FROM CENTER OF STRUCTURE TO
CENTER OF STRUCTURE. PIPES SHALL
BE INSTALLED BASED ON THE LISTED
INVERT ELEVATIONS AND NOT BASED ON
SLOPES.





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

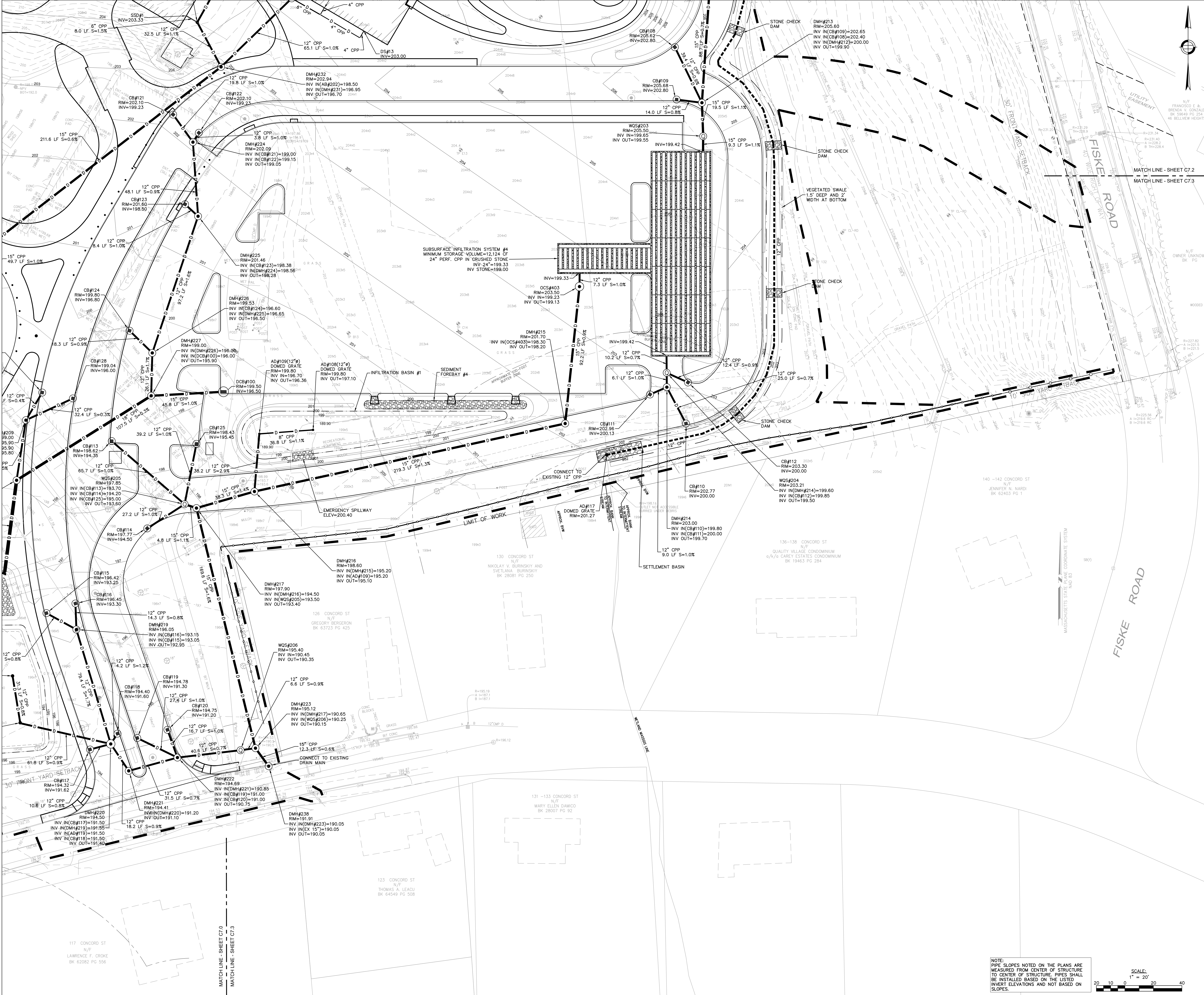
EARLY TRADE PACKAGE

Key Plan

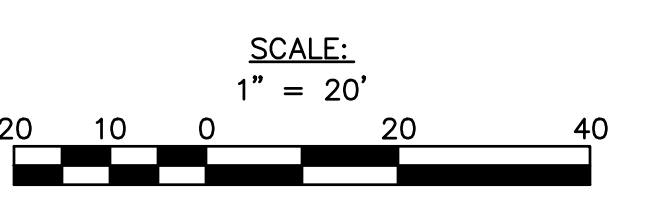
Site Drainage Plan

Drawn By NJB	Project ID 1914.00
Reviewed By BNV/JEC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

C7.3



NOTE:
PIPE SLOPES NOTED ON THE PLANS ARE
MEASURED FROM CENTER OF STRUCTURE
TO CENTER OF STRUCTURE. PIPES SHALL
BE INSTALLED BASED ON THE LISTED
INVERT ELEVATIONS AND NOT BASED ON
SLOPES.



MATCH LINE - SHEET C7.0
MATCH LINE - SHEET C7.3

117 CONCORD ST
N/F
LAWRENCE F. CROKE
BK 62082 PG 556

123 CONCORD ST
N/F
THOMAS A. LEACU
BK 64549 PG 508

130 CONCORD ST
N/F
NIKOLAY V. BURINSKIY AND
SVETLANA BURINSKIY
BK 28081 PG 250

131-133 CONCORD ST
N/F
MARY ELLEN DAMICO
BK 28007 PG 92

140-142 CONCORD ST
N/F
JENNIFER N. NARDI
BK 62403 PG 1

136-138 CONCORD ST
N/F
QUALITY VILLAGE CONDOMINIUM
c/a/g CAREY ESTATES CONDOMINIUM
BK 19463 PG 284



90 Concord Street, Ashland, MA
FLANSBURGH

77 North Washington Street
 Boston, MA 02114-1910
 FLANSBURGH.COM

Owner Project Manager
 Compass Project Management, Inc.
 Owners' Project Manager
 One Edgewater Drive, Suite 204
 Norwood, MA 02062

Consultants
 Nitsch Engineering, Inc.
 Land Survey/Traffic/Civil
 Engineers
 2 Center Plaza
 Boston, MA 02108

Stimson Studio
 Landscape Architect
 288 Norfolk Street
 Cambridge, MA 02139

Engineers Design Group Inc
 Structural Engineer
 350 Main Street
 Malden, MA 02148

Stefura Associates, Inc.
 FF&E and Casework
 77 North Washington Street
 Boston, MA 02114

Crabtree McGrath Associates, Inc.
 FF&E and Casework
 161 West Main Street
 Georgetown, MA 01833

Vanderweil Engineers, LLP
 Mechanical Electrical Technology
 Plumbing & Fire Protection
 Engineers
 274 Summer Street
 Boston, MA 02210

Fuss and O'Neill, Inc.
 Hazardous Materials
 108 Myrtle Street, Suite 502
 Quincy, MA 02171

AM Fogarty
 Cost Estimators
 175 Derby St, Ste 5
 Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

EARLY TRADE PACKAGE

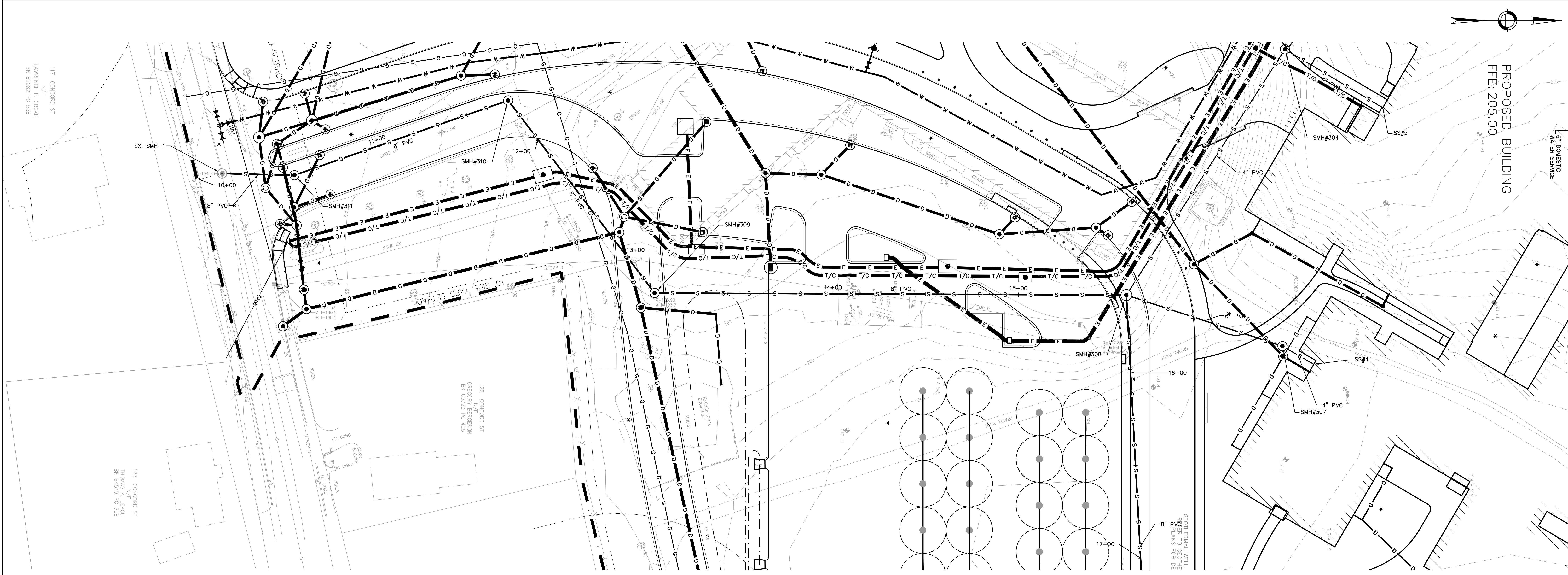
Key Plan

Sheet Title

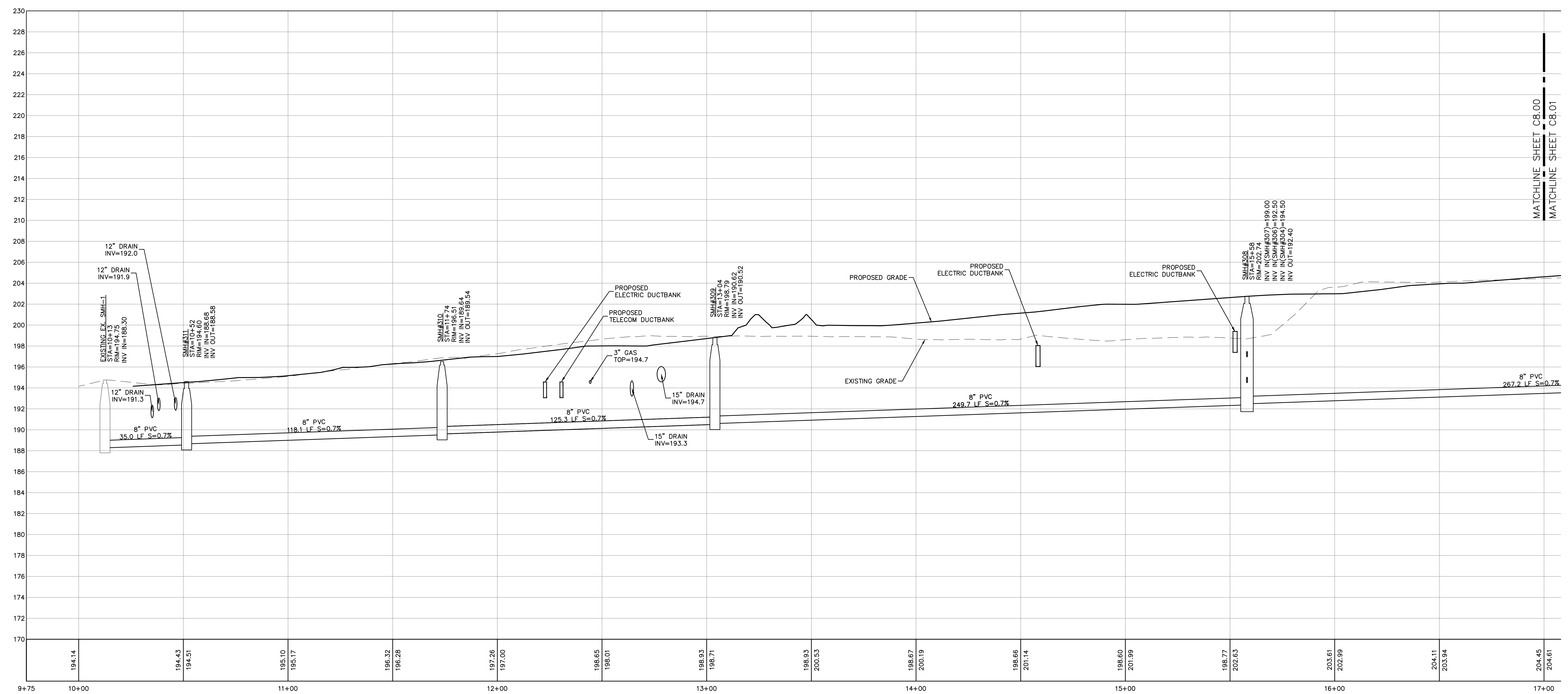
Sewer Profile

Drawn By NJB	Project ID 1914.00
Reviewed By BNV/JEC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

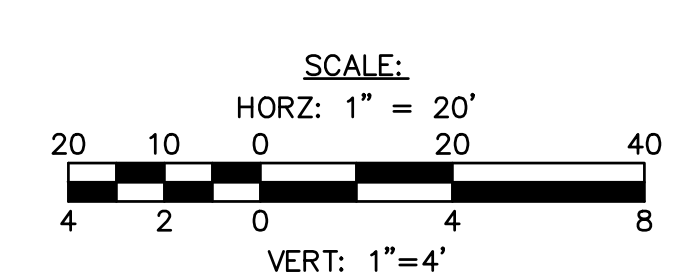
C8.0



SEWER MAIN LINE PLAN VIEW



SEWER MAIN LINE PROFILE VIEW
 STA 10+00 TO 17+00





FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

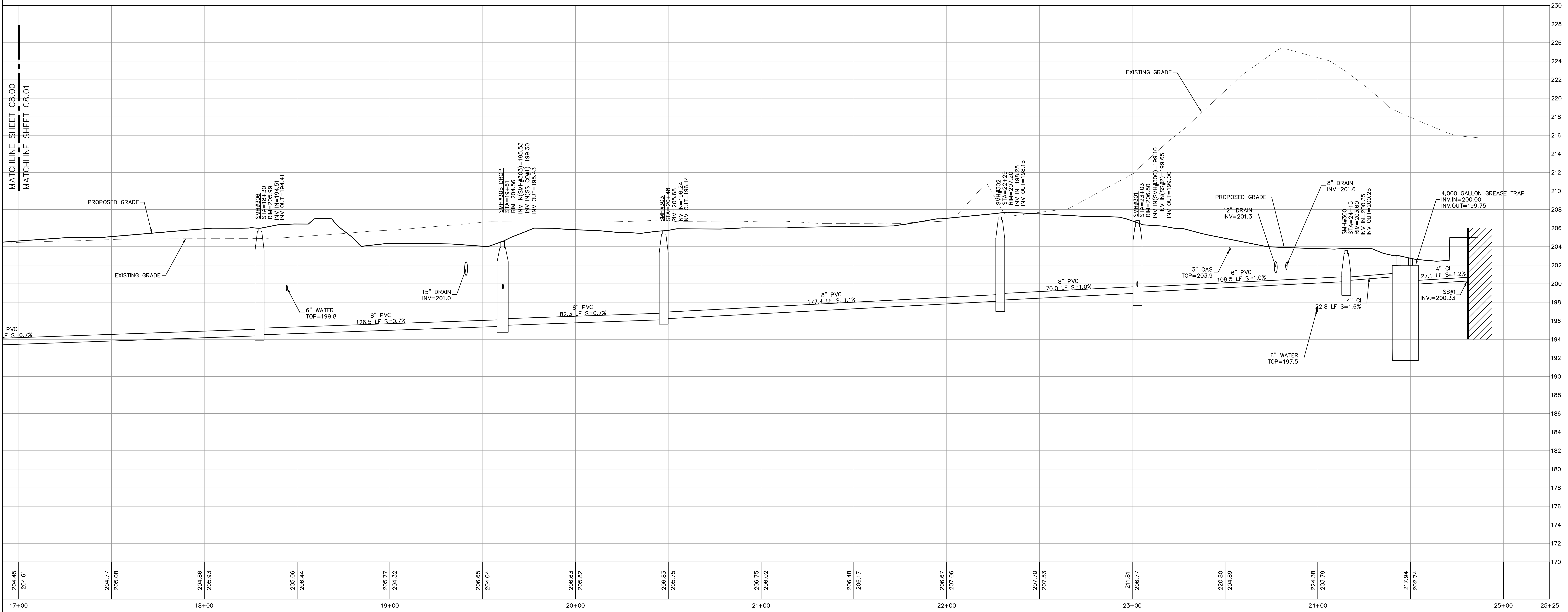
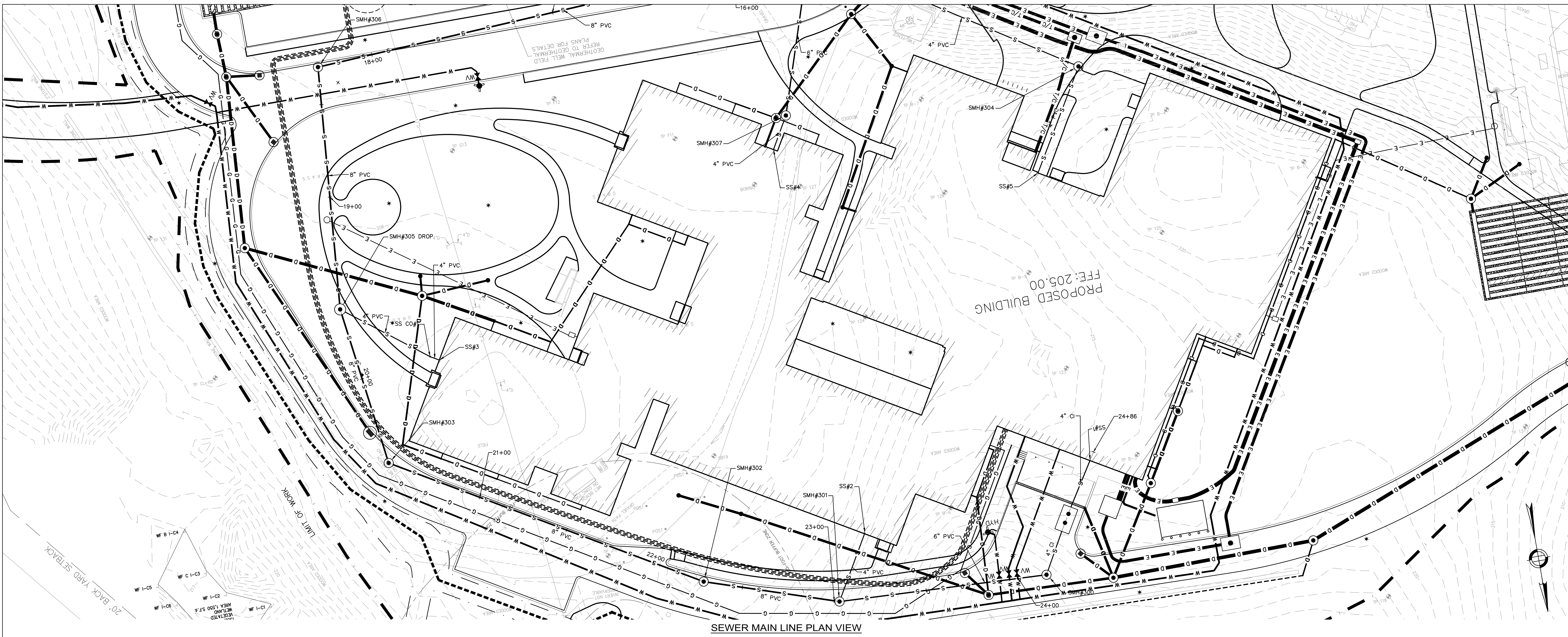
Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

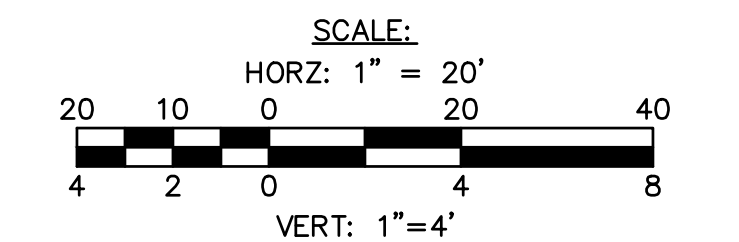
Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043



SEWER MAIN LINE PROFILE VIEW
STA 17+00 TO 25+00



No.	Date	Note
REVISIONS		
ISSUE		

EARLY TRADE PACKAGE

Key Plan

Sheet Title: Sewer Profile

Drawn By: NJB
Reviewed By: BNV/IECS
Issue Date: 09/29/2021
Sheet No.:

Project ID: 1914.00
Scale: 1" = 20'
Plot Date: 09/29/2021

C8.1



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1910
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St. Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

EARLY TRADE PACKAGE

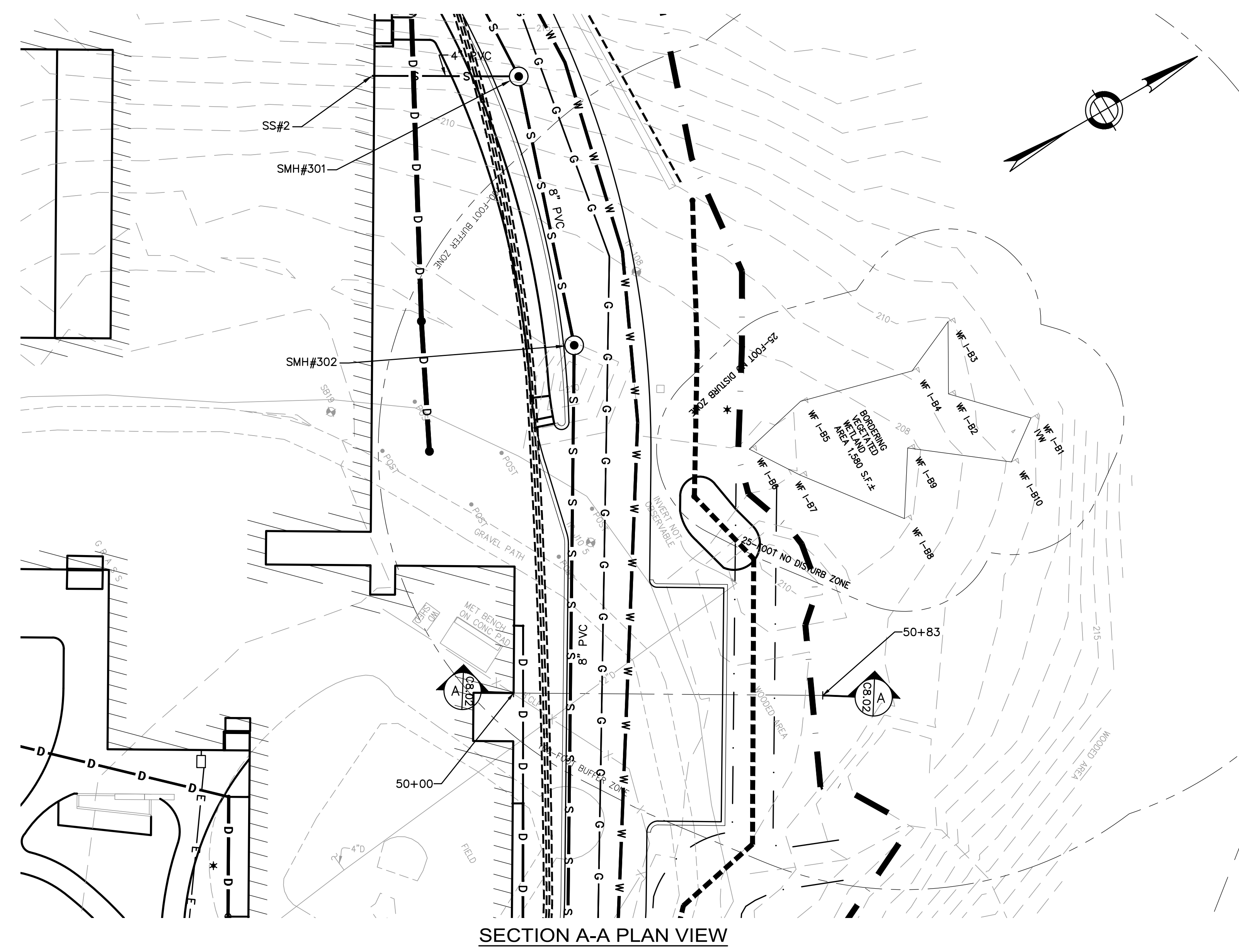
Key Plan

Stamp

Utility Section

Drawn By NJB	Project ID 1914.00
Reviewed By BNV/JEC	Scale 1" = 20'
Issue Date 09-29-2021	Plot Date 09-29-2021
Sheet No.	

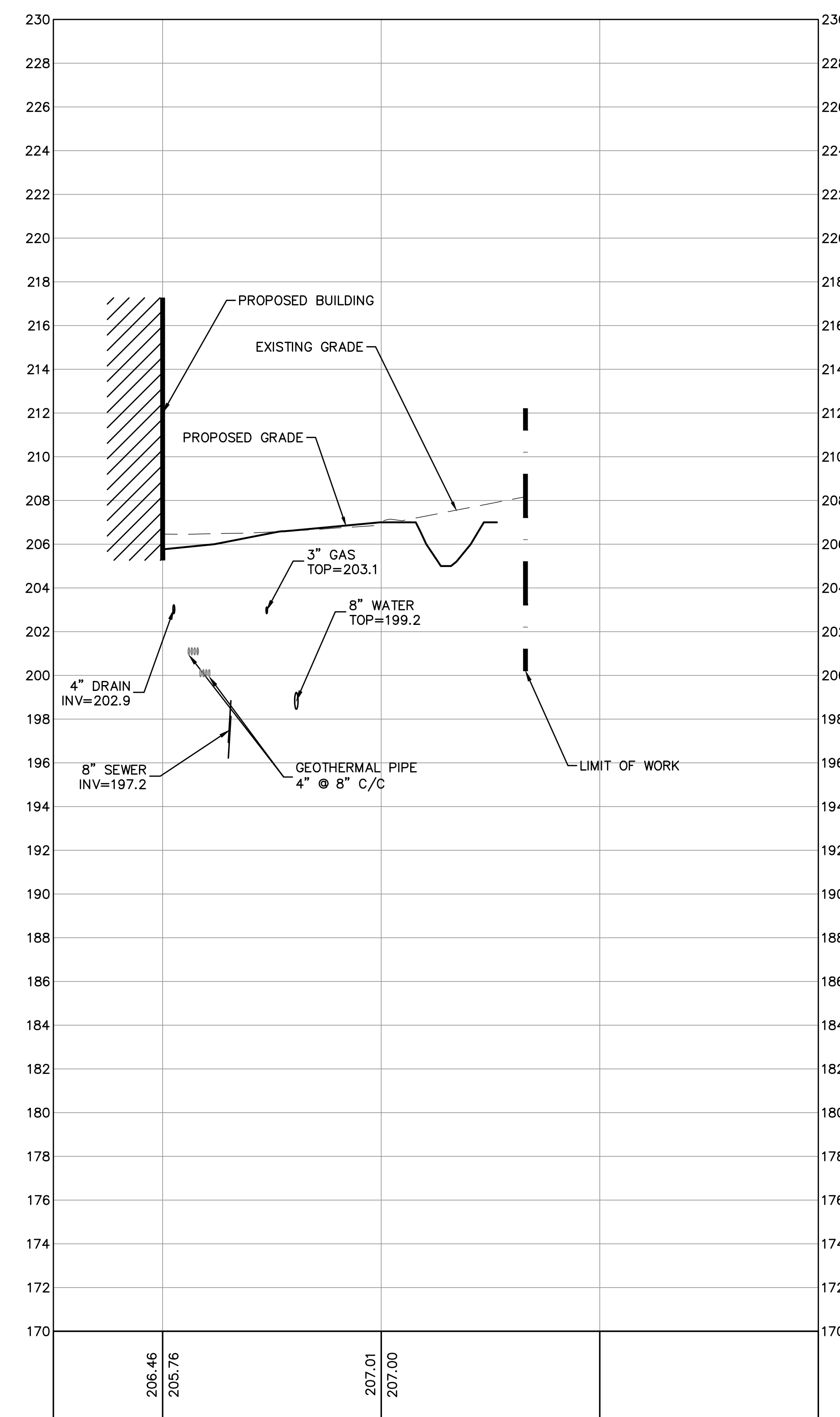
C8.2



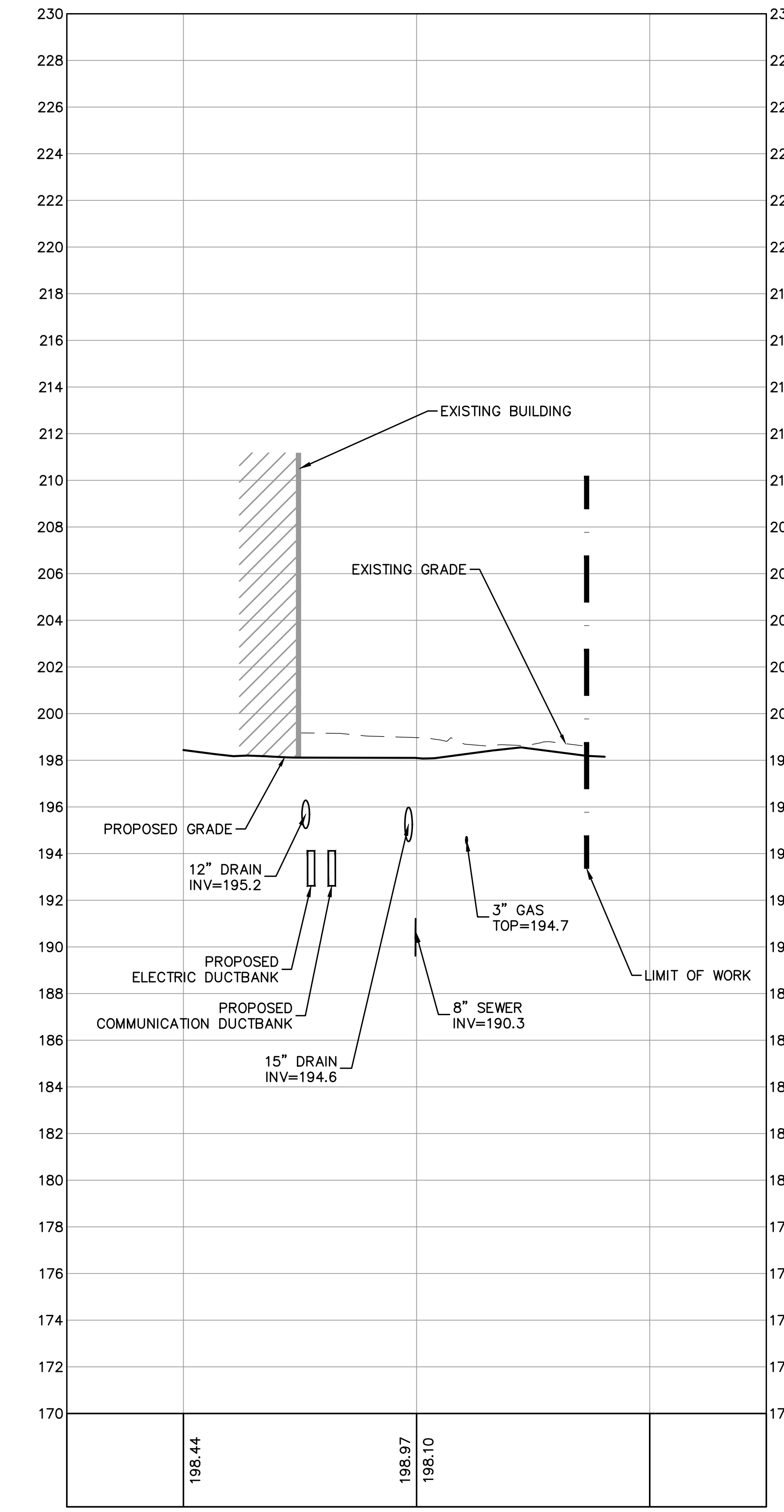
SECTION A-A PLAN VIEW



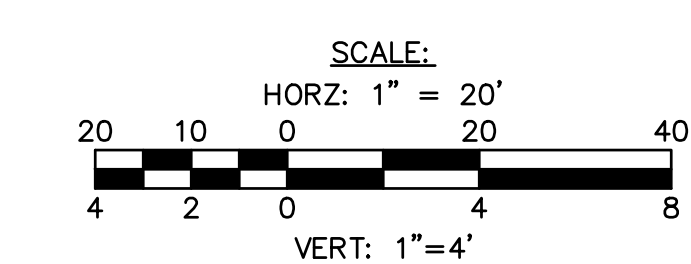
SECTION B-B PLAN VIEW



SECTION A-A PROFILE VIEW



SECTION B-B PROFILE VIEW





FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-9110
FLANSBURGH.COM

Owner/Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108
Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

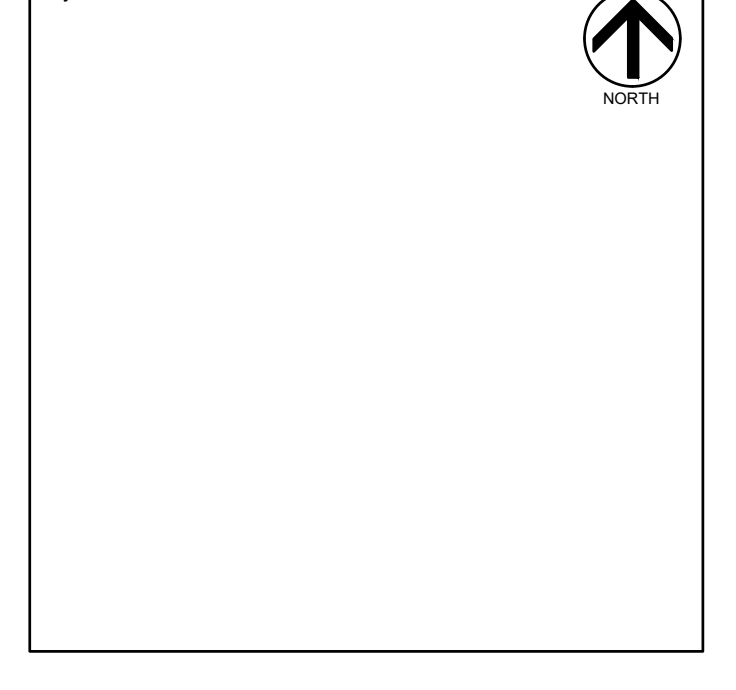
Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
ISSUE		

Stamp

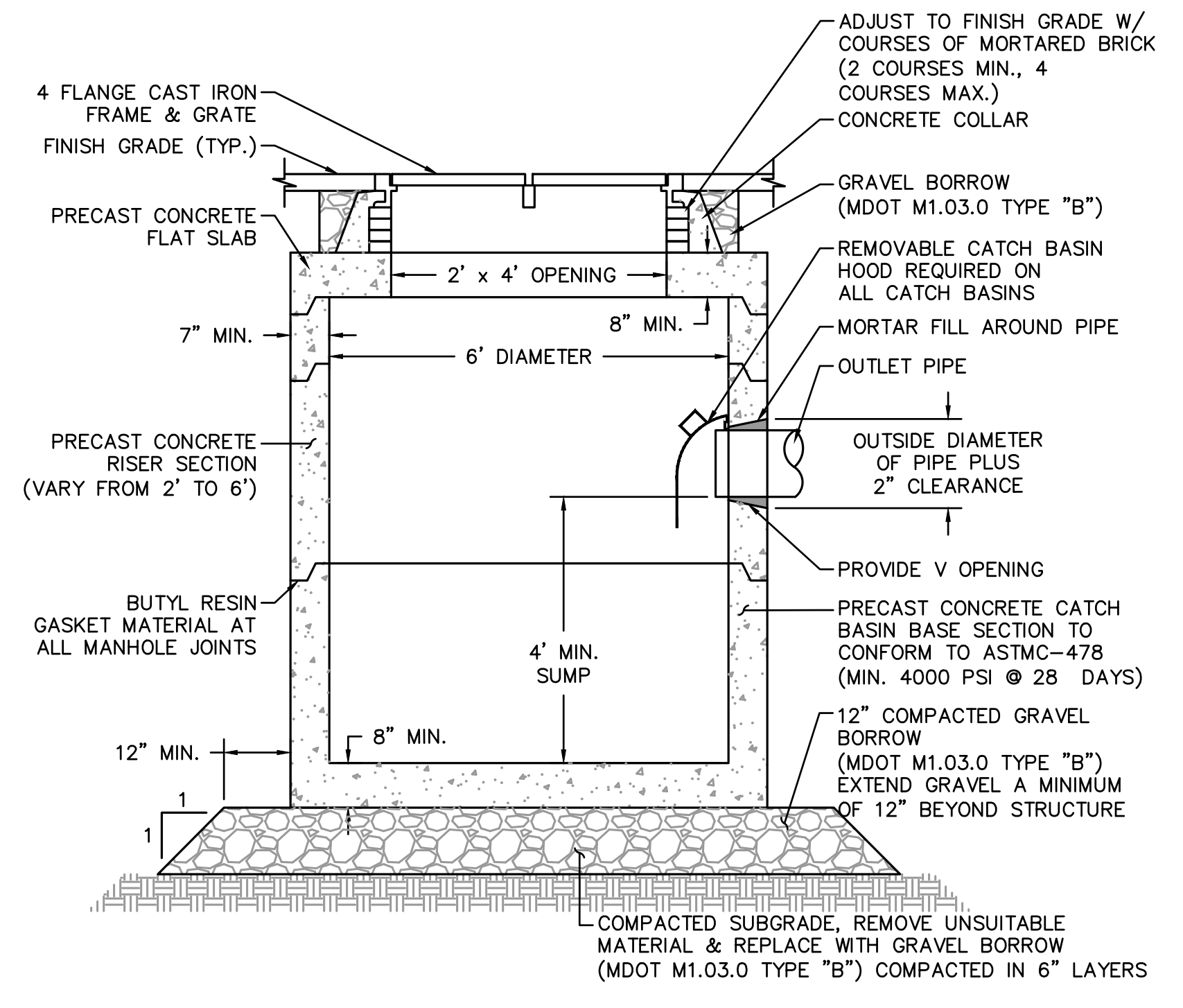
EARLY TRADE PACKAGE



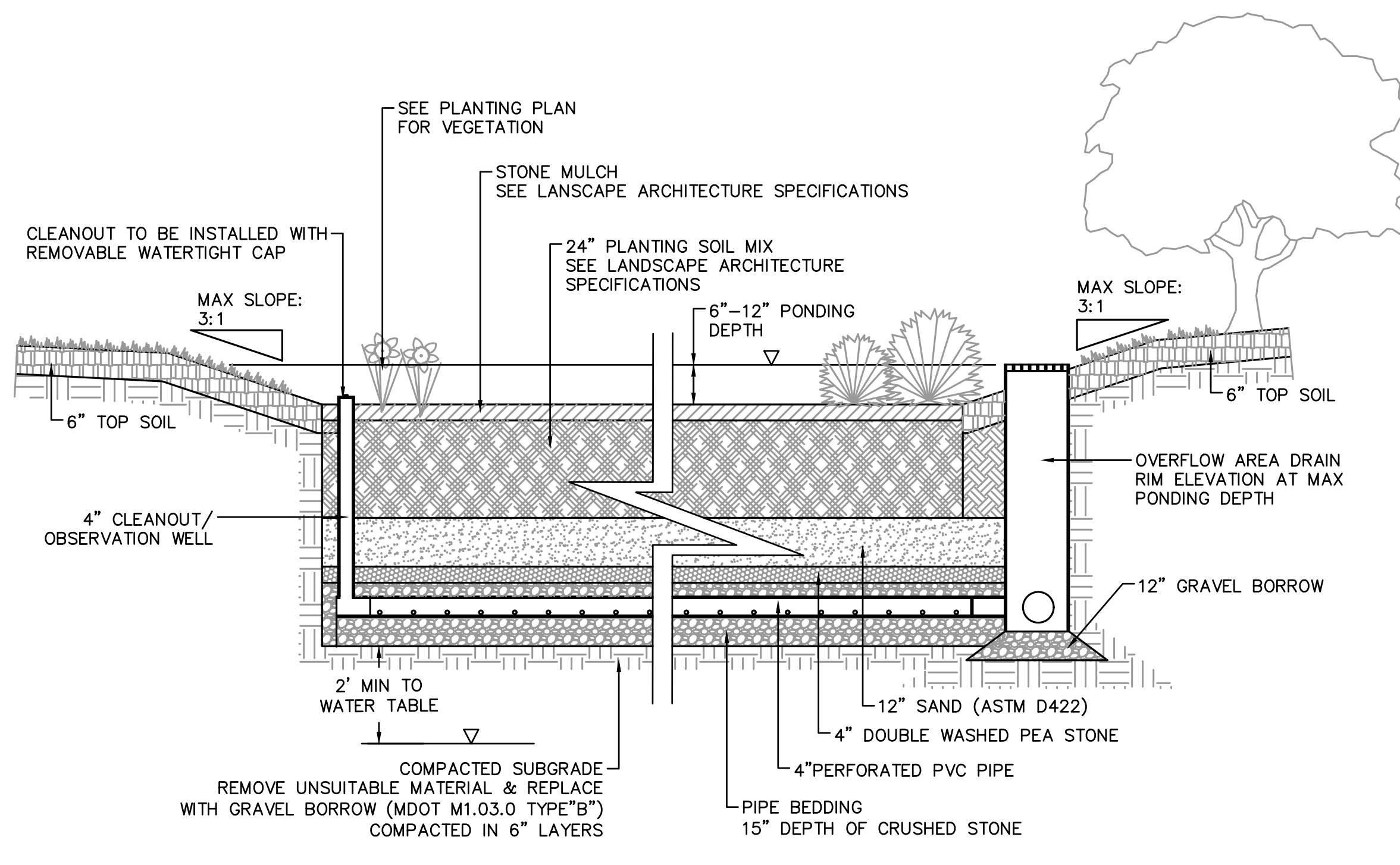
Civil Details

Drawn By NJB	Project ID 1914.00
Reviewed By BMV/JEG	Scale NOT TO SCALE
Issue Date 09.29.2021	Plot Date 09.29.2021

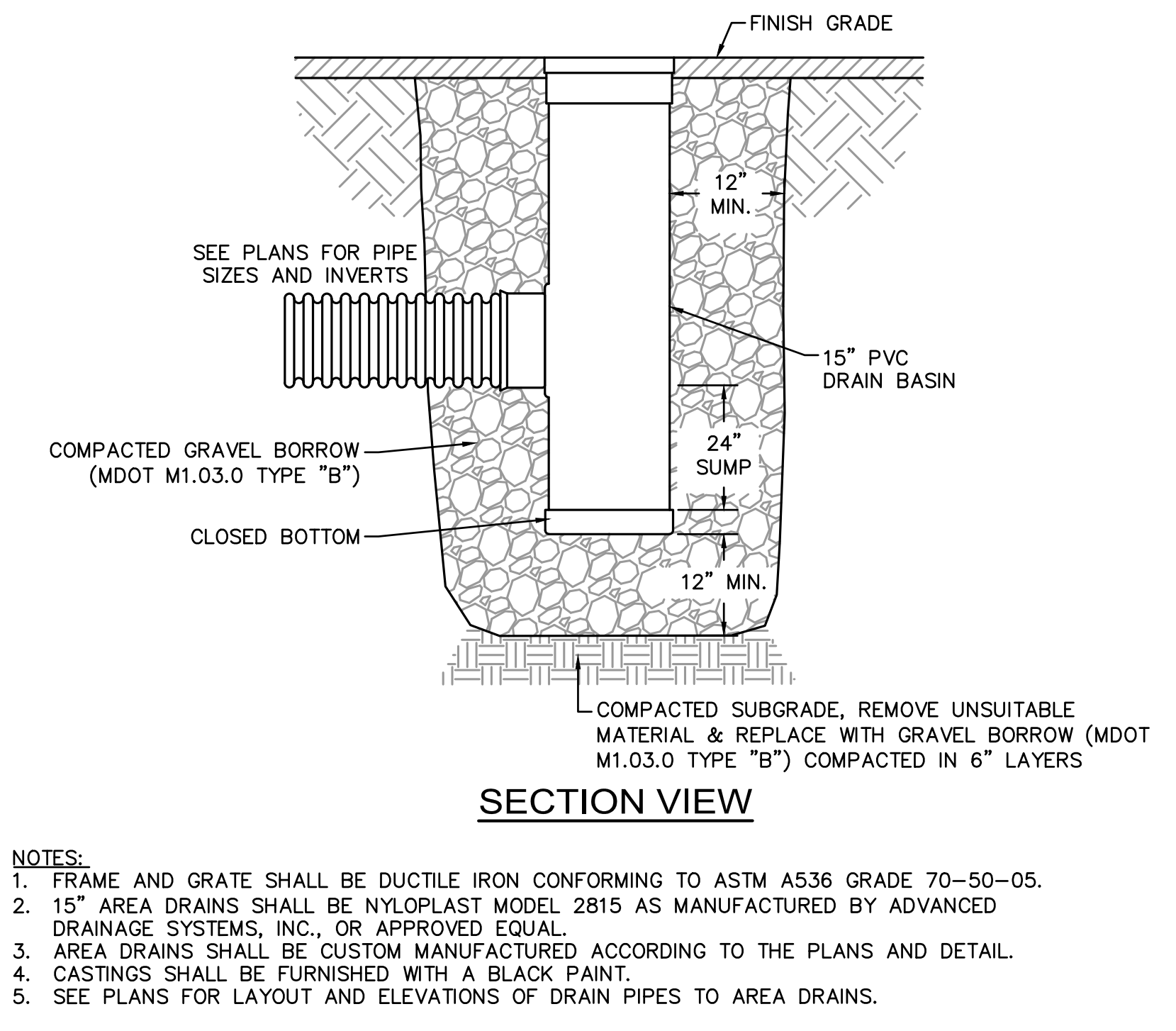
C9.1



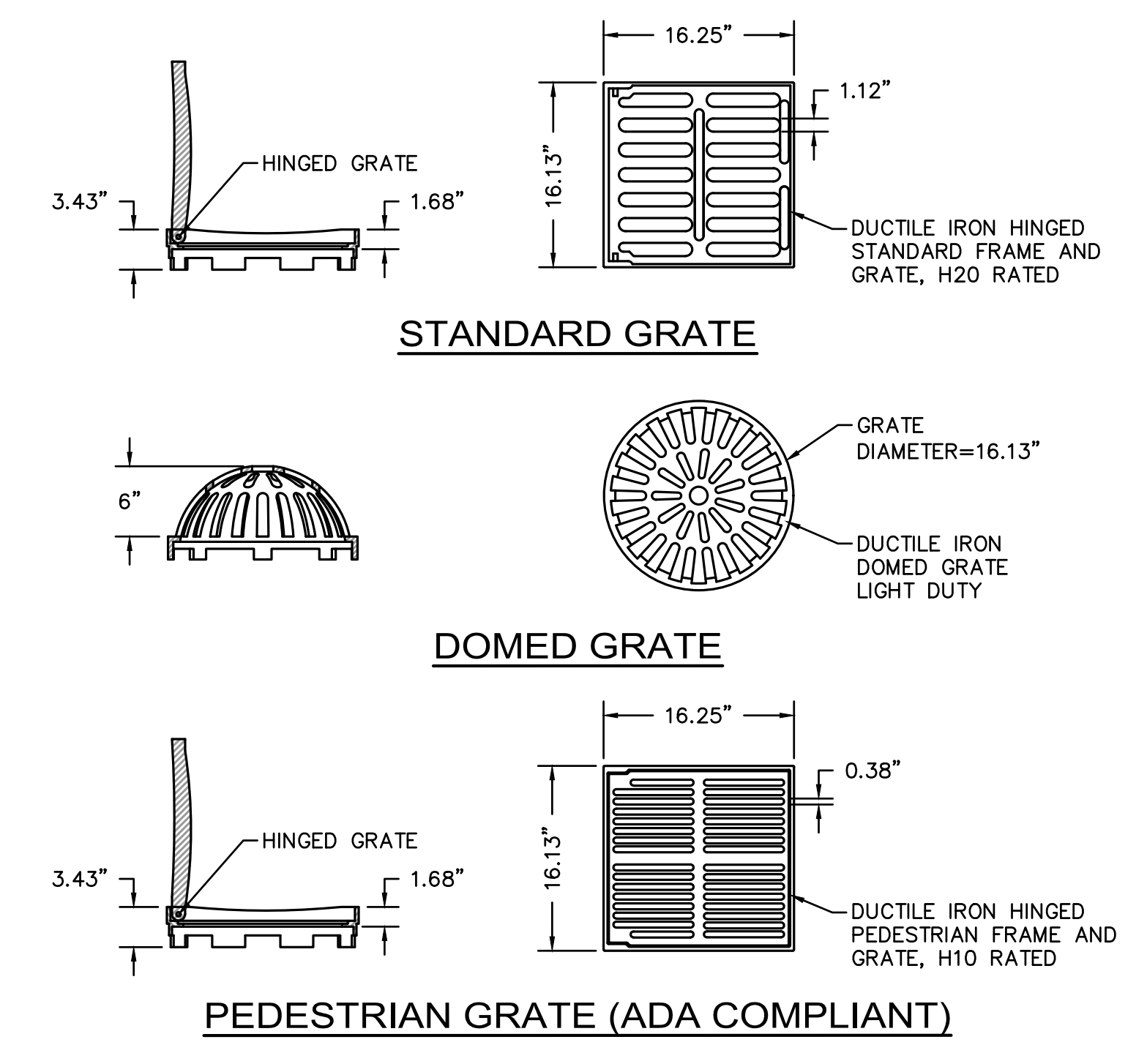
TYPICAL DOUBLE CATCH BASIN DETAIL
NOT TO SCALE



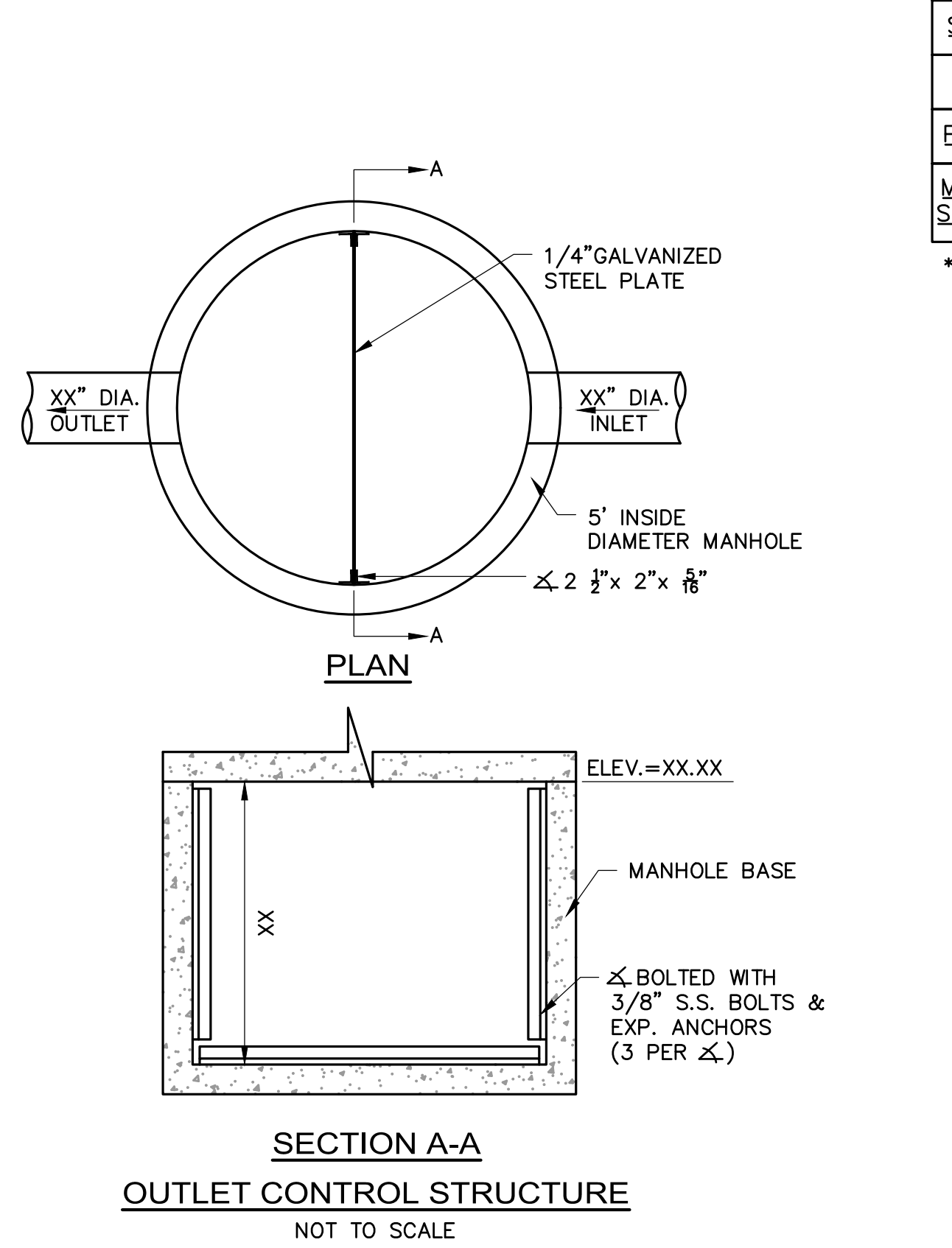
BIORETENTION BASIN
NOT TO SCALE



15" AREA DRAIN DETAIL
NOT TO SCALE



STANDARD GRATE
DOMED GRATE
PEDESTRIAN GRATE (ADA COMPLIANT)

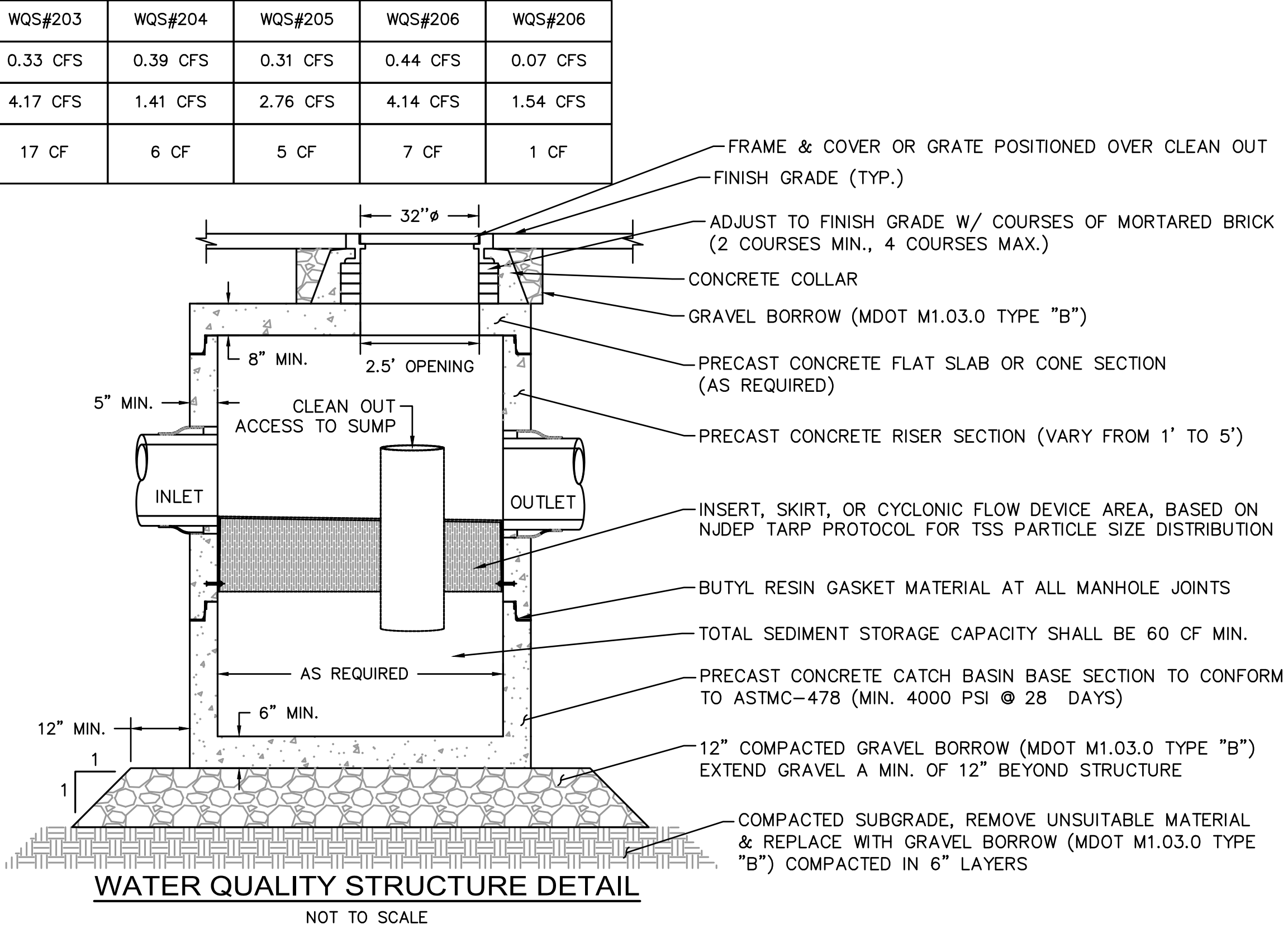


OUTLET CONTROL STRUCTURE
NOT TO SCALE

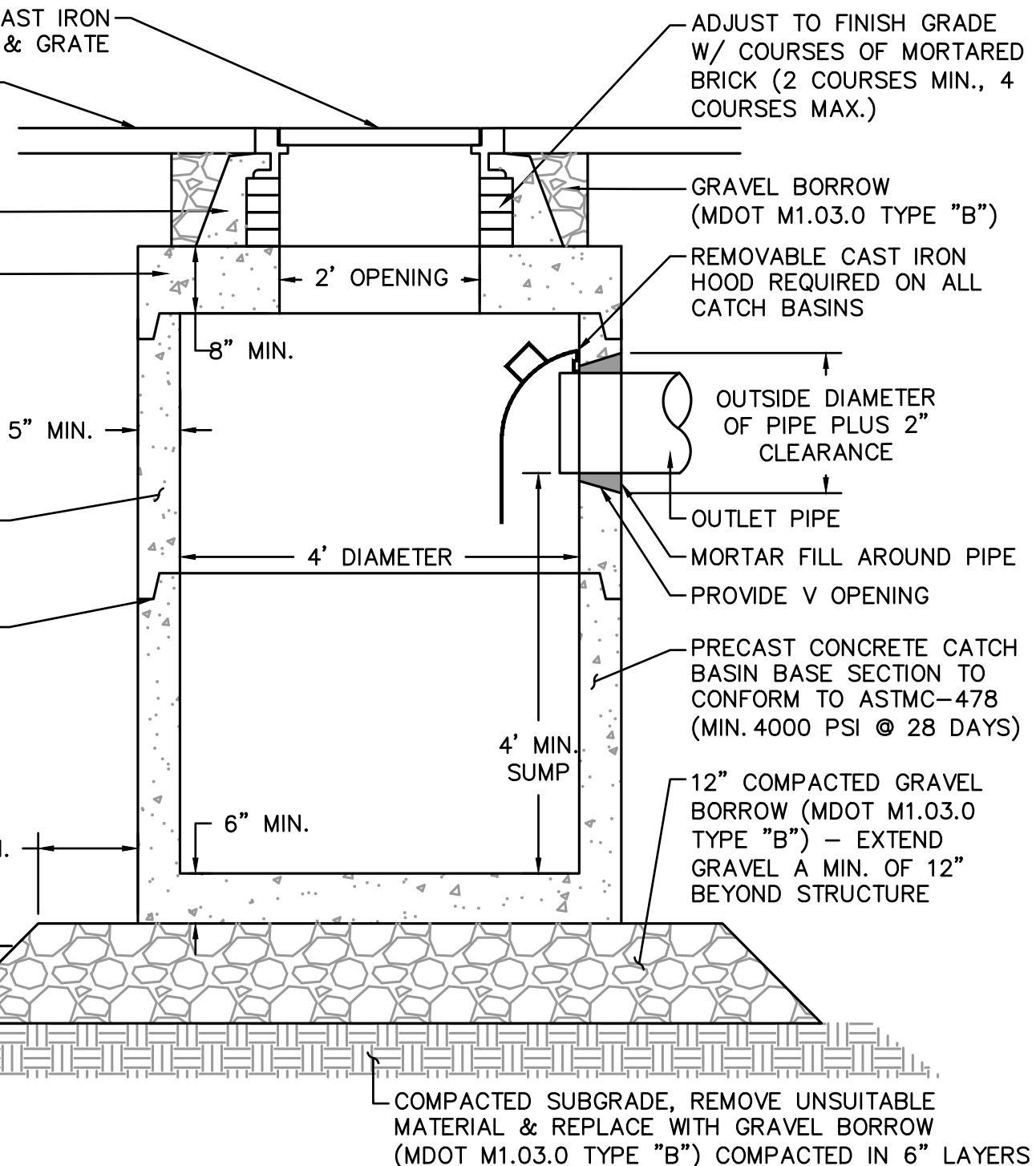
STRUCTURE NAME	WQS#200	WQS#201	WQS#202	WQS#203	WQS#204	WQS#205	WQS#206	WQS#206
MINIMUM WQE	0.54 CFS	0.17 CFS	0.35 CFS	0.33 CFS	0.39 CFS	0.31 CFS	0.44 CFS	0.07 CFS
PEAK FLOW RATE*	4.04 CFS	0.84 CFS	1.20 CFS	4.17 CFS	1.41 CFS	2.76 CFS	4.14 CFS	1.54 CFS
MINIMUM SEDIMENT STORAGE CAPACITY	31 CF	4 CF	5 CF	17 CF	6 CF	5 CF	7 CF	1 CF

* PEAK FLOW RATE BASED ON RATIONAL ANALYSIS FOR A 25-YEAR STORM EVENT. STRUCTURE SHALL BE ABLE TO PASS PEAK FLOW RATE WITHOUT CAUSING A BACKWATER CONDITION.

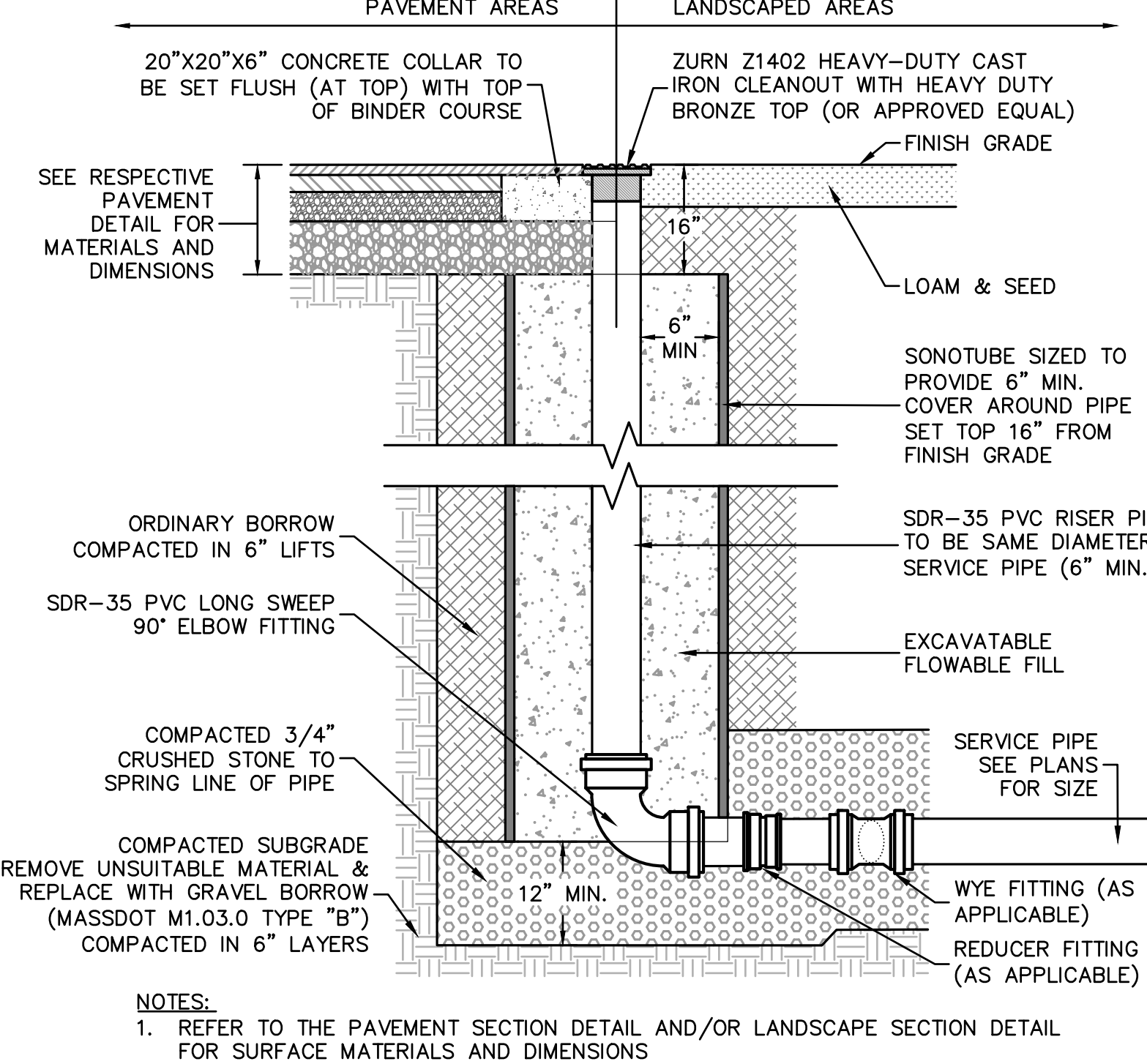
- NOTES:
- THE USE OF FLEXIBLE CONNECTIONS IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
 - THE COVER SHOULD BE POSITIONED OVER THE OUTLET DROP PIPE AND THE OIL CLEANOUT PIPE.
 - STRUCTURE DESIGNED FOR H20 LOADING.



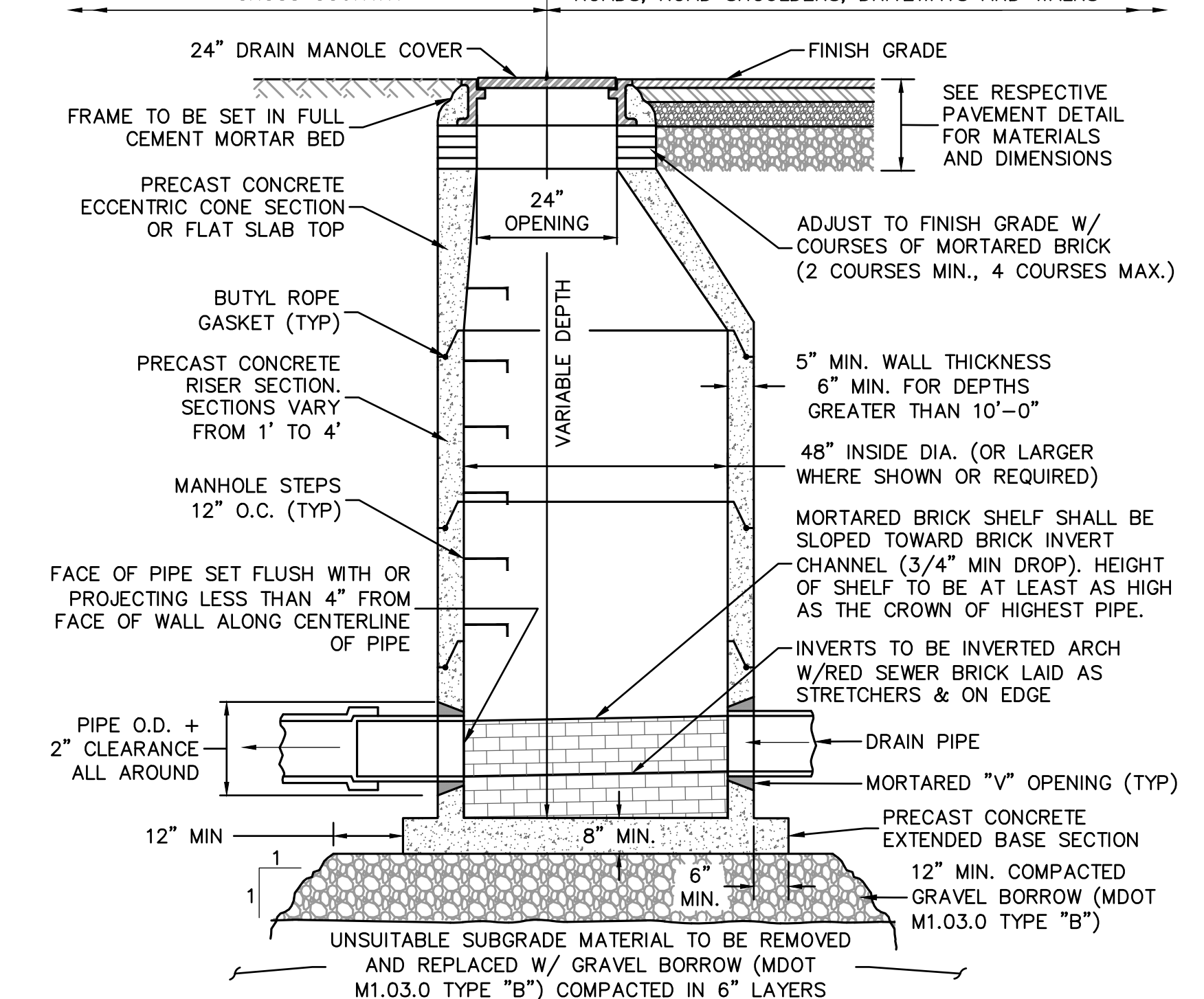
WATER QUALITY STRUCTURE DETAIL
NOT TO SCALE



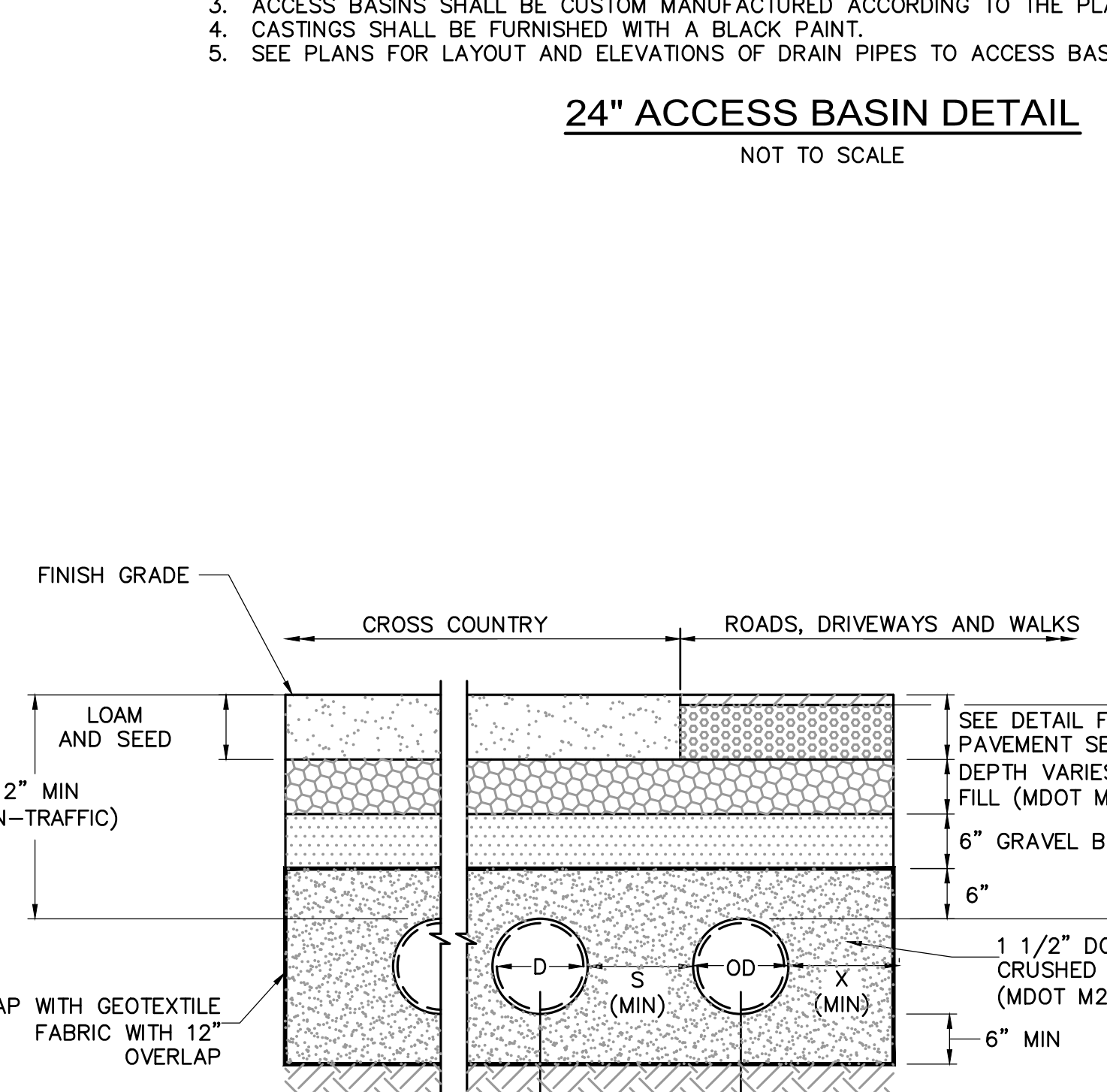
TYPICAL CATCH BASIN DETAIL
NOT TO SCALE



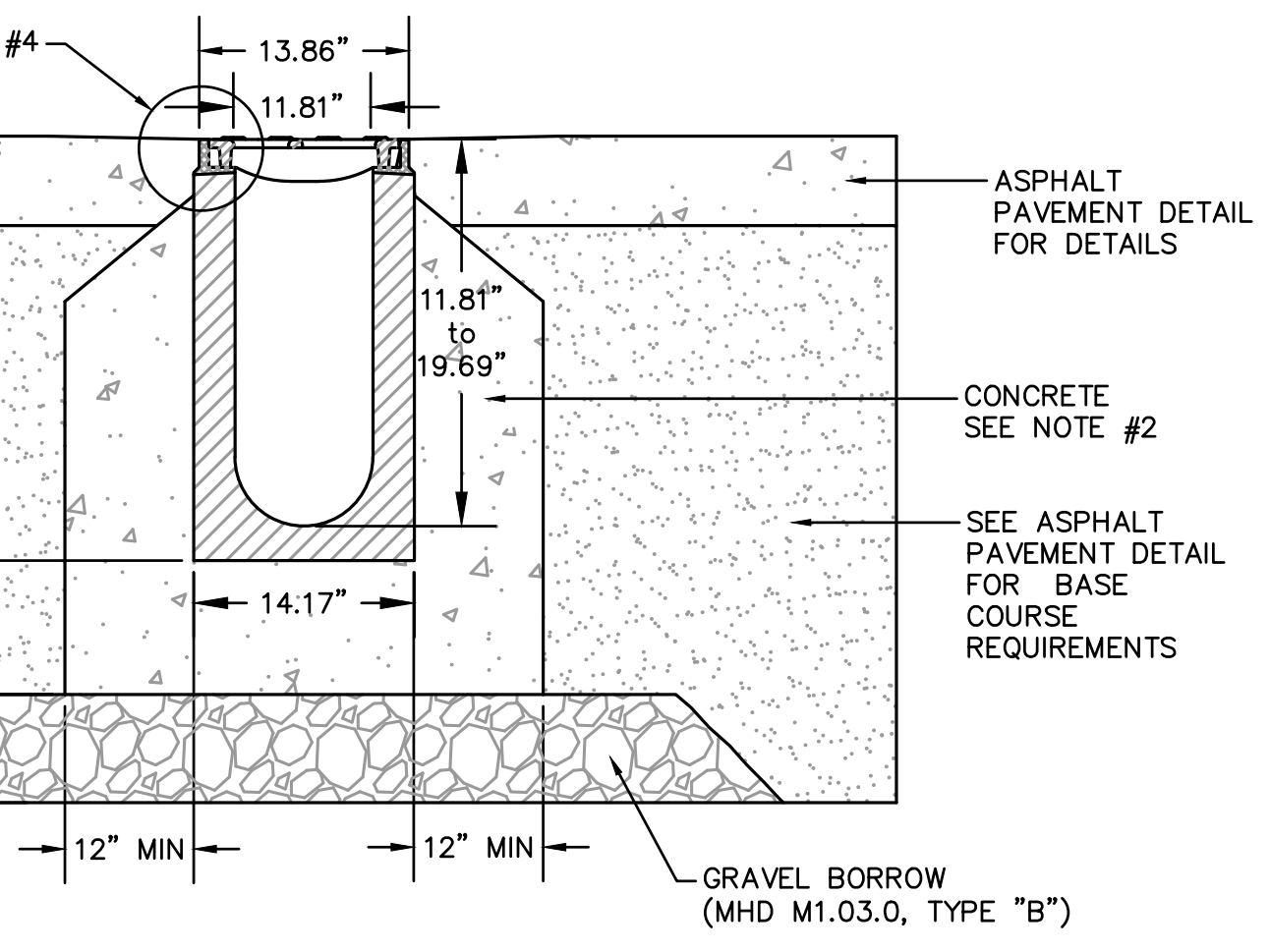
CLEANOUT DETAIL
NOT TO SCALE



TYPICAL DRAIN MANHOLE DETAIL
NOT TO SCALE

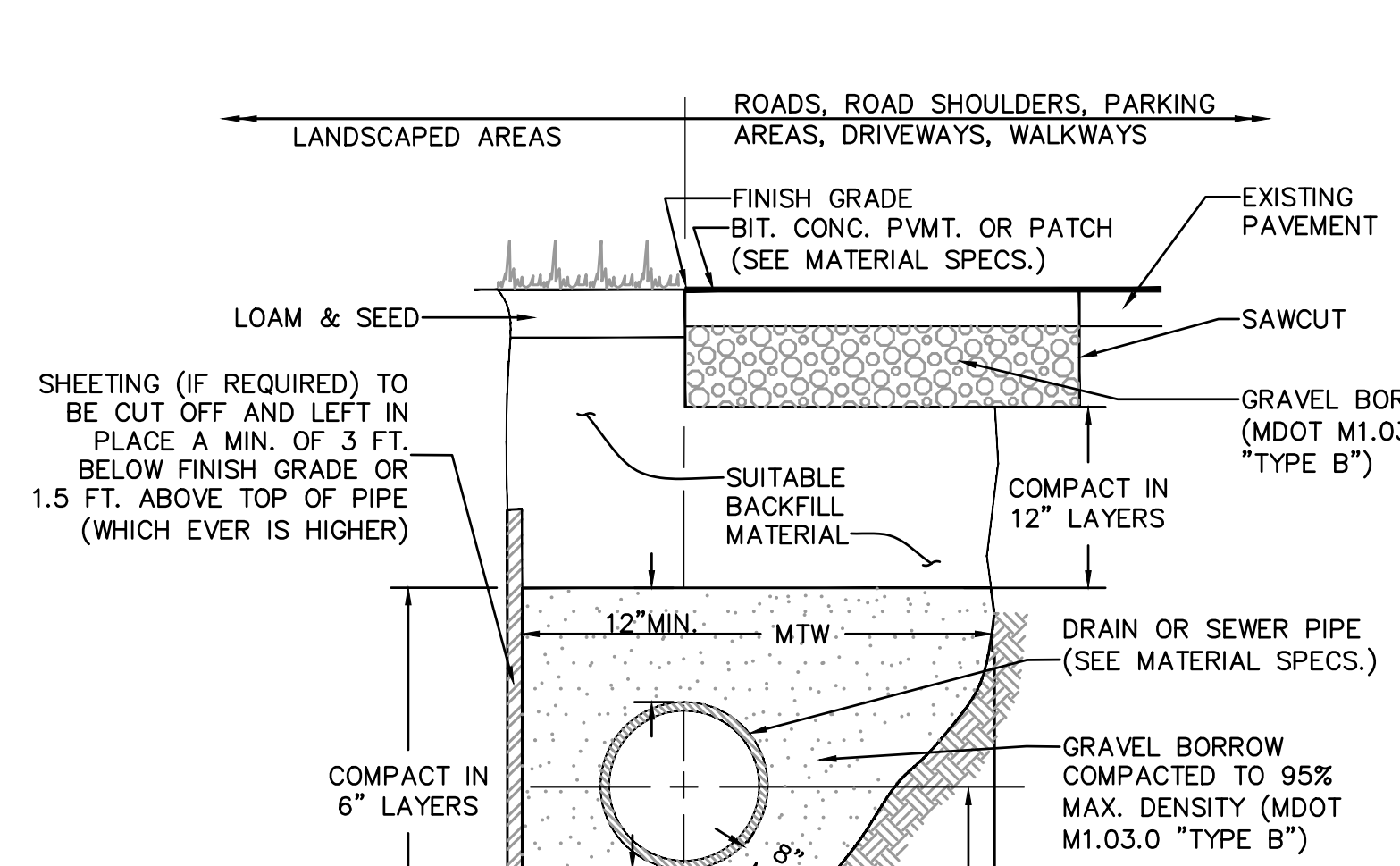


24" ACCESS BASIN DETAIL
NOT TO SCALE



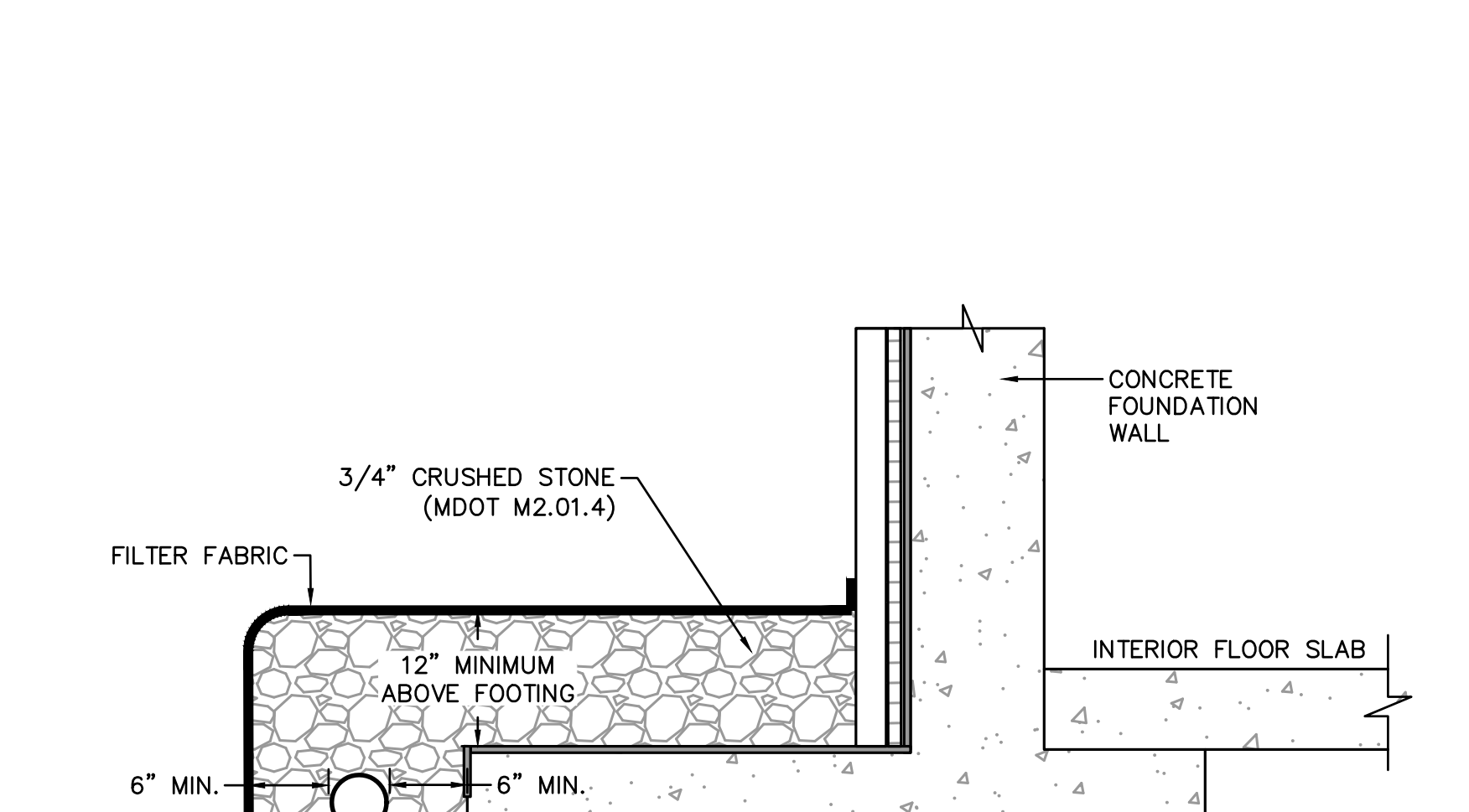
- NOTES:
- TRENCH DRAIN SHALL BE POLYMER CONCRETE CHANNEL SYSTEM WITH DUCTILE IRON RAIL AND GRATE.
 - TRENCH DRAIN SYSTEM AND GRATES SHALL BE H-20 LOADING.
 - CONCRETE CRADLE FOR TRENCH DRAIN SHALL BE MINIMUM 4,000 PSI. CONCRETE SHALL BE VIBRATED TO ELIMINATE AIR POCKETS.
 - THE FINISHED LEVEL OF THE ASPHALT SHALL BE FLUSH WITH THE TOP OF THE CHANNEL EDGE.
 - TRENCH DRAIN SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL TRENCH DRAINS SHALL BE PROVIDED WITH AN INLINE CATCH BASIN AT THE LOW POINT OF THE SYSTEM. WIDTH OF INLINE CATCH BASIN TO MATCH WIDTH OF TRENCH DRAIN.

12" TRENCH DRAIN DETAIL IN ASPHALT PAVEMENT
NOT TO SCALE



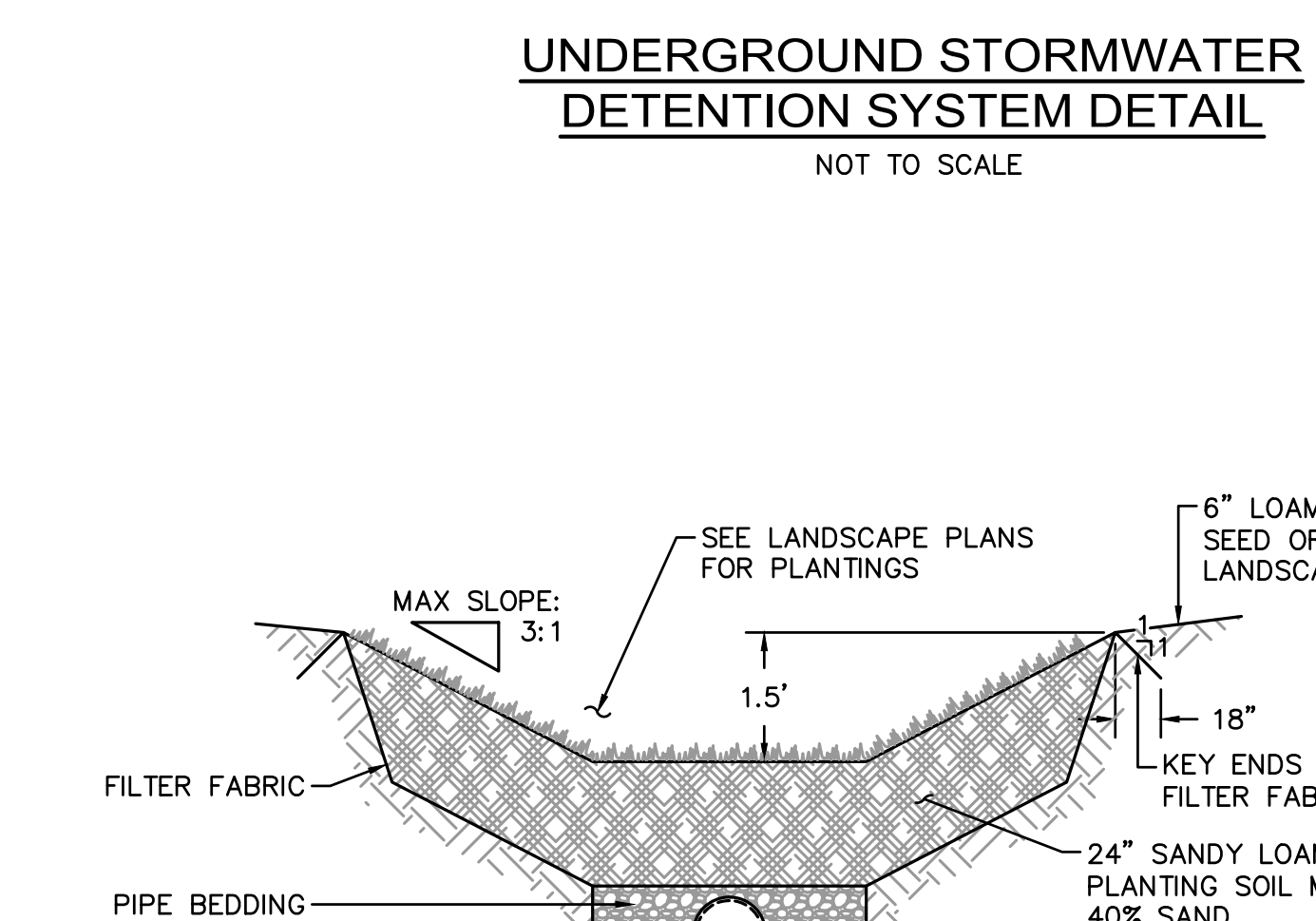
- WHERE NECESSARY, UNSUITABLE MATERIAL TO BE REMOVED & REPLACED WITH GRAVEL BORROW PLACED IN 6" LAYERS AND COMPACTED TO 95% MAX. DENSITY.

STANDARD TRENCH DETAIL FOR DRAIN AND SEWER PIPE
NOT TO SCALE



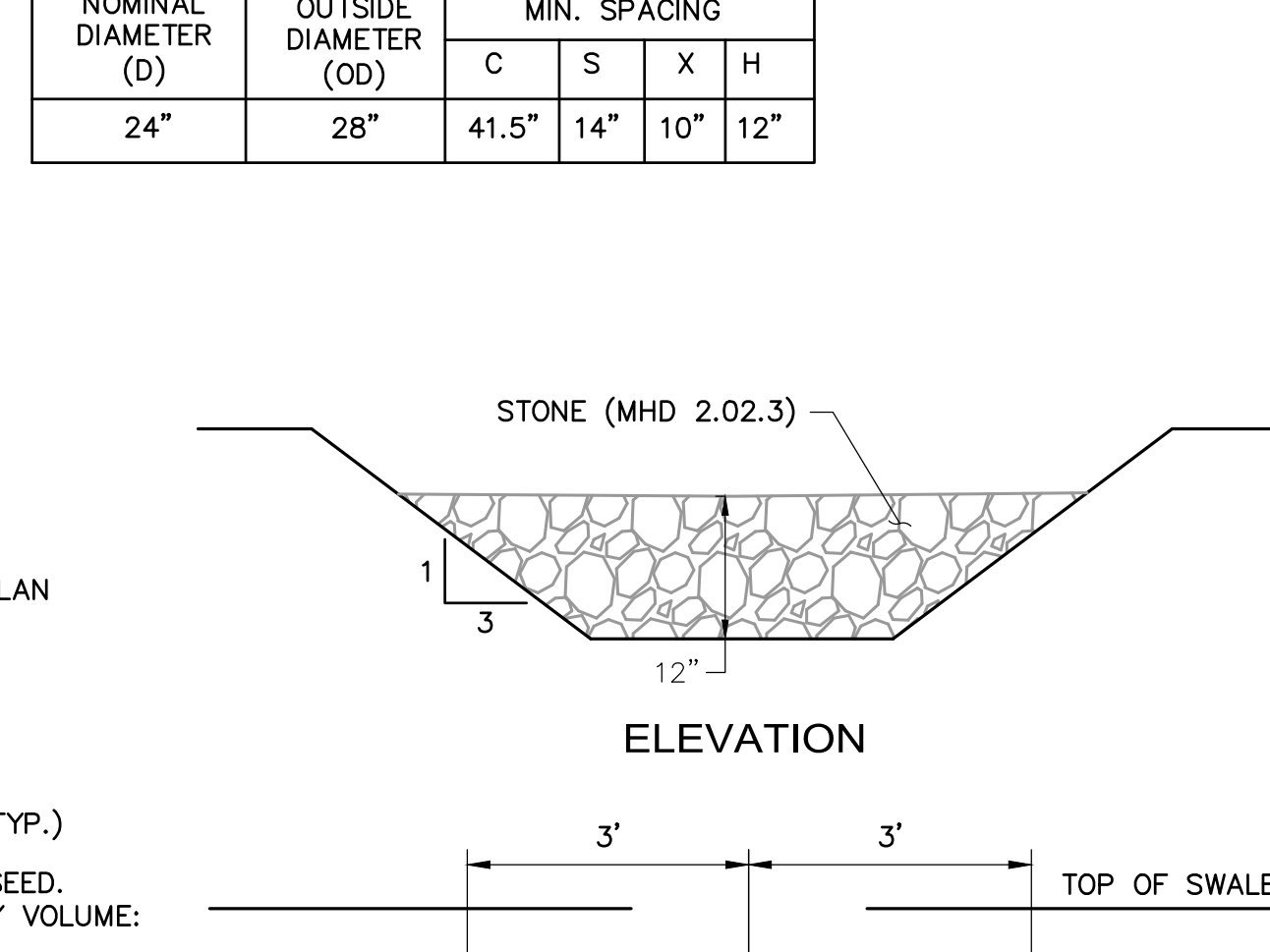
- 6" DIA. PERFORATED PVC SUBDRAIN PIPE. PERFORATIONS AT 12" O.C. AT 5:00 AND 7:00 POSITION.

PERIMETER FOUNDATION SUBDRAIN DETAIL
NOT TO SCALE



- NOTES:
- EROSION AND SEDIMENTATION CONTROL BLANKETS (SEE DETAIL ON C-41) SHOULD BE USED ON SLOPES OF 3:1 OR GREATER FOR STABILIZATION DURING CONSTRUCTION.

VEGETATED SWALE SECTION
NOT TO SCALE



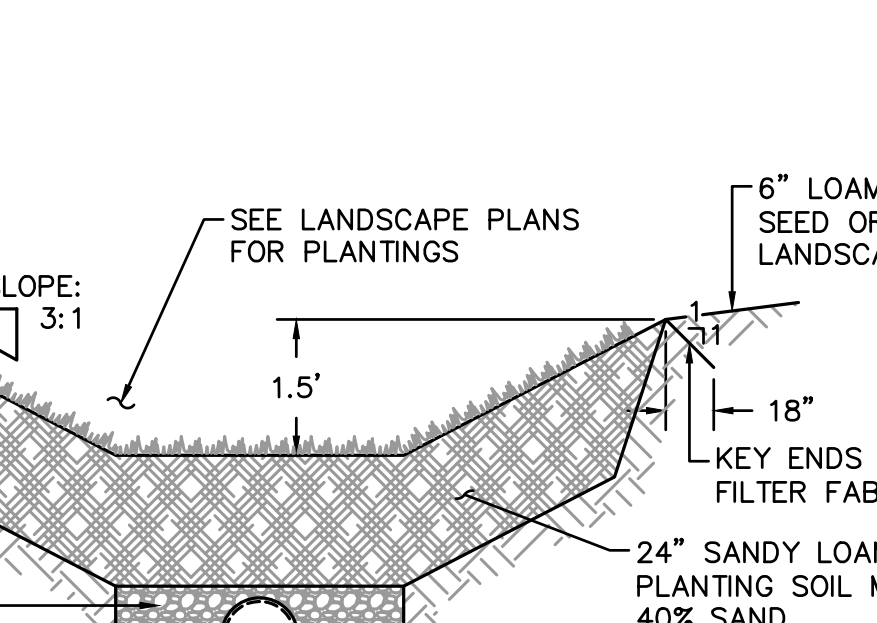
- 3:1 (H:V) MAX.

STONE CHECK DAM
NOT TO SCALE

UNDERGROUND STORMWATER DETENTION SYSTEM DETAIL

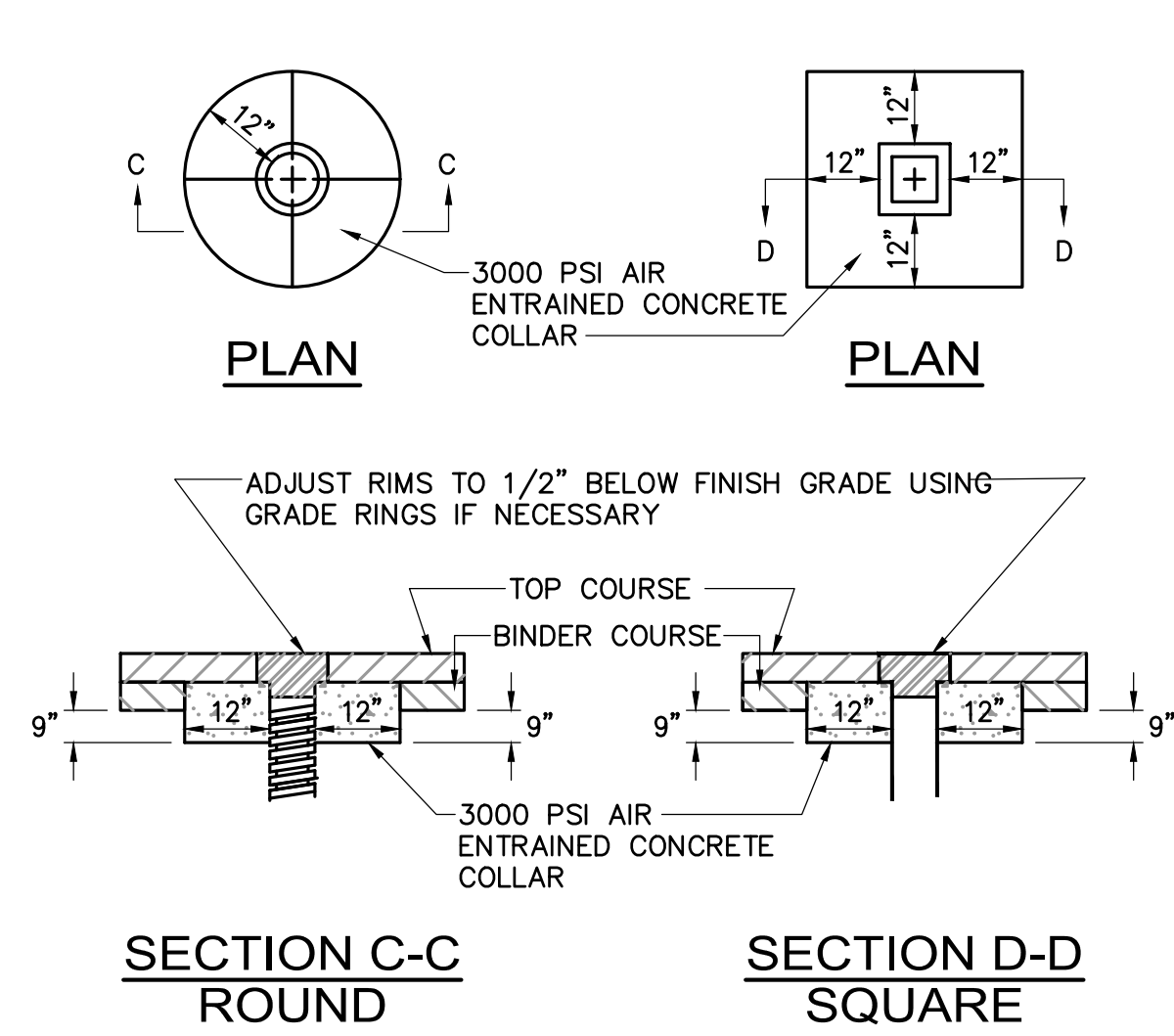
NOT TO SCALE

NOMINAL DIAMETER (D)	OUTSIDE DIAMETER (OD)	MIN. SPACING			
		C	S	X	H
24"	28"	41.5"	14"	10"	12"

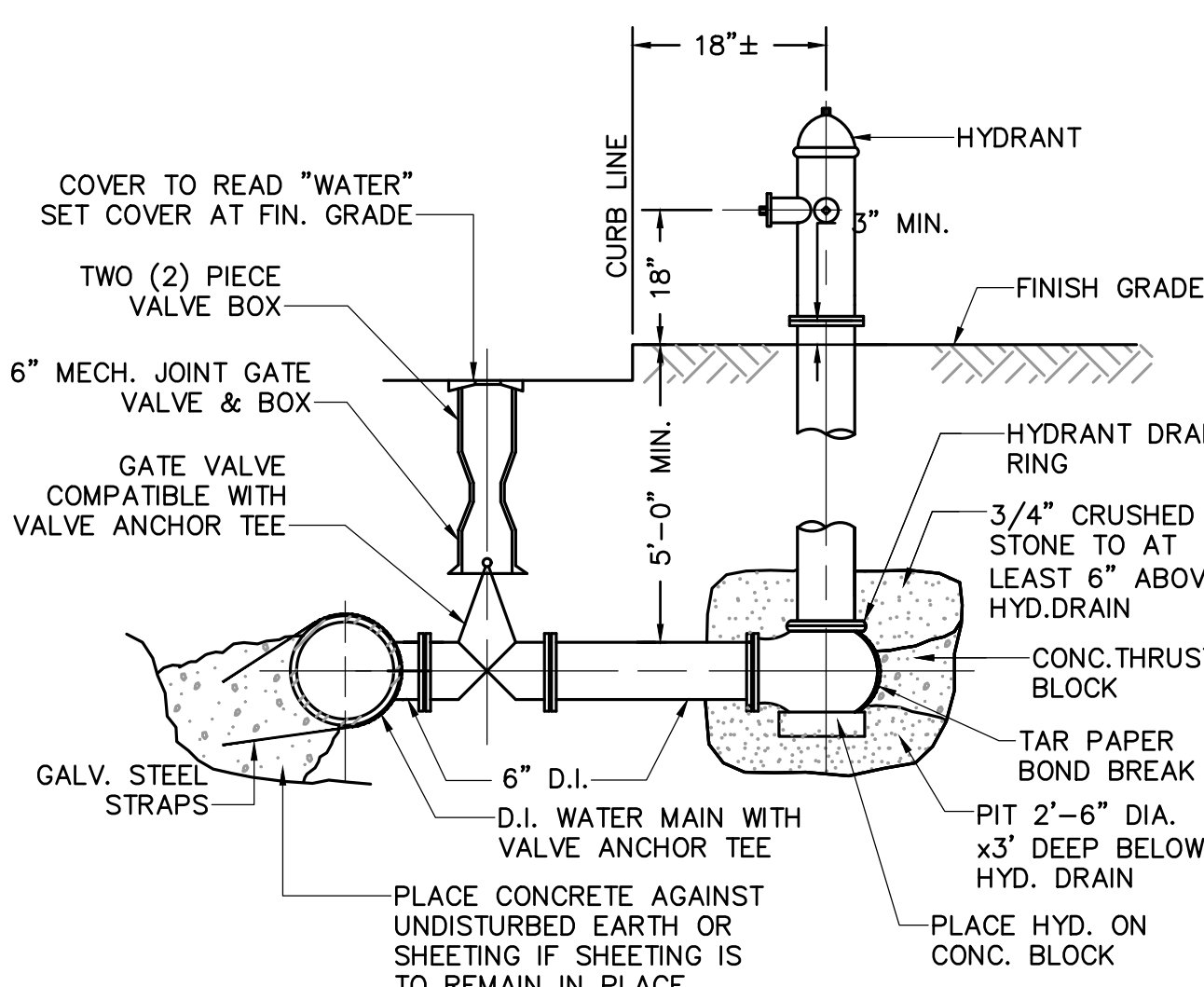


- NATIVE SOIL - CONTRACTOR SHALL NOT COMPACT SOIL. UNSUITABLE SOIL SHALL BE REMOVED AND REPLACED WITH WASHED CRUSHED STONE.

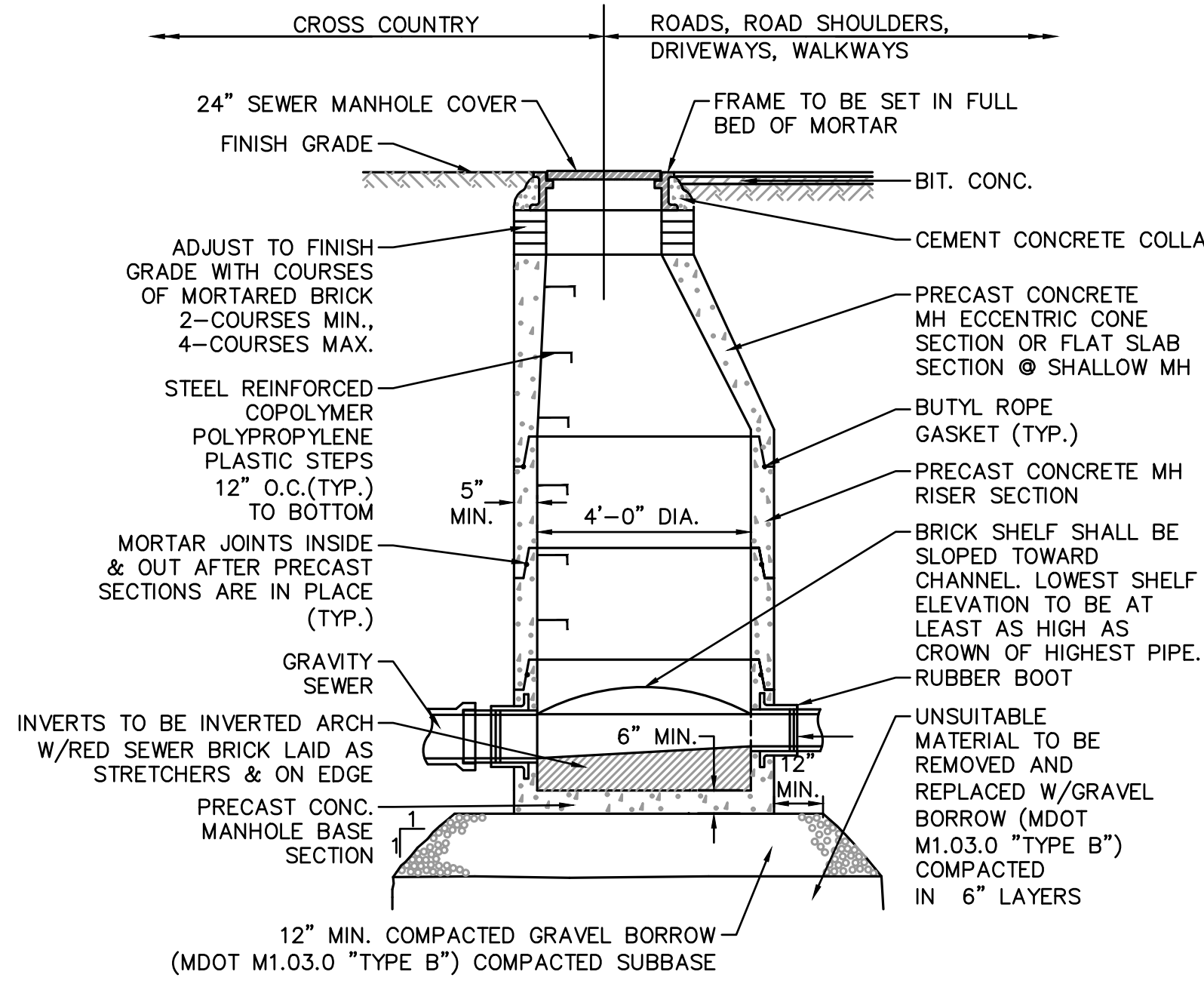
UNDERGROUND STORMWATER DETENTION SYSTEM DETAIL
NOT TO SCALE



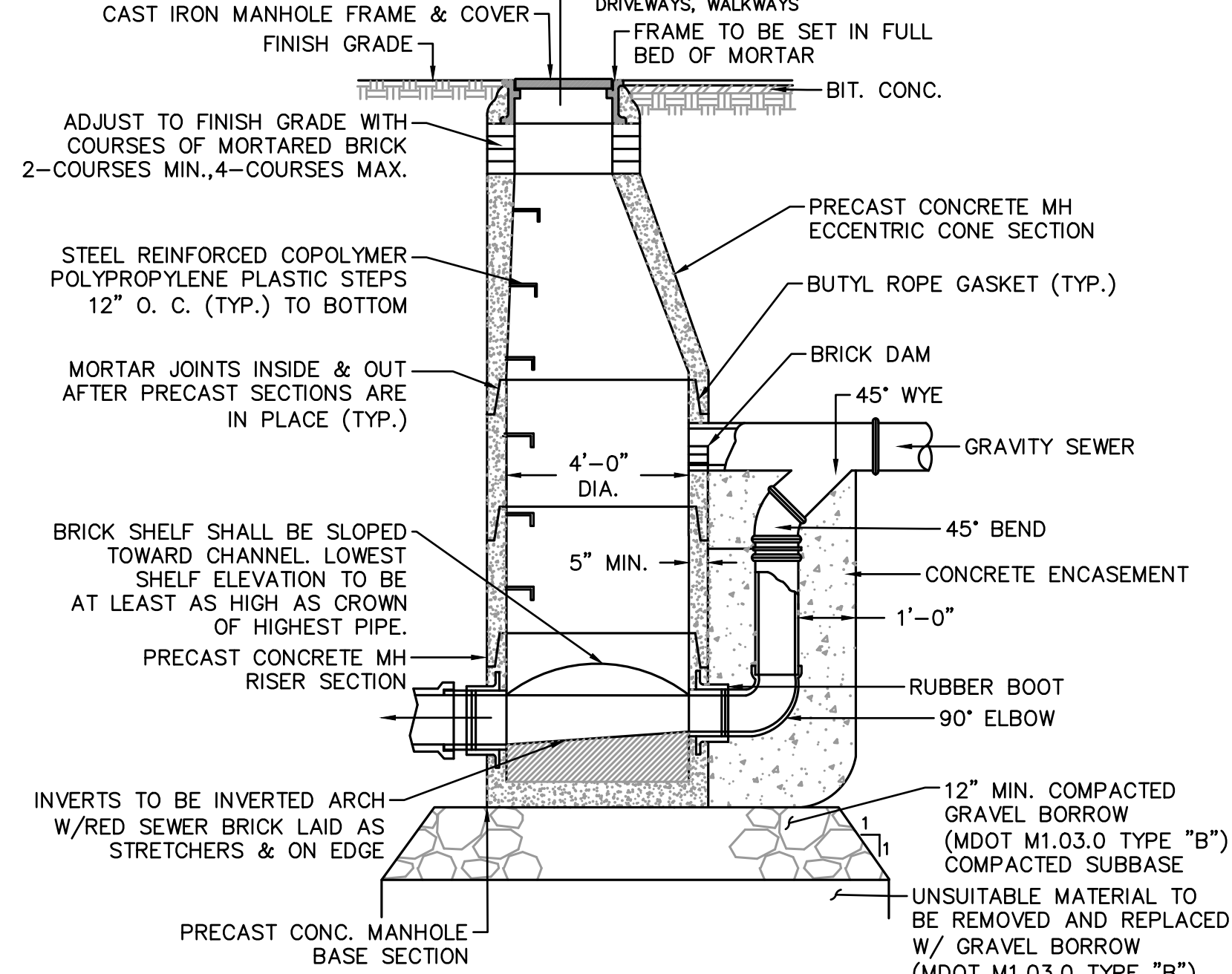
SECTION C-C ROUND
SECTION D-D SQUARE
WATER GATE BOX DETAIL
NOT TO SCALE



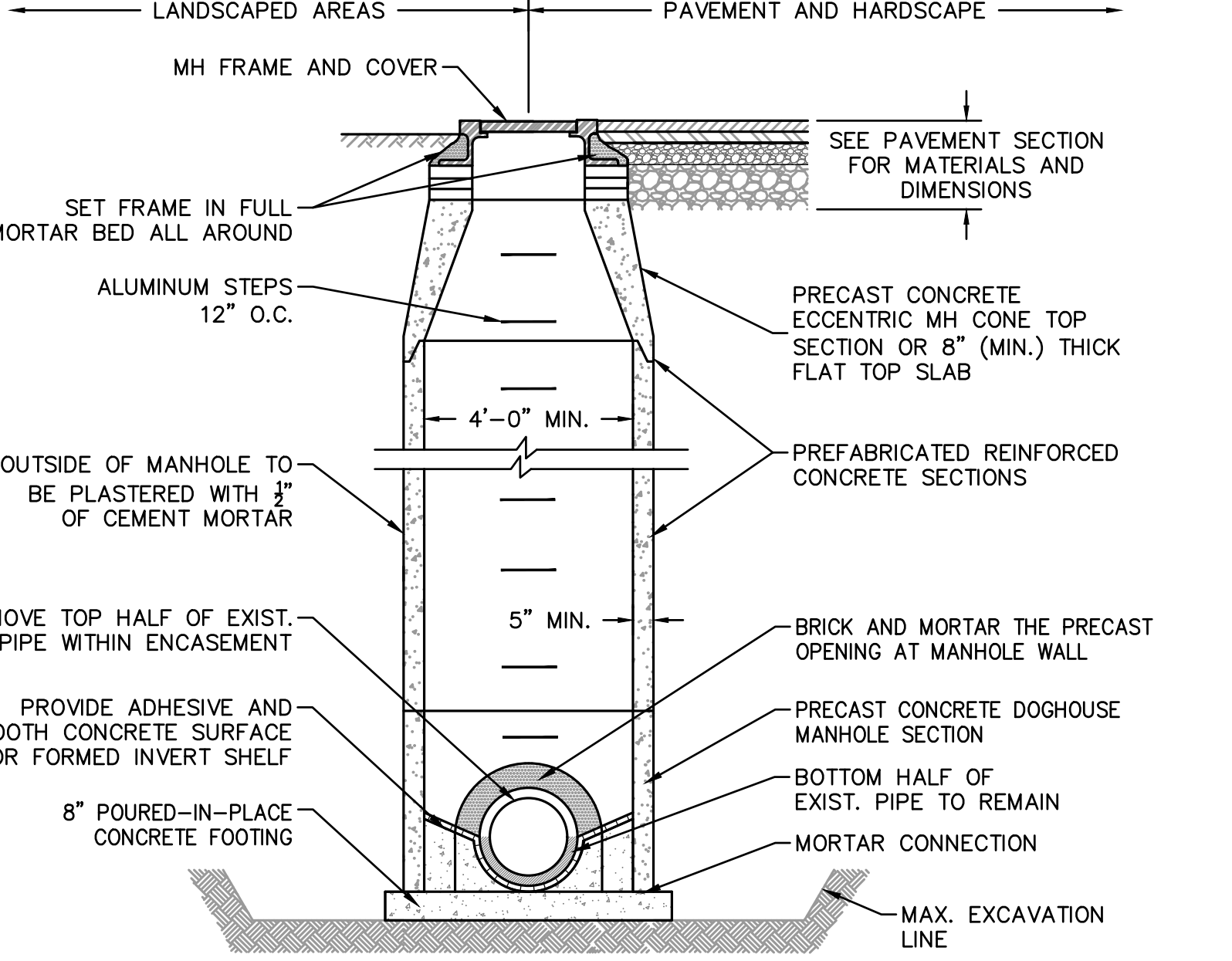
FIRE HYDRANT DETAIL
NOT TO SCALE



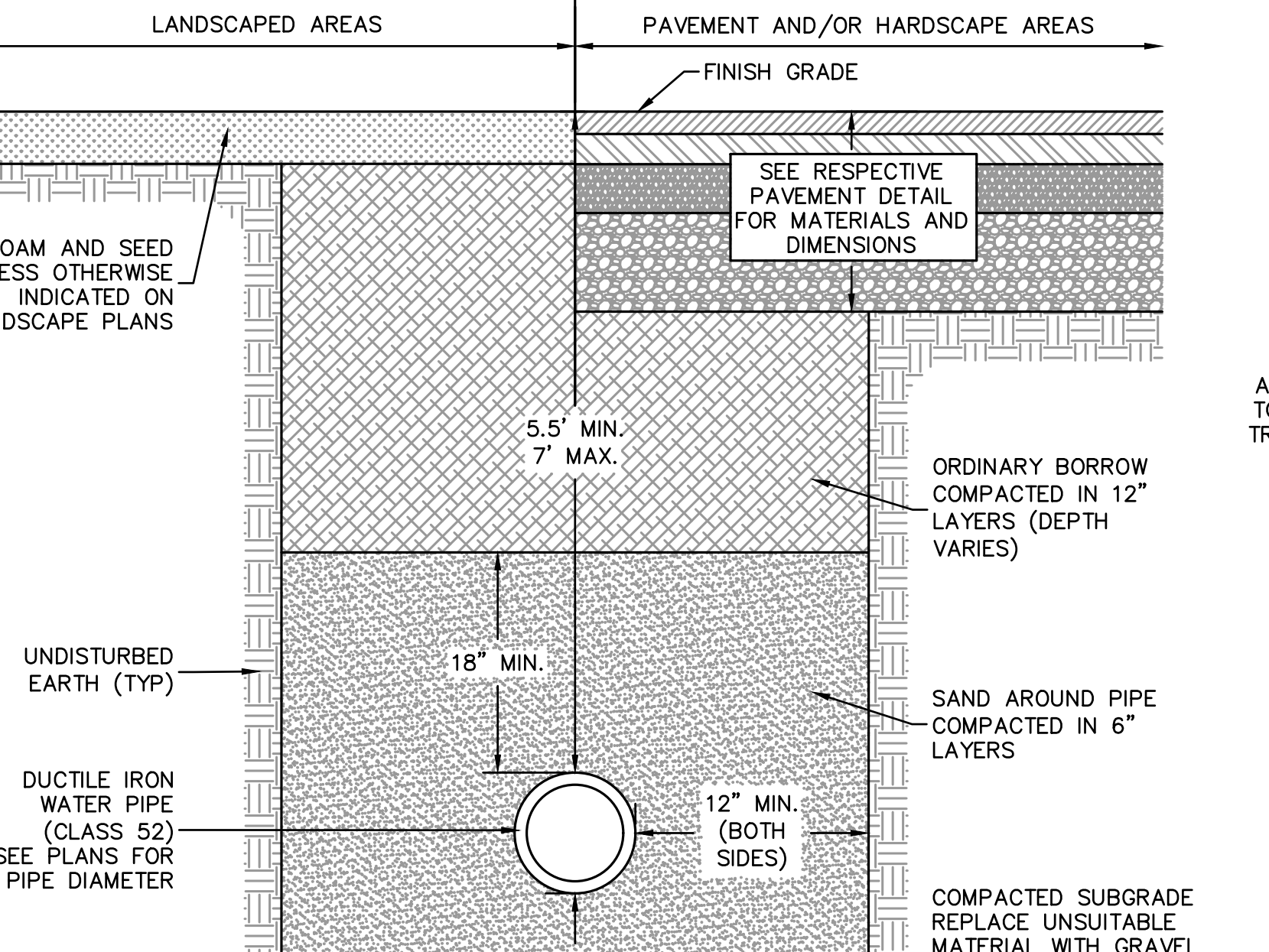
TYPICAL SEWER MANHOLE DETAIL
NOT TO SCALE



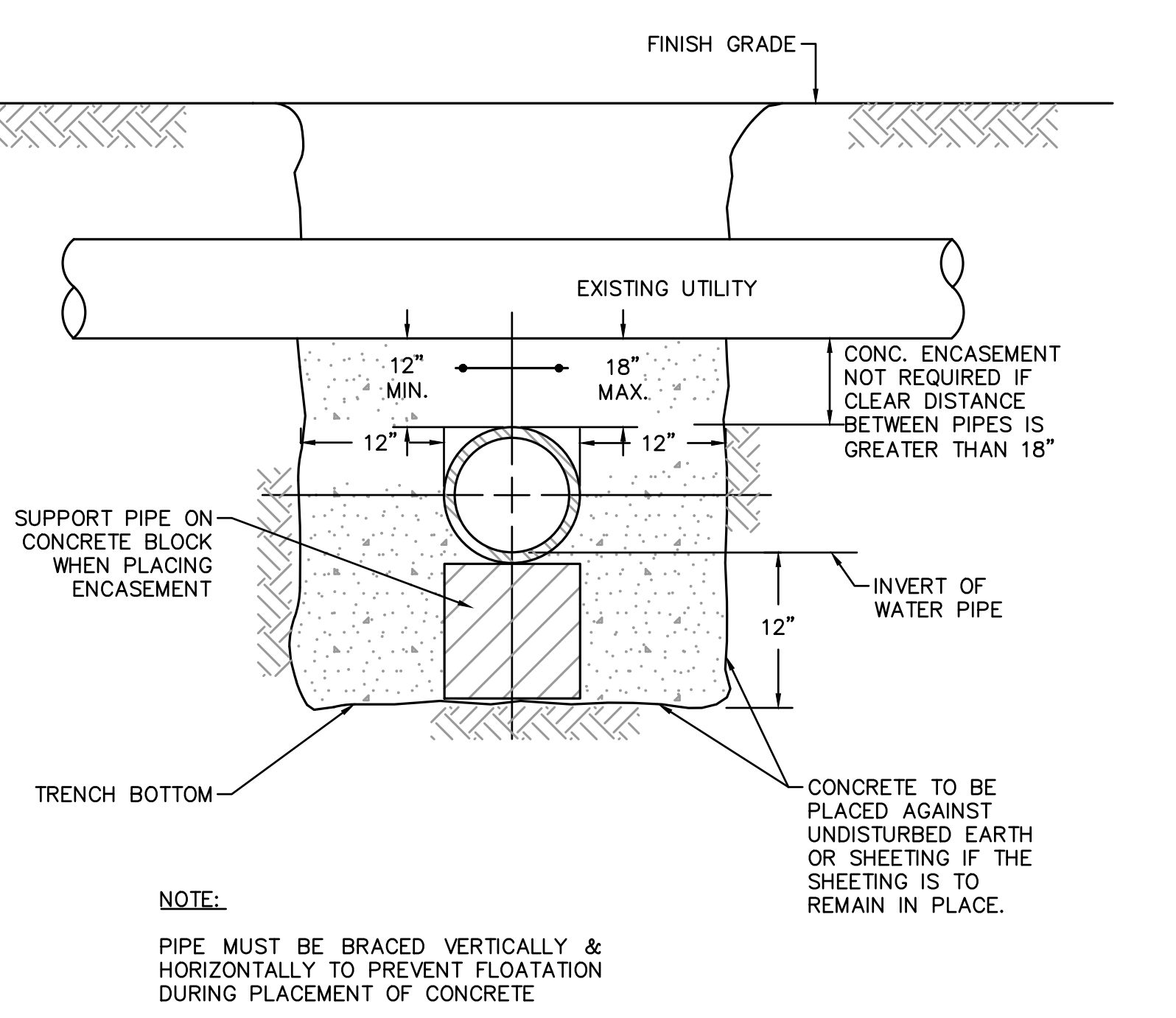
DROP MANHOLE DETAIL
NOT TO SCALE



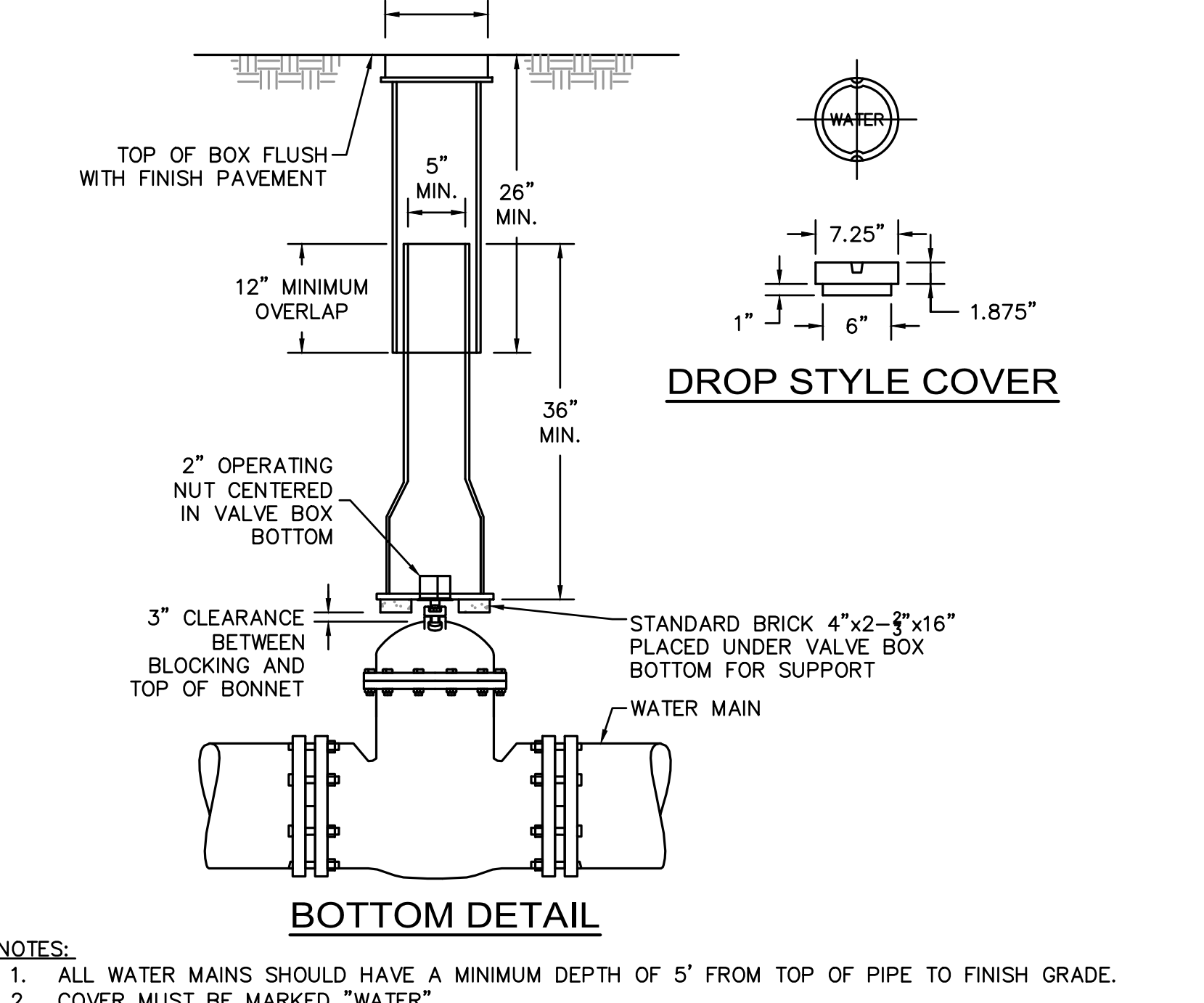
DOGHOUSE MANHOLE DETAIL
NOT TO SCALE



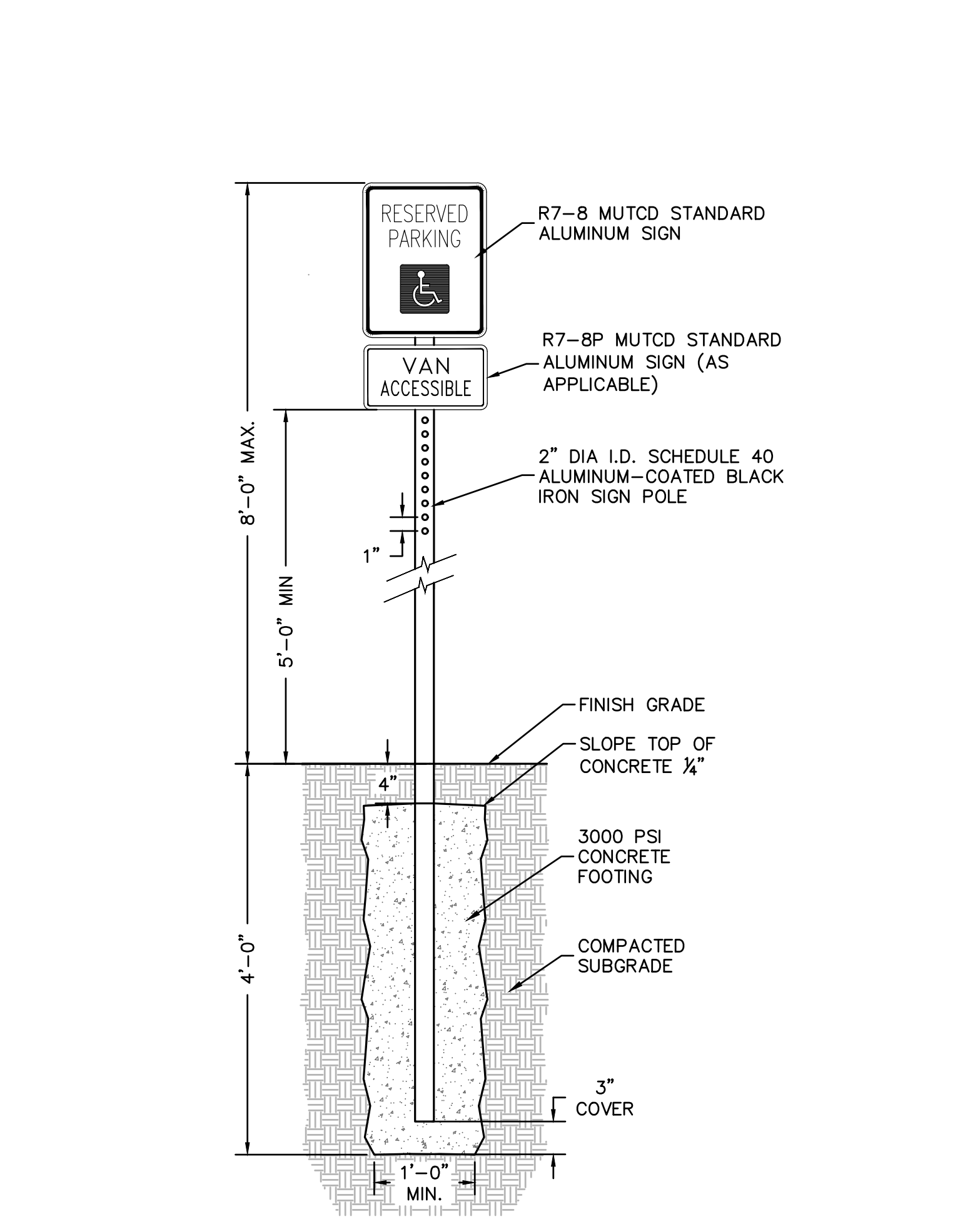
WATER TRENCH DETAIL
NOT TO SCALE



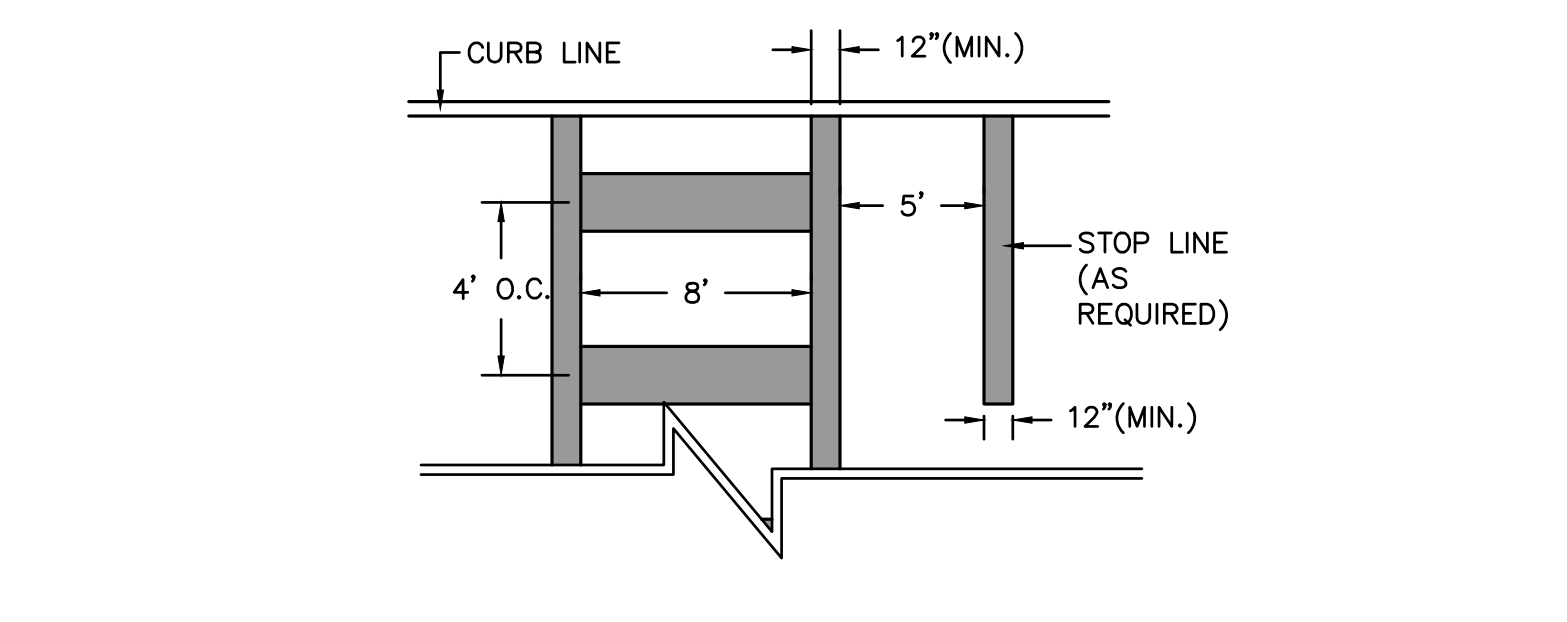
CONCRETE ENCASEMENT DETAIL AT UTILITY CROSSINGS
NOT TO SCALE



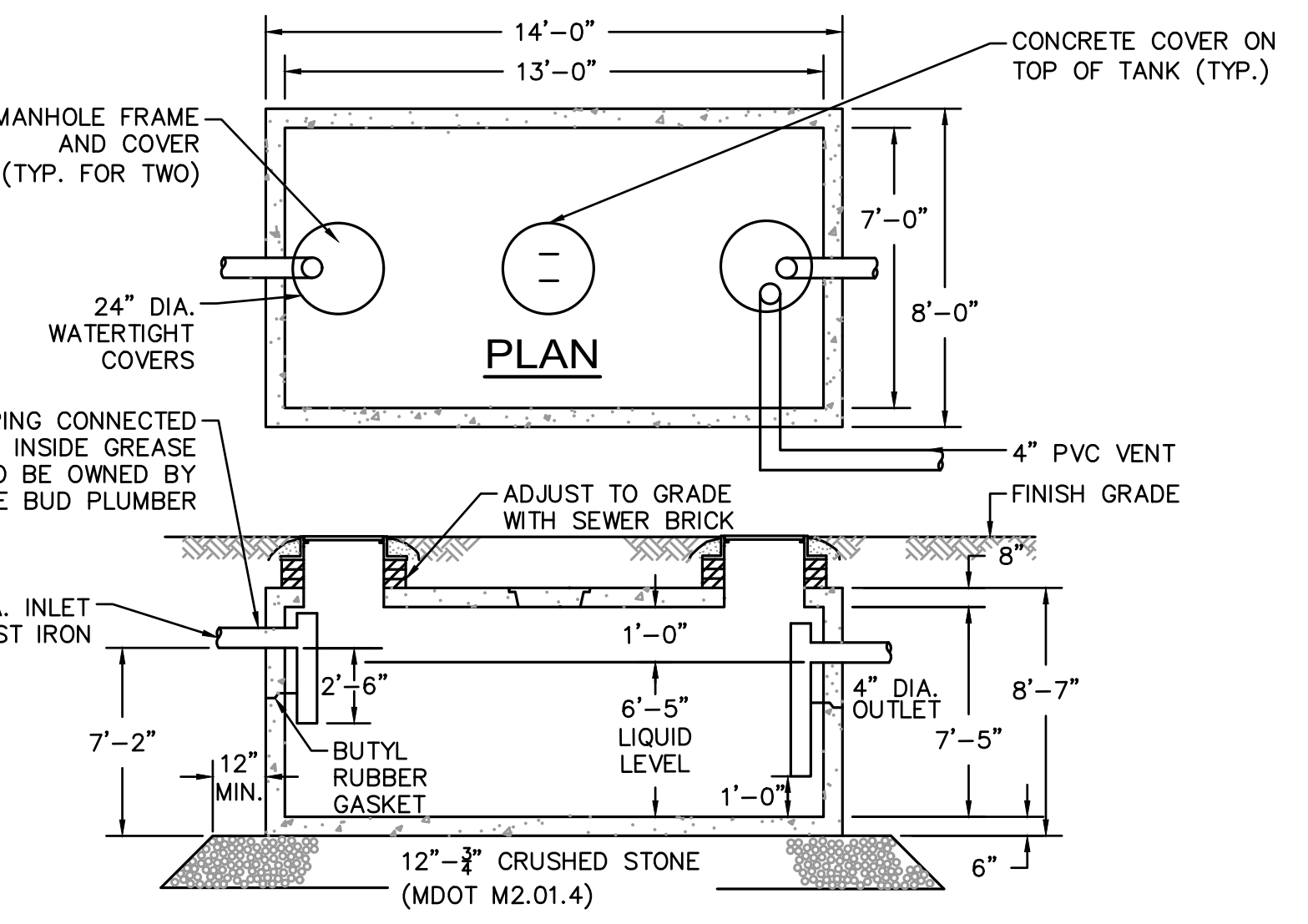
GATE VALVE BOX DETAIL
NOT TO SCALE



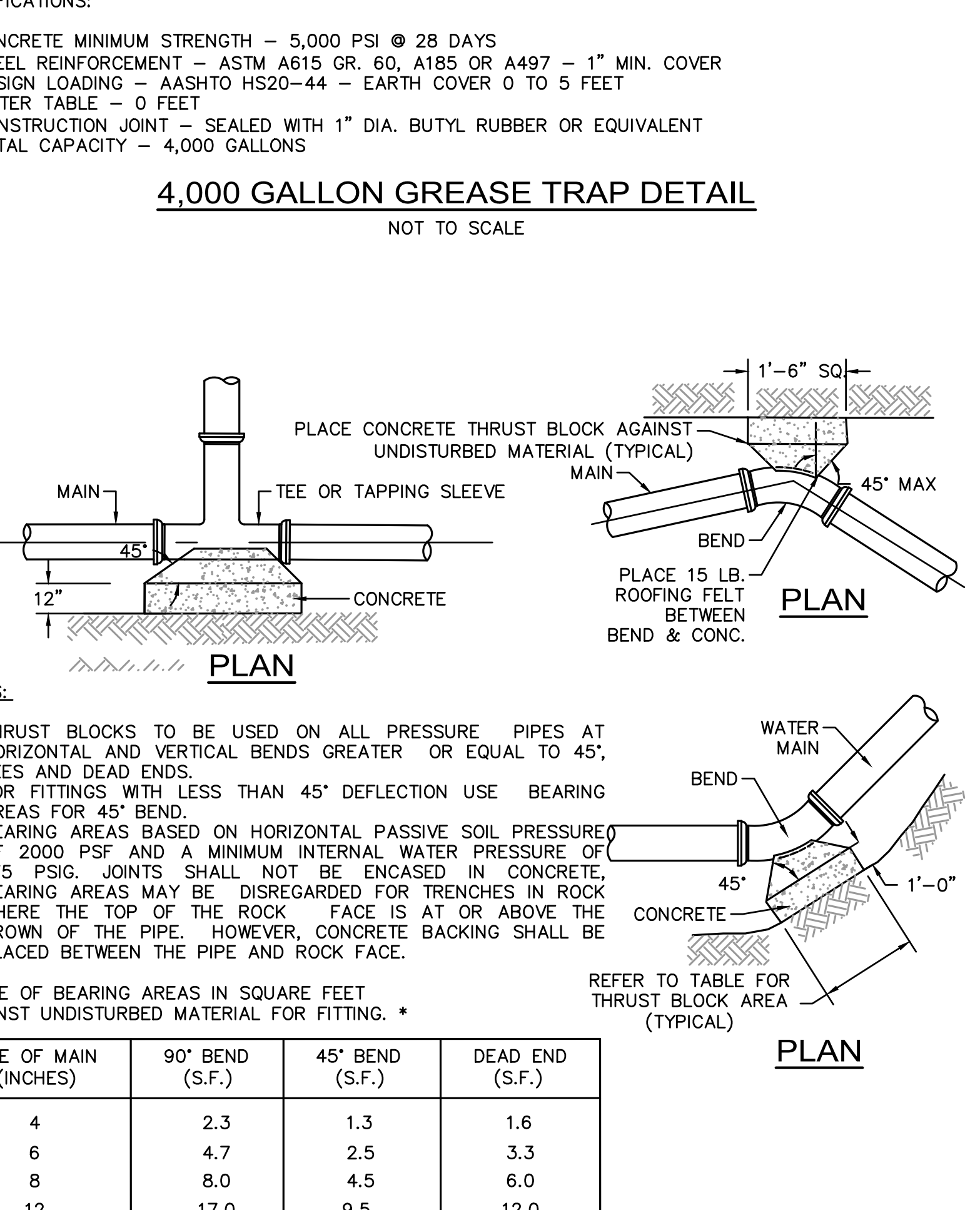
ACCESSIBLE PARKING SIGN POST SET IN LANDSCAPE
NOT TO SCALE



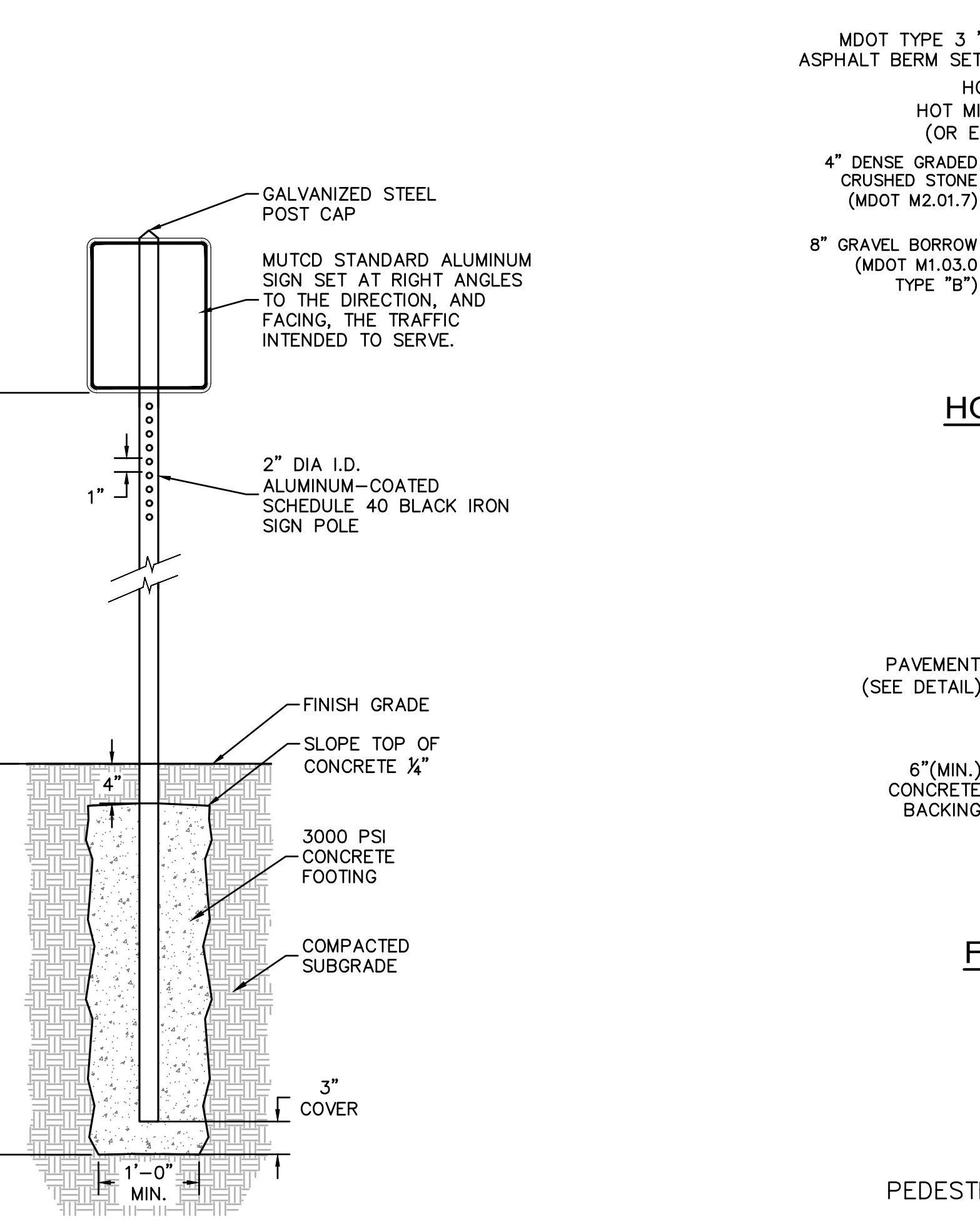
CROSSWALK DETAIL
NOT TO SCALE



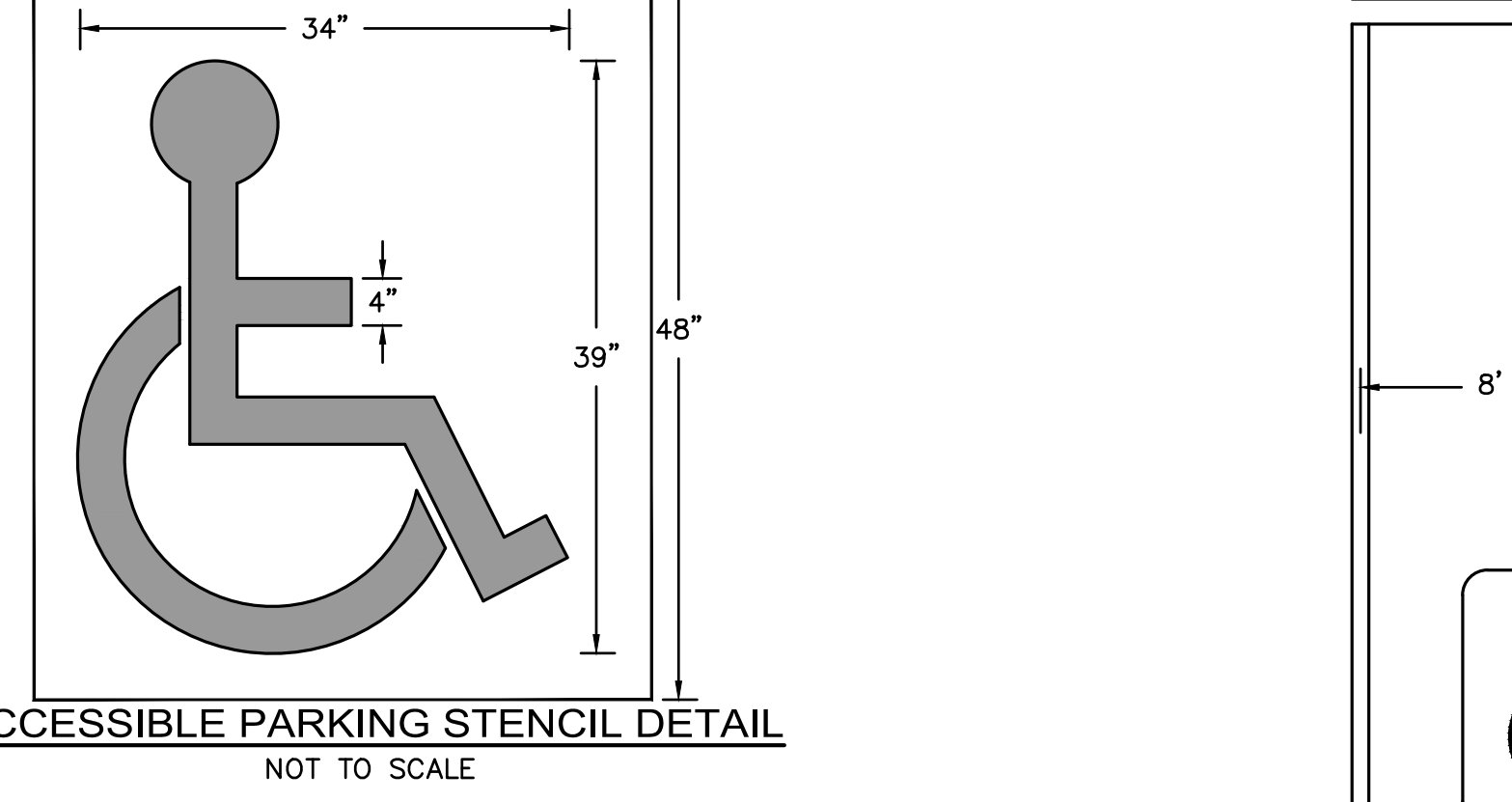
4,000 GALLON GREASE TRAP DETAIL
NOT TO SCALE



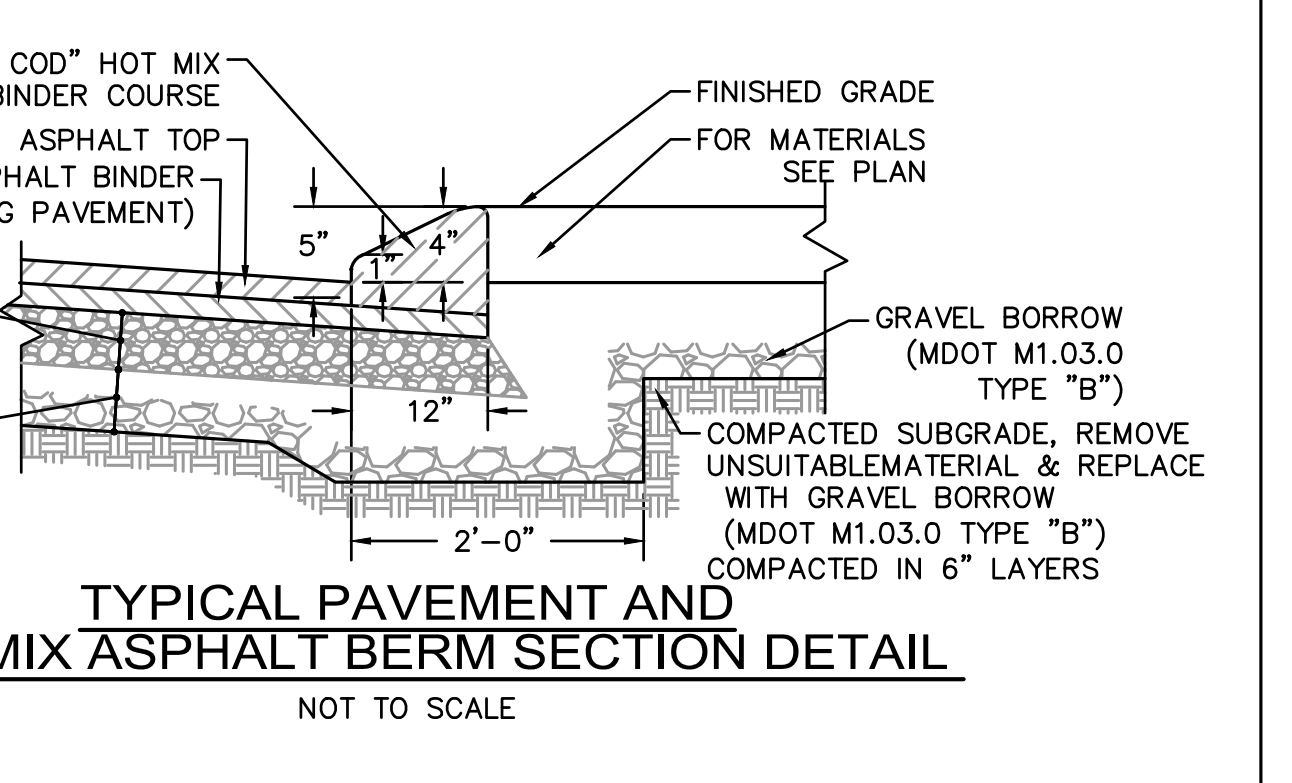
THRUST BLOCK DETAILS
NOT TO SCALE



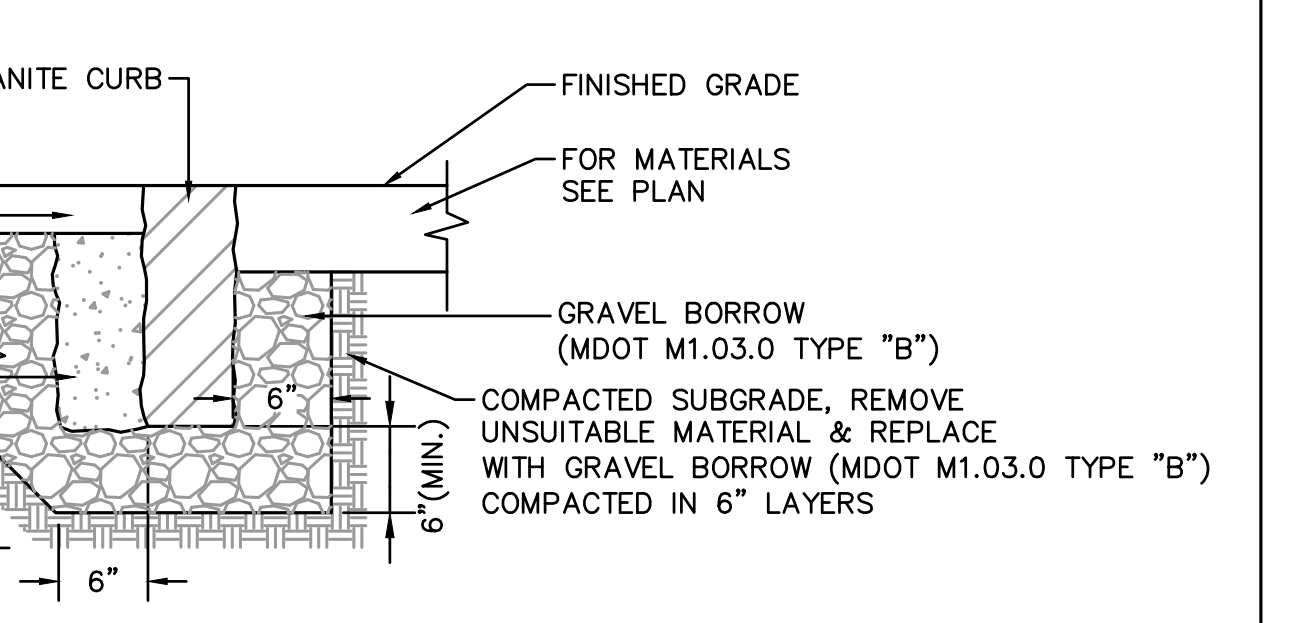
TYPICAL SIGN POST SETTING DETAIL
NOT TO SCALE



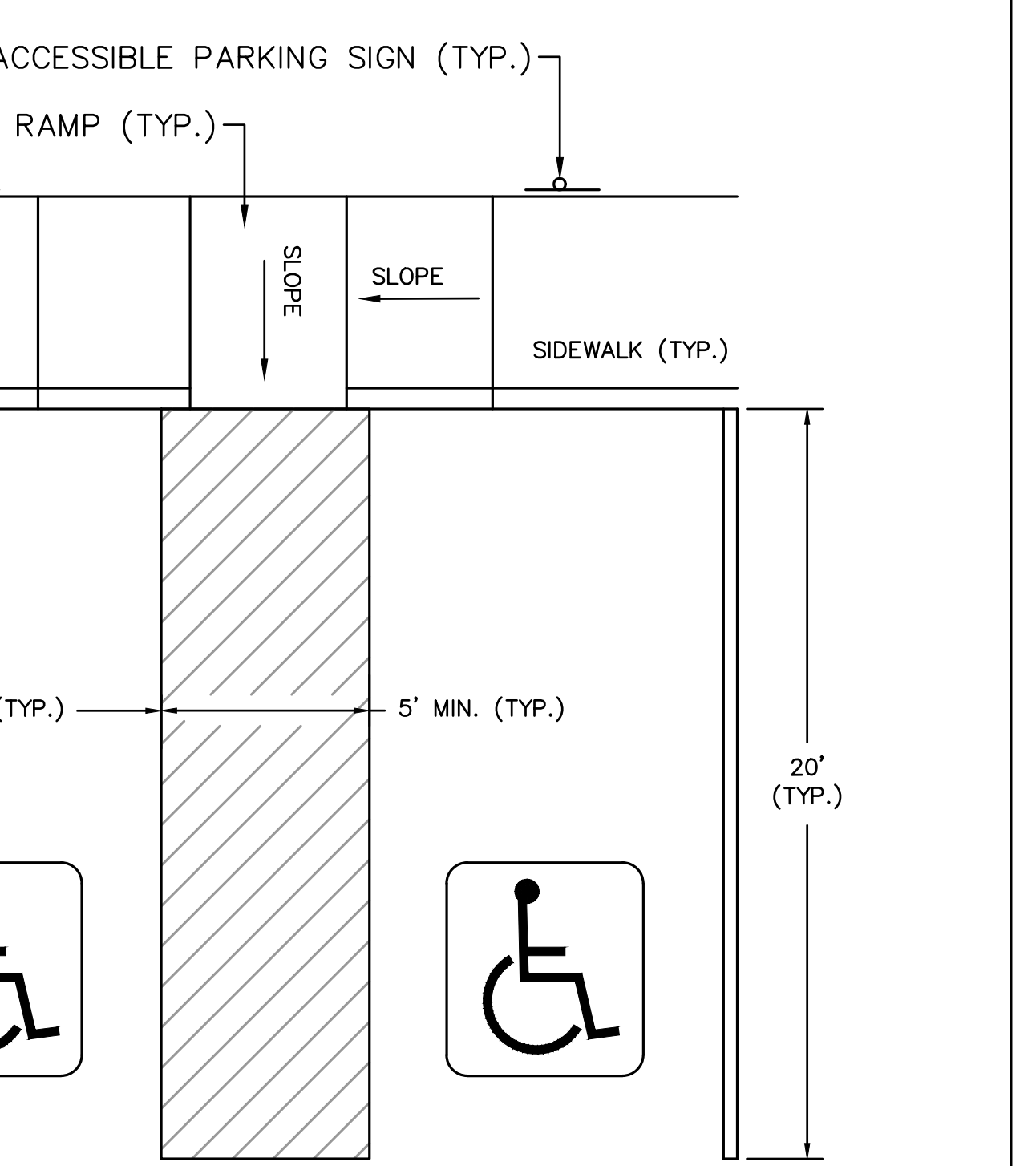
ACCESSIBLE PARKING STENCIL DETAIL
NOT TO SCALE



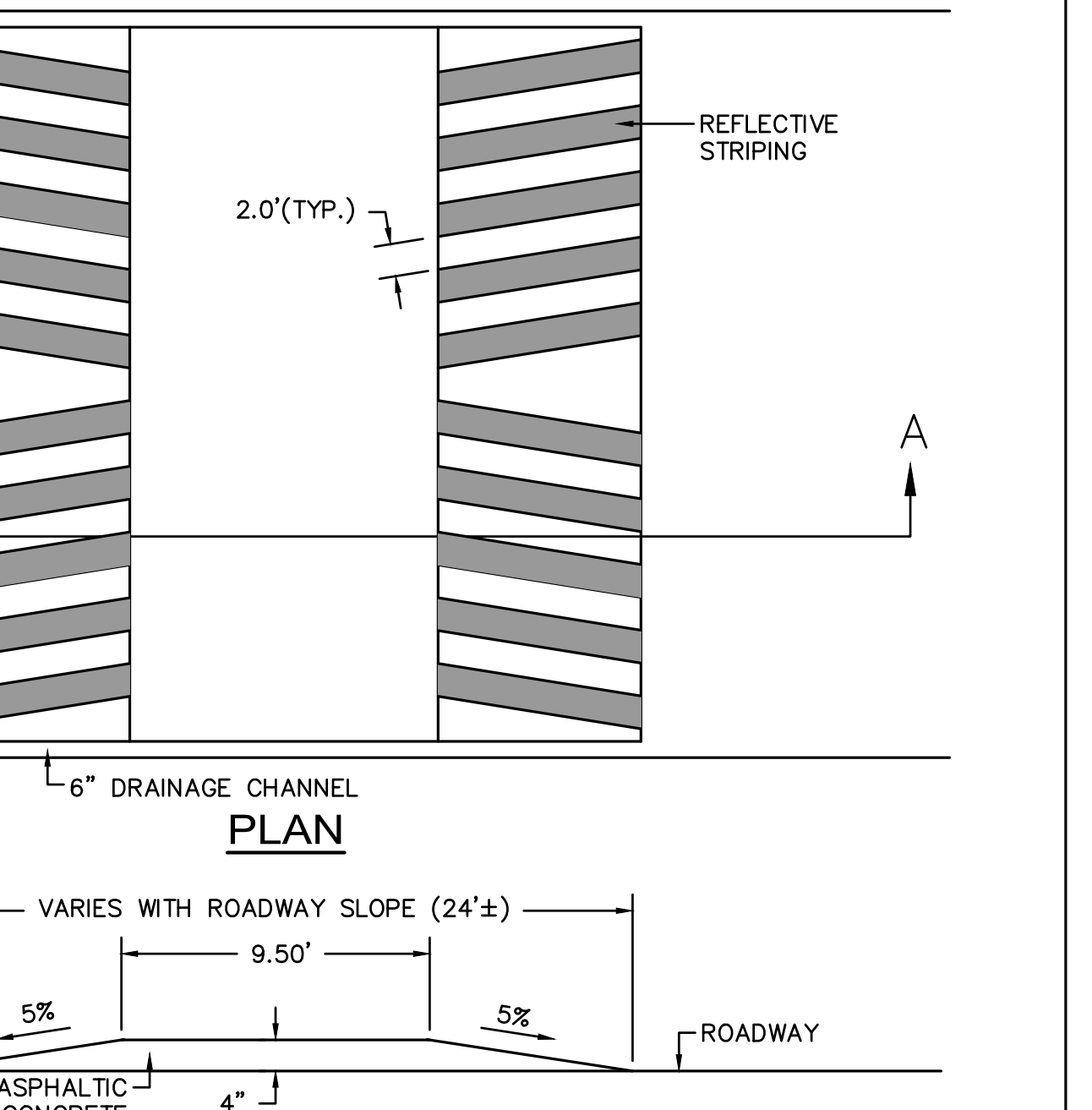
TYPICAL PAVEMENT AND HOT MIX ASPHALT BERM SECTION DETAIL
NOT TO SCALE



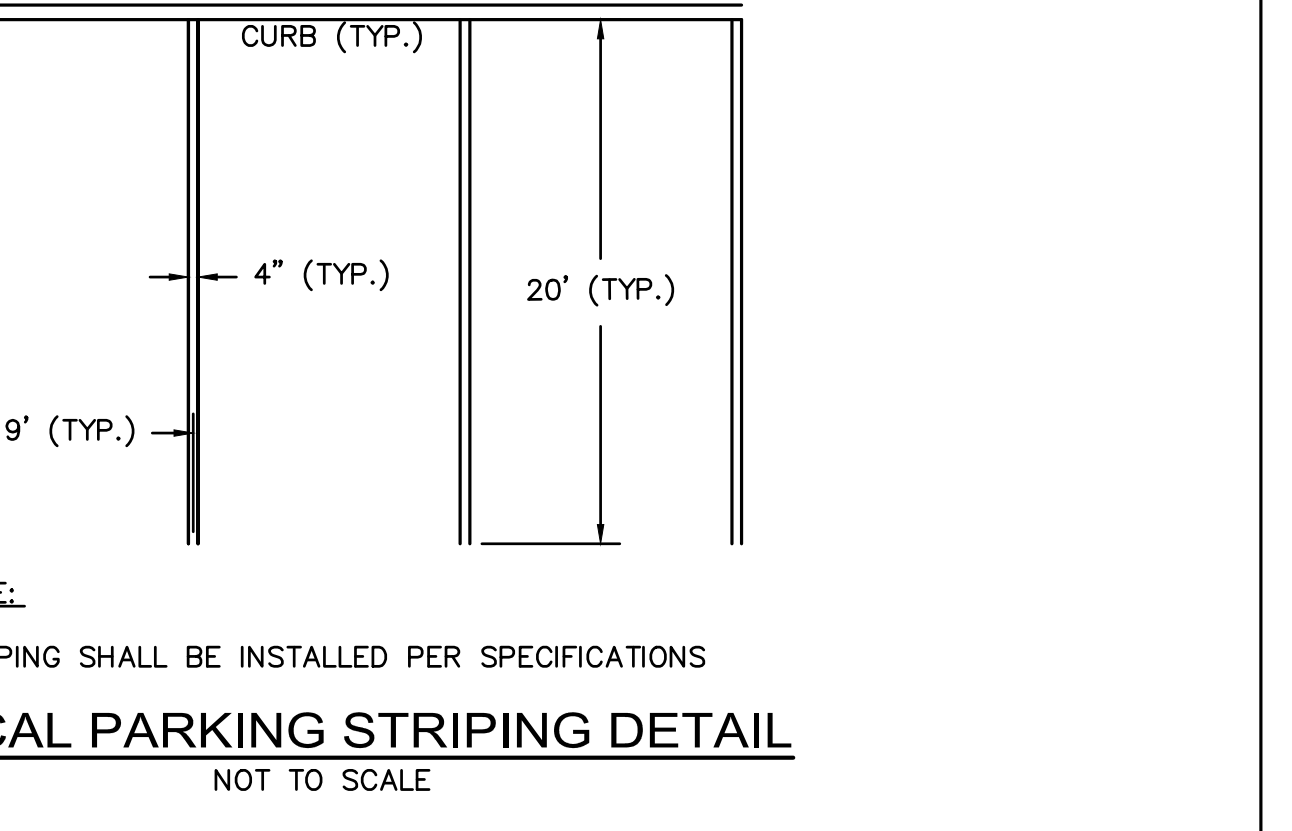
FLUSH GRANITE CURB SETTING DETAIL
NOT TO SCALE



ACCESSIBLE PARKING DETAIL
NOT TO SCALE



RAISED CROSSWALK DETAIL
NOT TO SCALE



TYPICAL PARKING STRIPING DETAIL
NOT TO SCALE

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT
	WIDTH	HEIGHT	
R1-1	24"	24"	STOP
R5-1	24"	24"	NO LEFT TURN
R6-1L	36"	12"	ONE WAY
R6-1R	36"	12"	ONE WAY
R7-B	12"	18"	RESERVED PARKING
R7-BP	18"	9"	VAN ACCESSIBLE
R3-5L	24"	30"	ONLY
R3-2	24"	24"	NO LEFT TURN
R5-2	24"	24"	BUSES ONLY
R5-3	12"	18"	BACK-UP ONLY
R5-4	24"	30"	ALL OTHERS PROHIBITED

TRAFFIC SIGN SUMMARY
NOT TO SCALE



90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02118
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

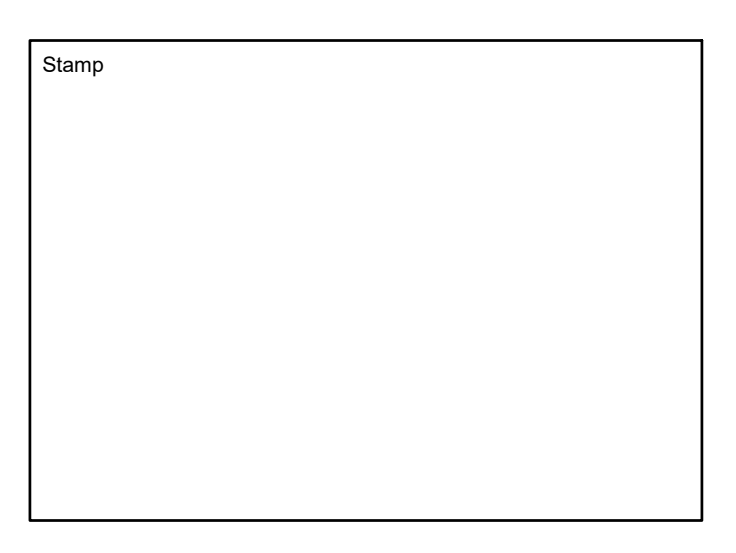
Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection Engineers
274 Summer Street
Boston, MA 02210

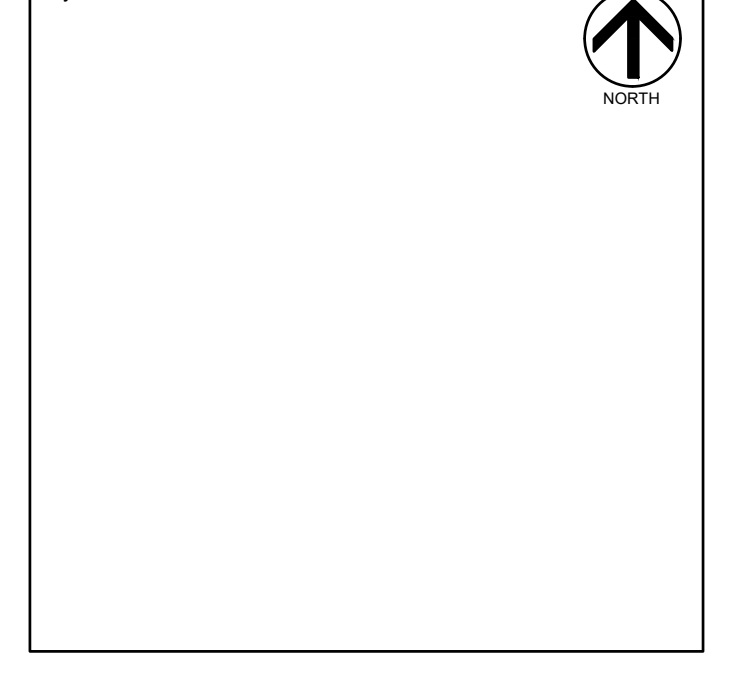
Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043

No.	Date	Note
REVISIONS		
No.	Date	Note
ISSUE		



EARLY TRADE PACKAGE



Sheet Title
Civil Details

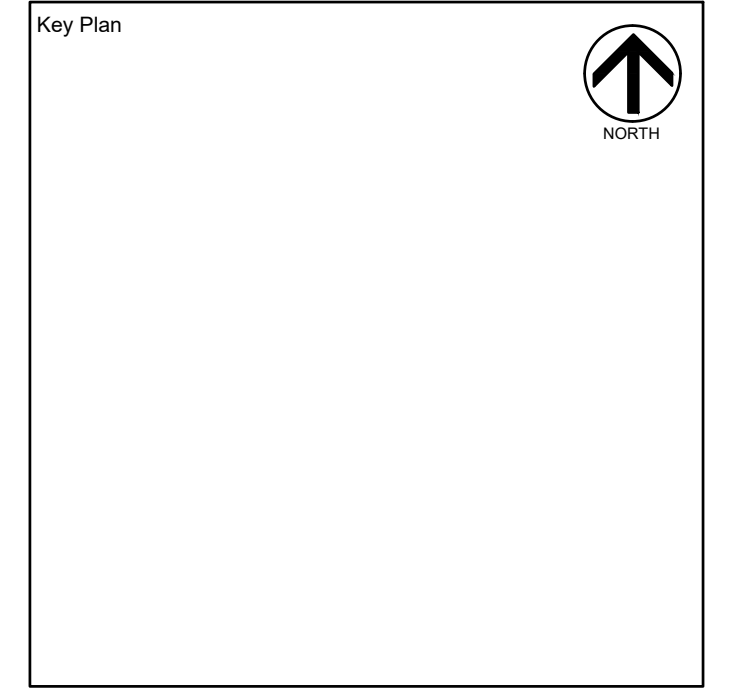
Drawn By NJB	Project ID 1914.00
Reviewed By BMV/JEG	Scale NOT TO SCALE
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	

C9.2

No.	Date	Note
REVISIONS		
ISSUE		

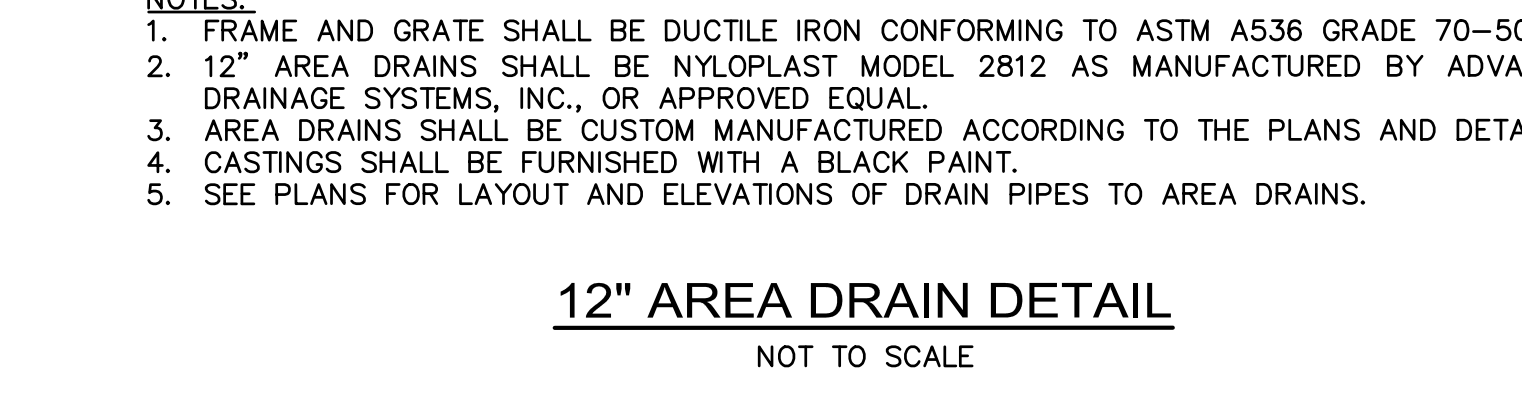
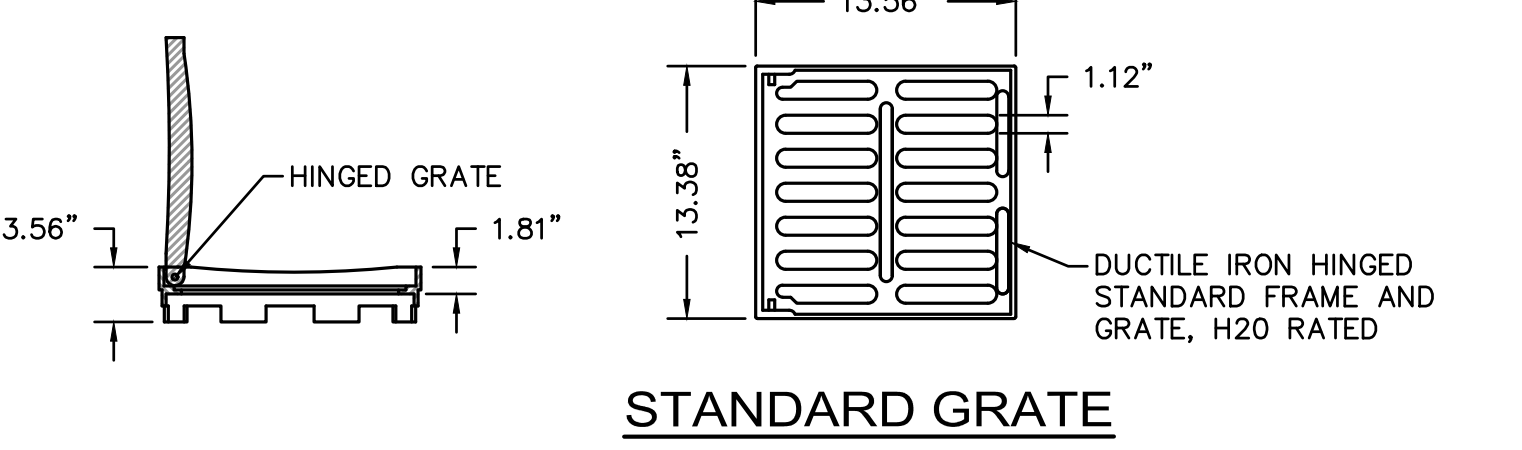
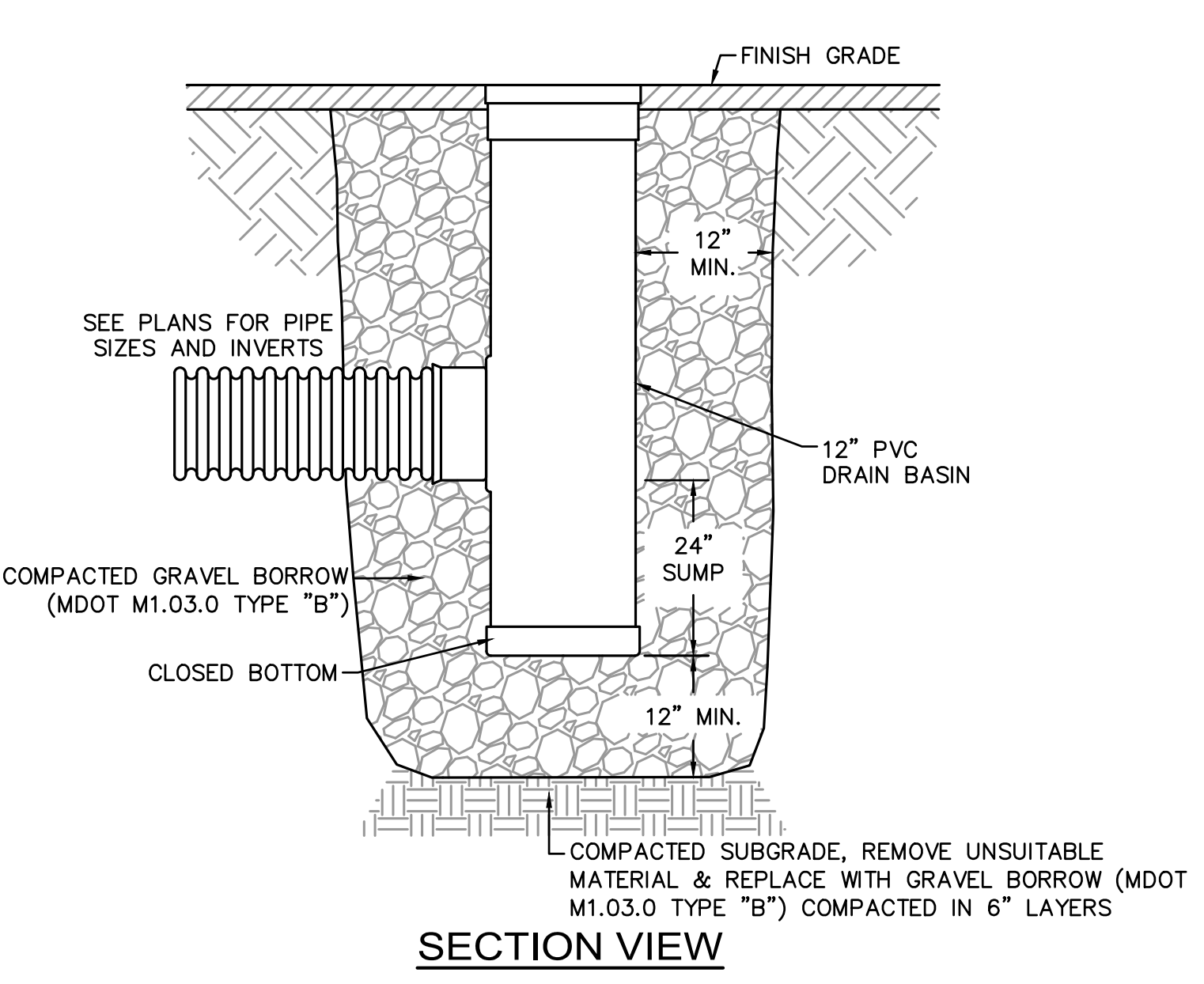
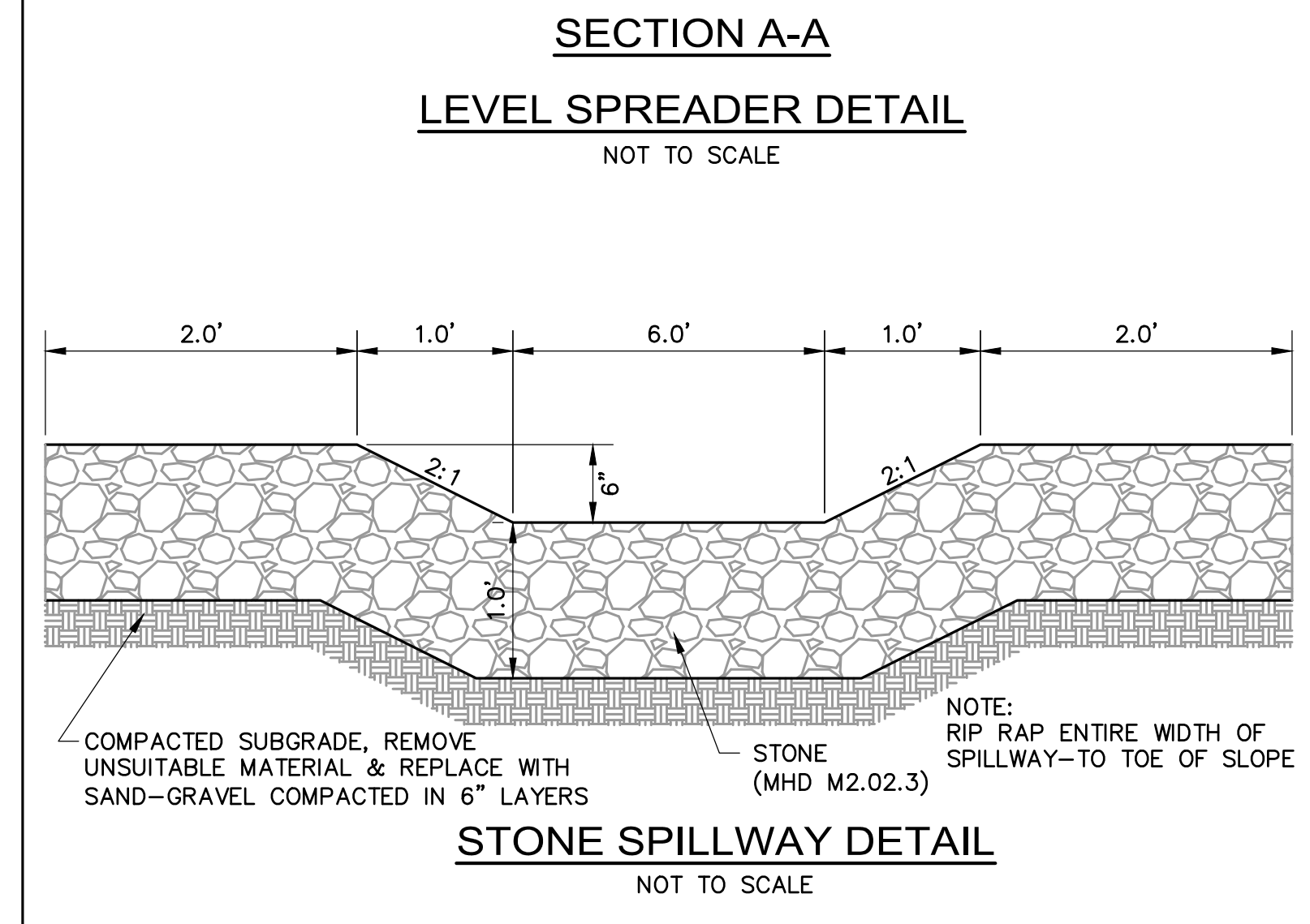
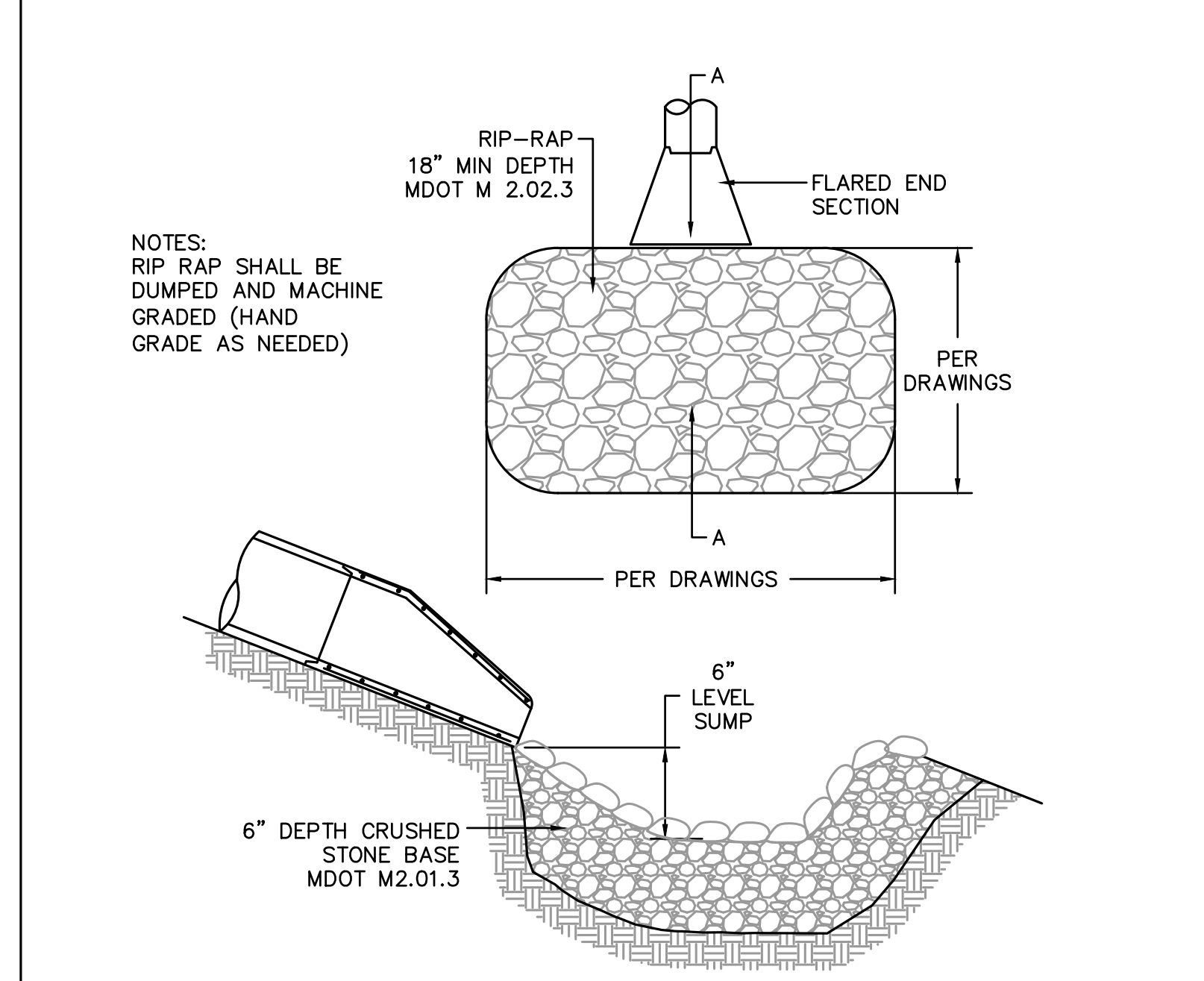
Stamp

EARLY TRADE PACKAGE

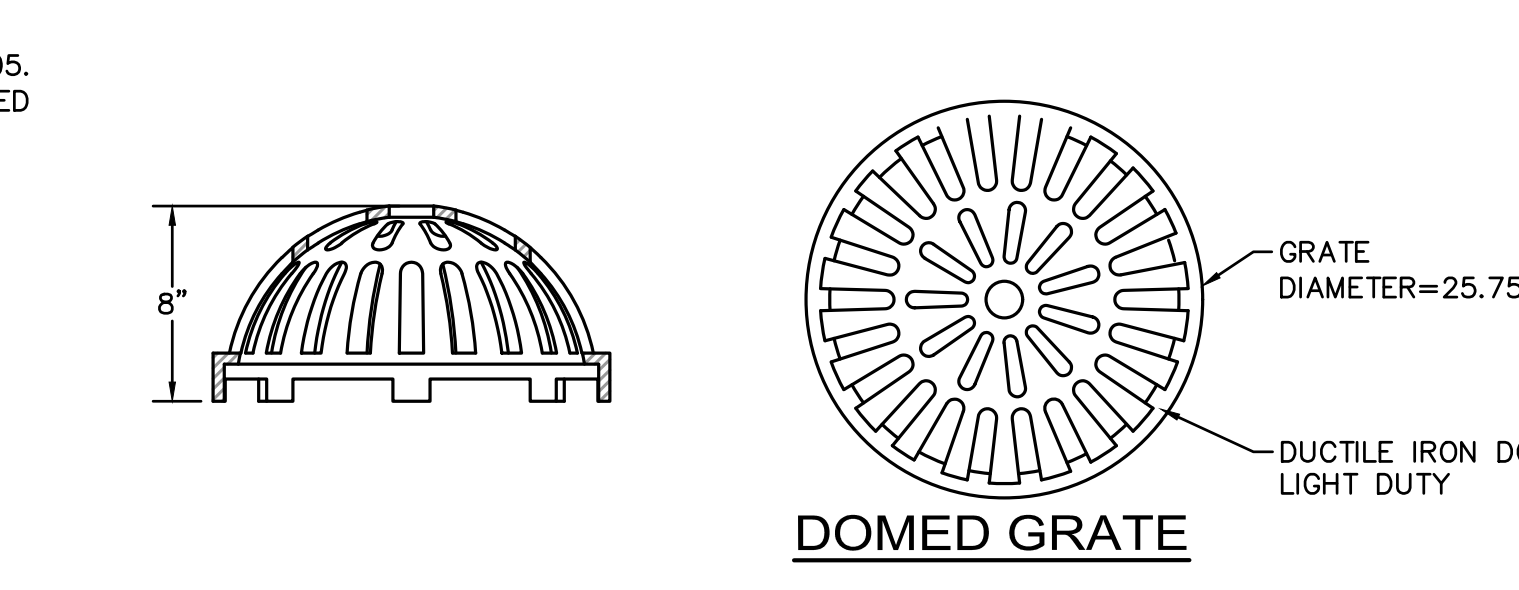
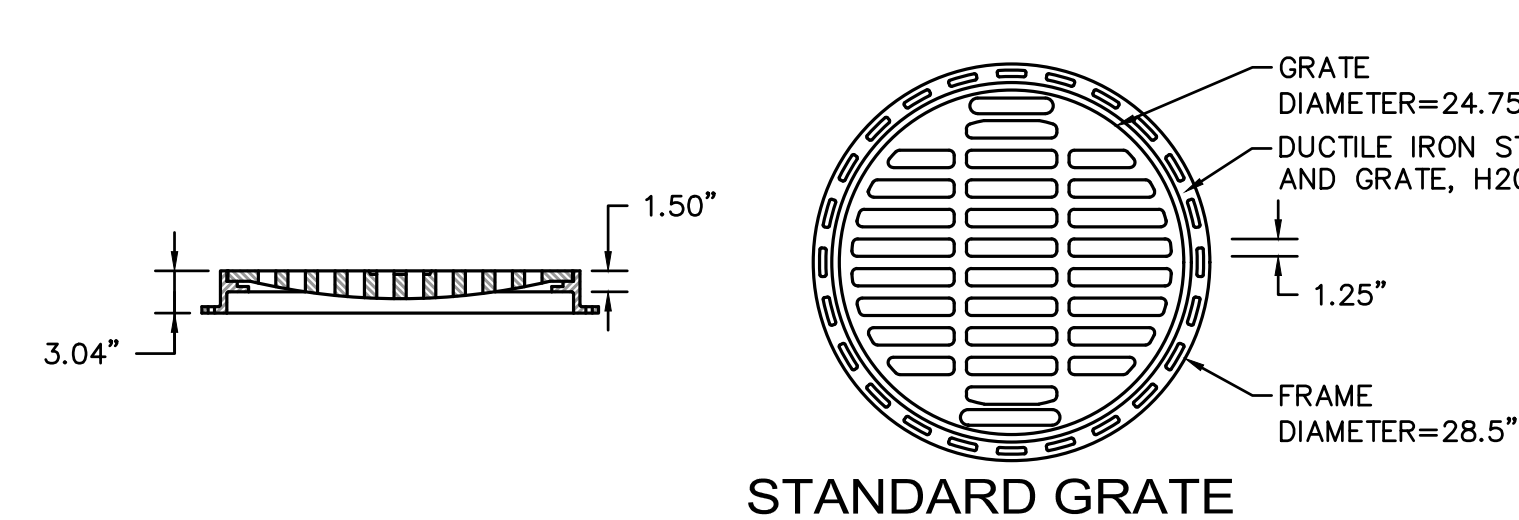
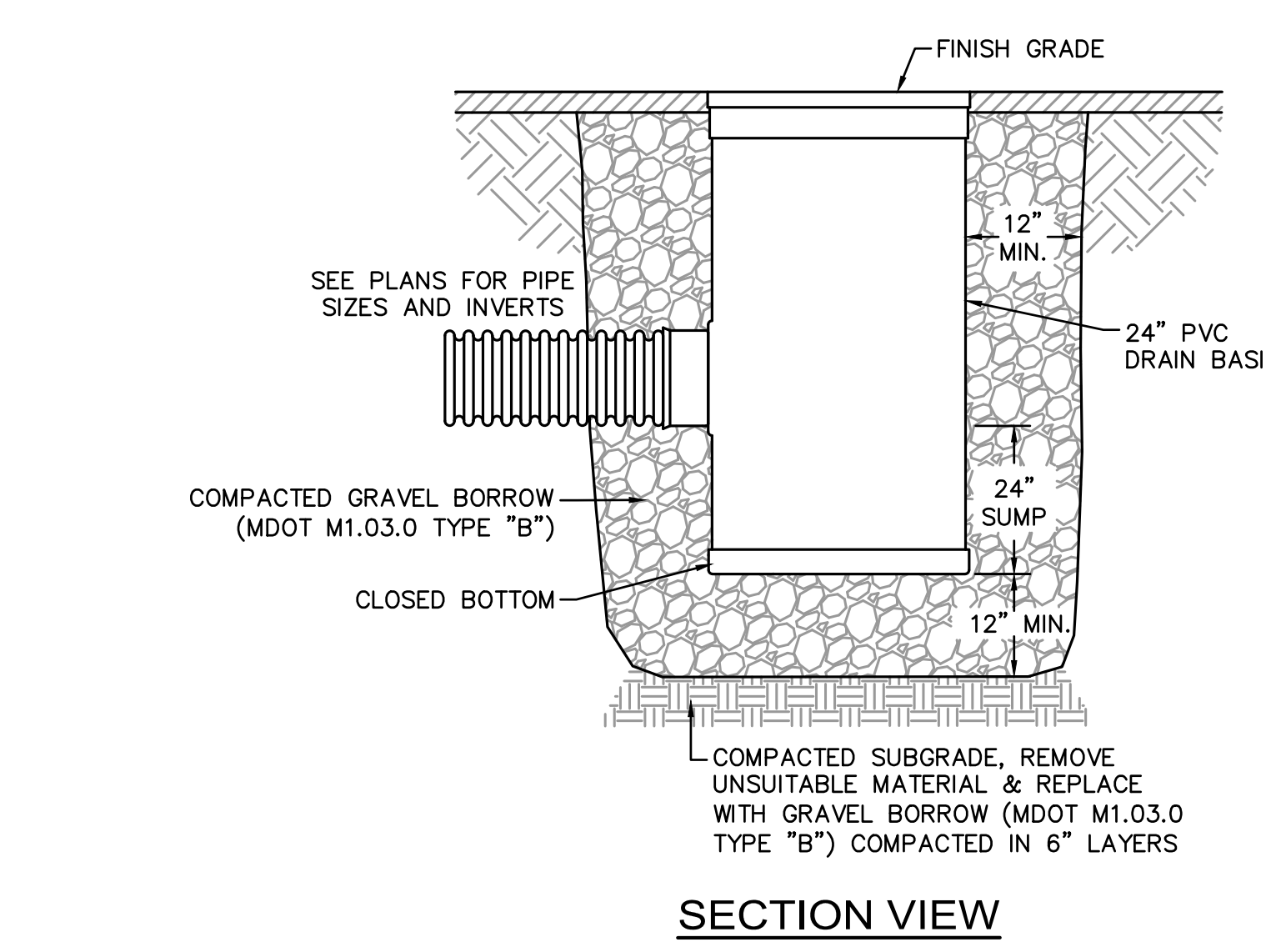


Sheet Title
Civil Details

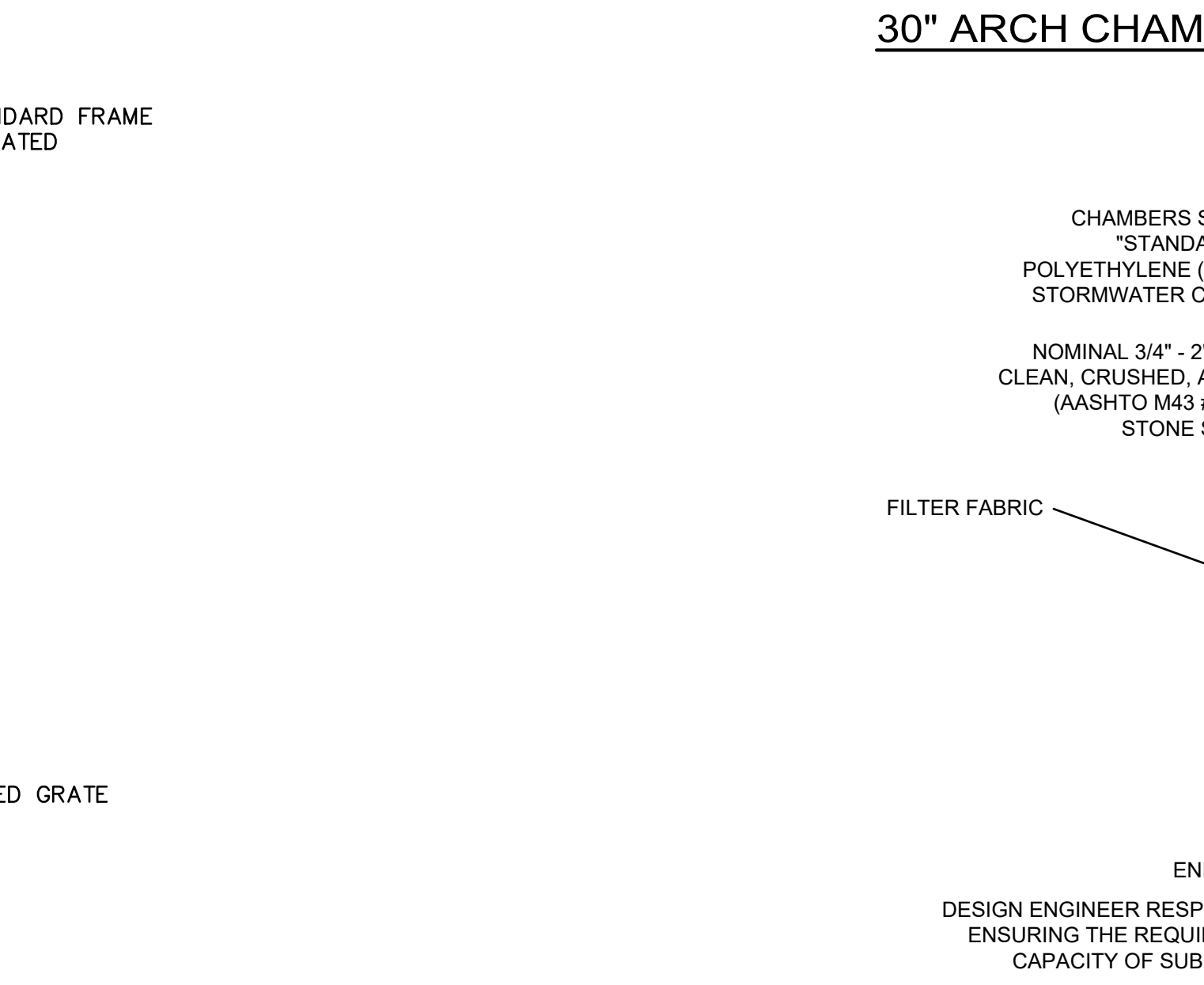
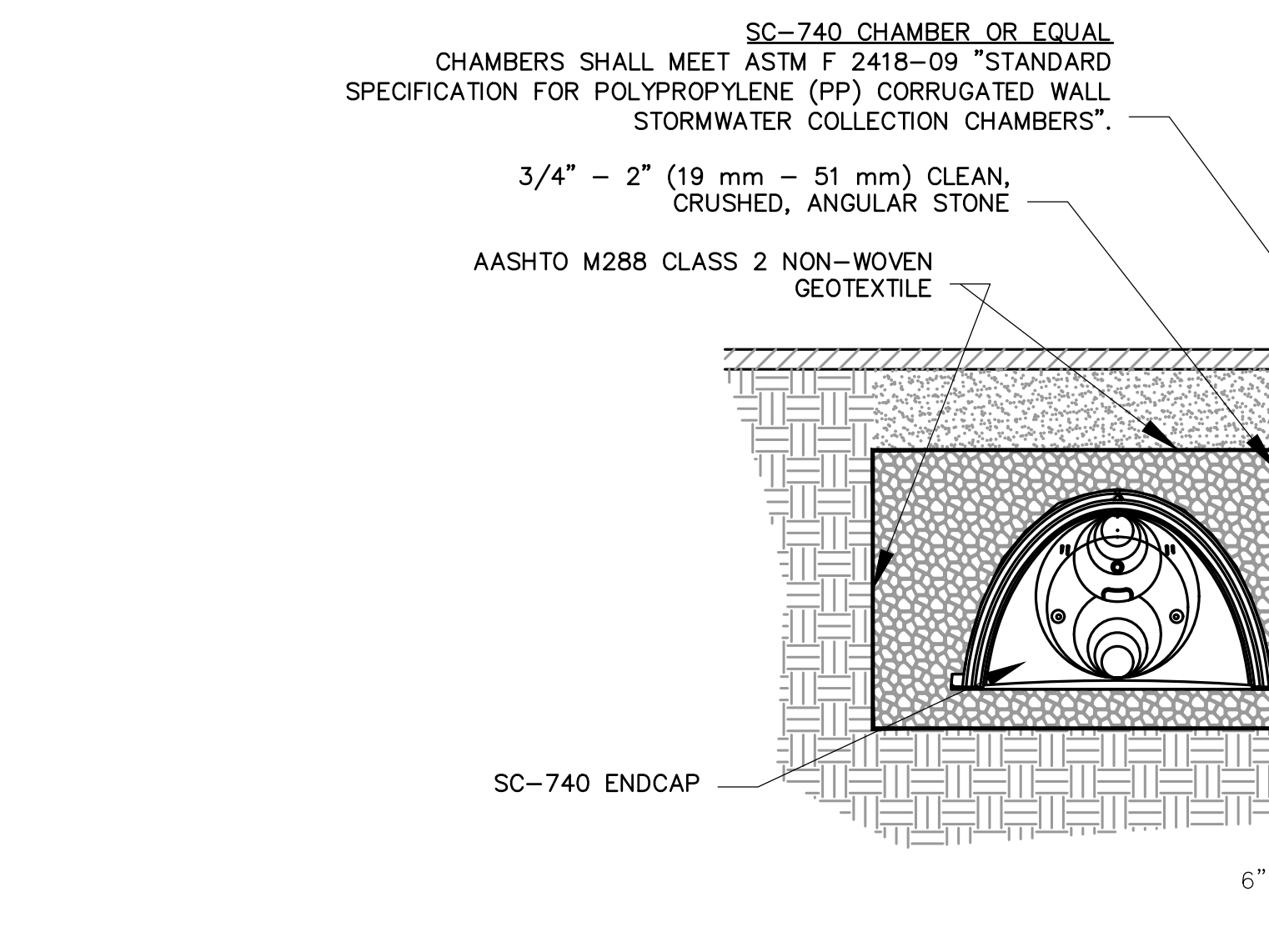
Drawn By NJB	Project ID 1814.00
Reviewed By BMV/JEG	Scale NOT TO SCALE
Issue Date 09.29.2021	Plot Date 09.29.2021
Sheet No.	



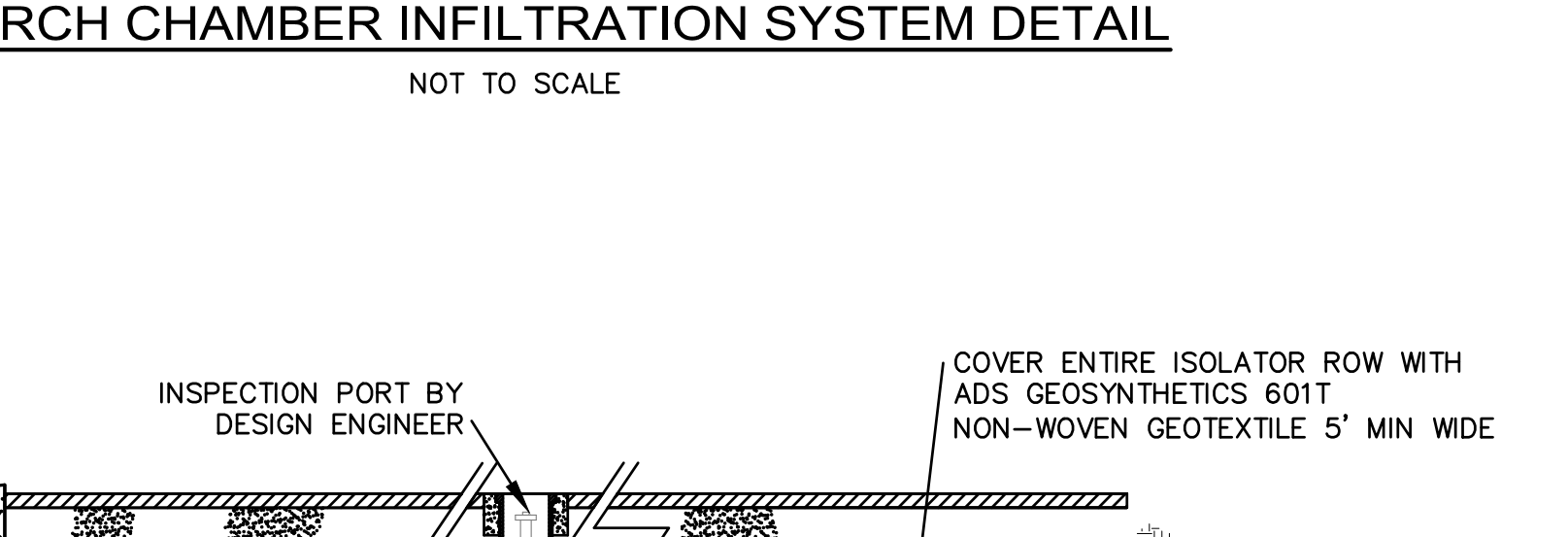
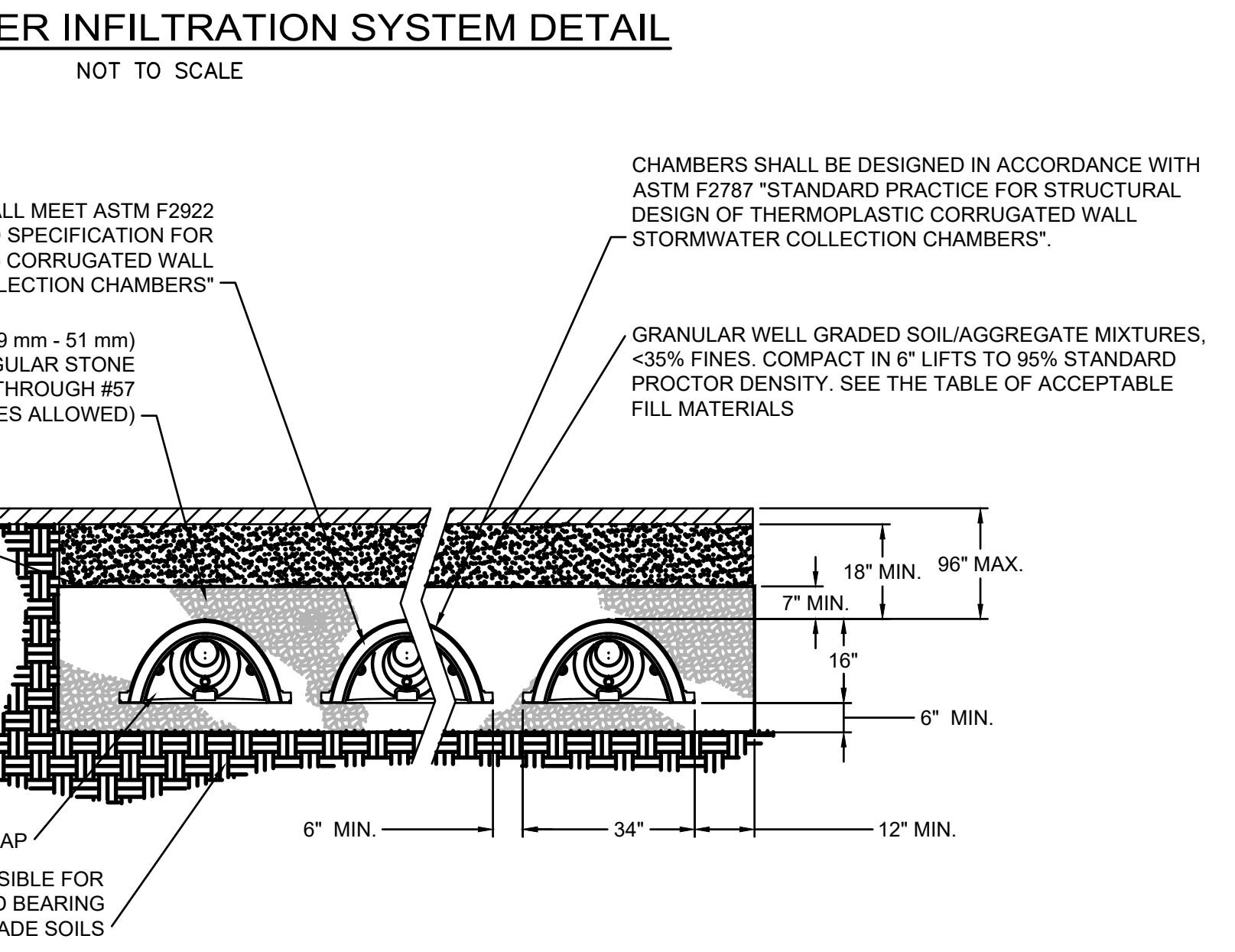
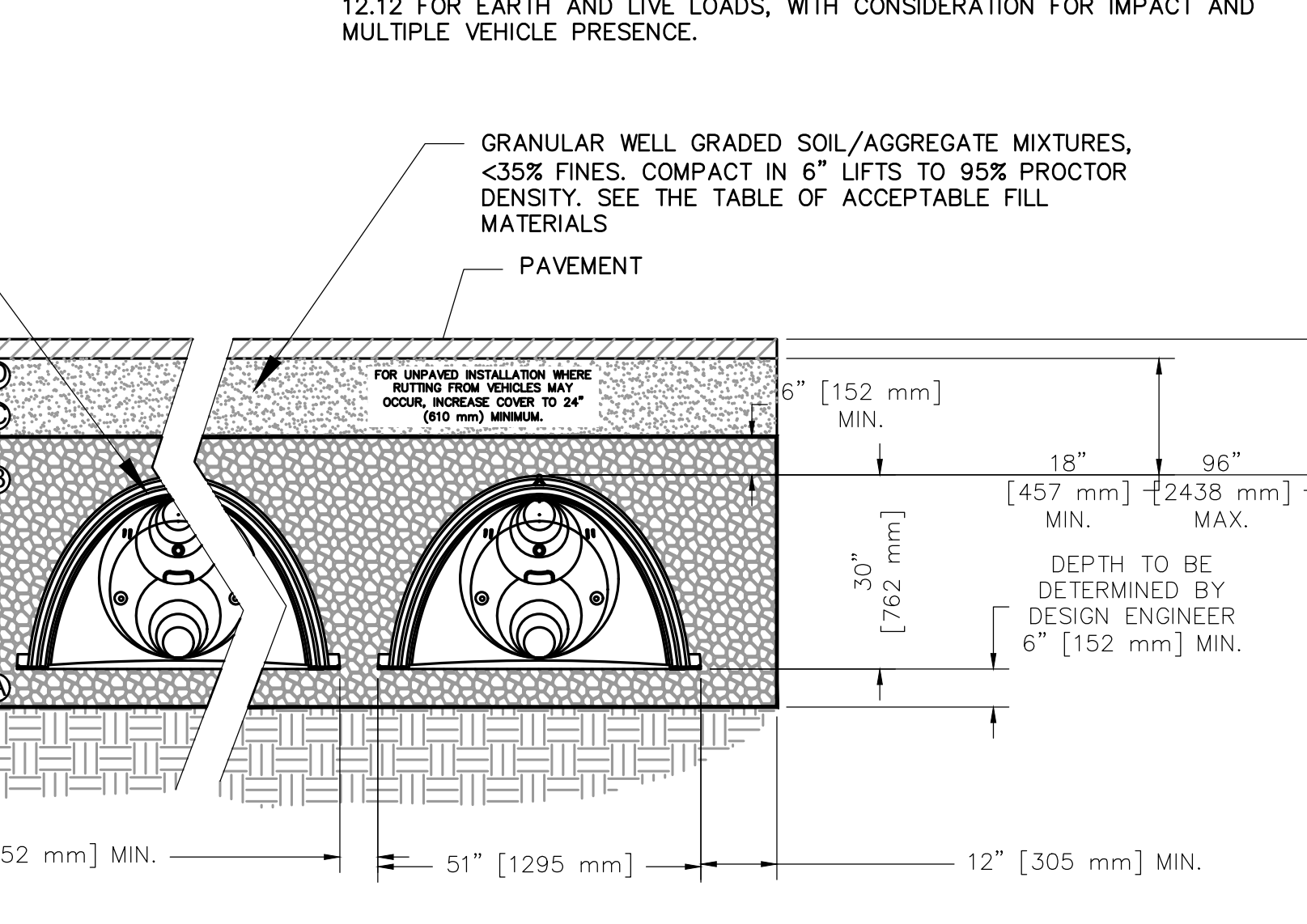
- NOTES:**
1. FRAME AND GRATE SHALL BE DUCTILE IRON CONFORMING TO ASTM A536 GRADE 70-50-05.
 2. 12" AREA DRAINS SHALL BE NYLOPLAST MODEL 2812 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL.
 3. AREA DRAINS SHALL BE CUSTOM MANUFACTURED ACCORDING TO THE PLANS AND DETAIL.
 4. CASTINGS SHALL BE FURNISHED WITH A BLACK PAINT.
 5. SEE PLANS FOR LAYOUT AND ELEVATIONS OF DRAIN PIPES TO AREA DRAINS.



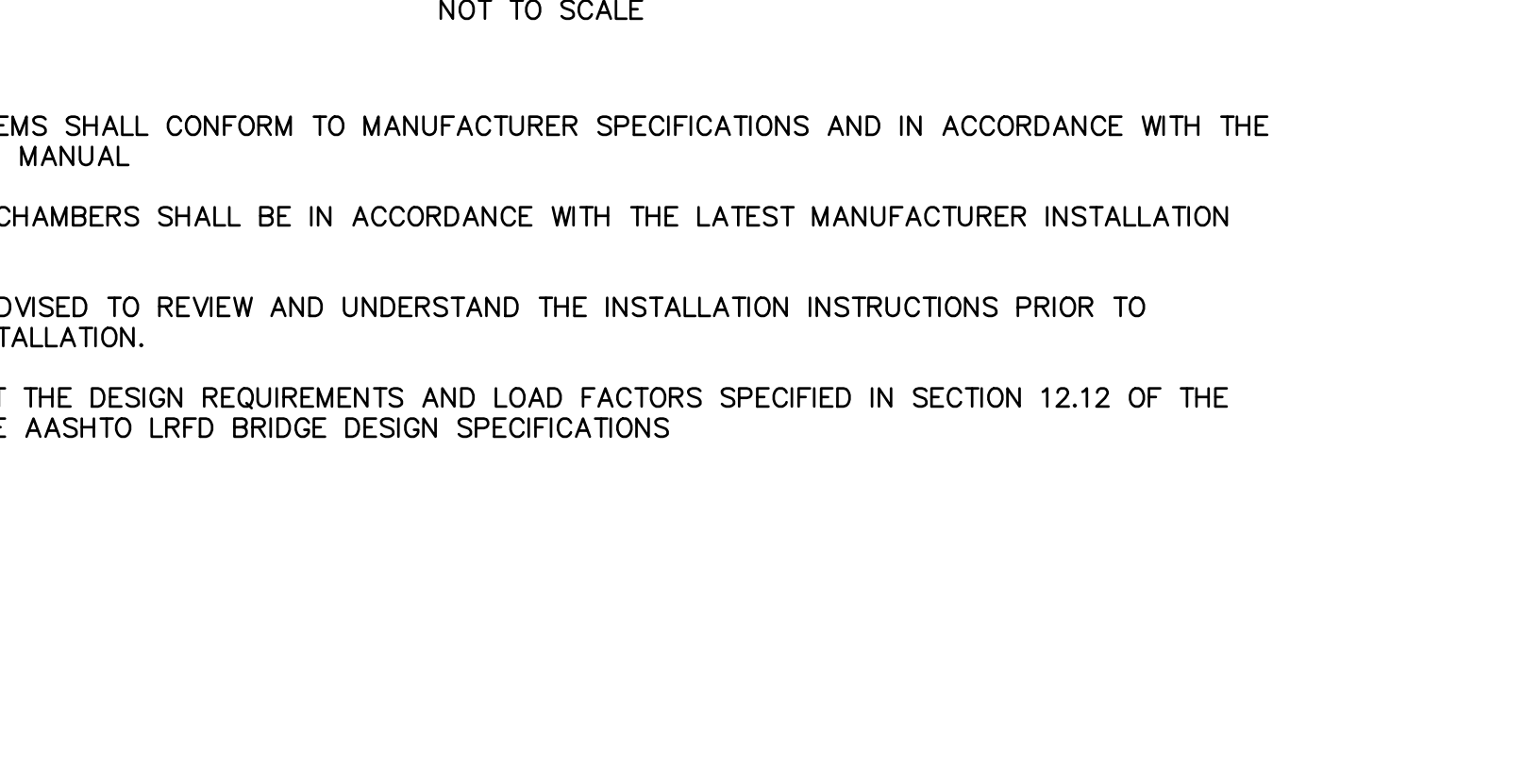
- NOTES:**
1. FRAME AND GRATE SHALL BE DUCTILE IRON CONFORMING TO ASTM A536 GRADE 70-50-05.
 2. 24" AREA DRAINS SHALL BE NYLOPLAST MODEL 2824 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL.
 3. AREA DRAINS SHALL BE CUSTOM MANUFACTURED ACCORDING TO THE PLANS AND DETAIL.
 4. CASTINGS SHALL BE FURNISHED WITH A BLACK PAINT.
 5. SEE PLANS FOR LAYOUT AND ELEVATIONS OF DRAIN PIPES TO AREA DRAINS.



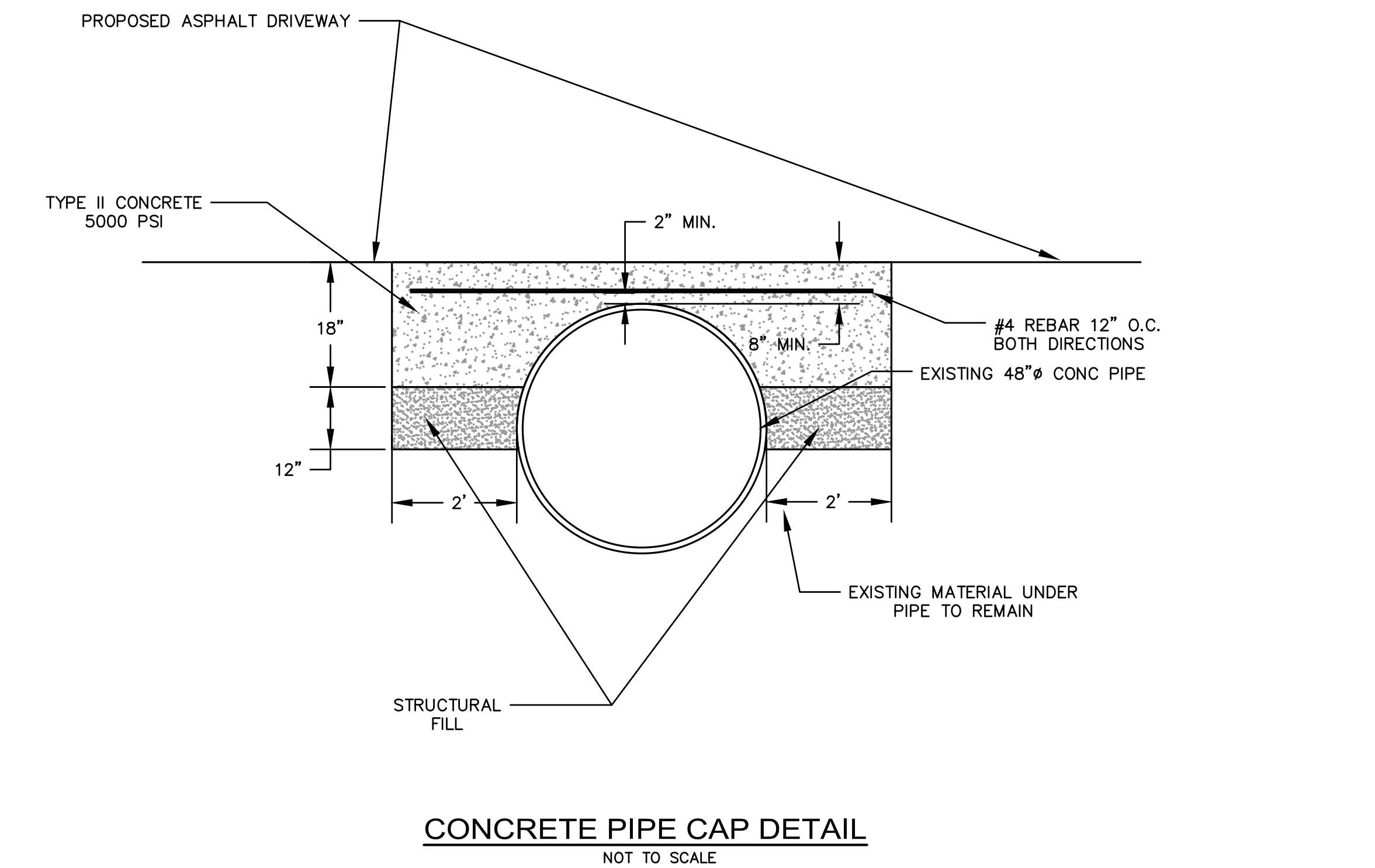
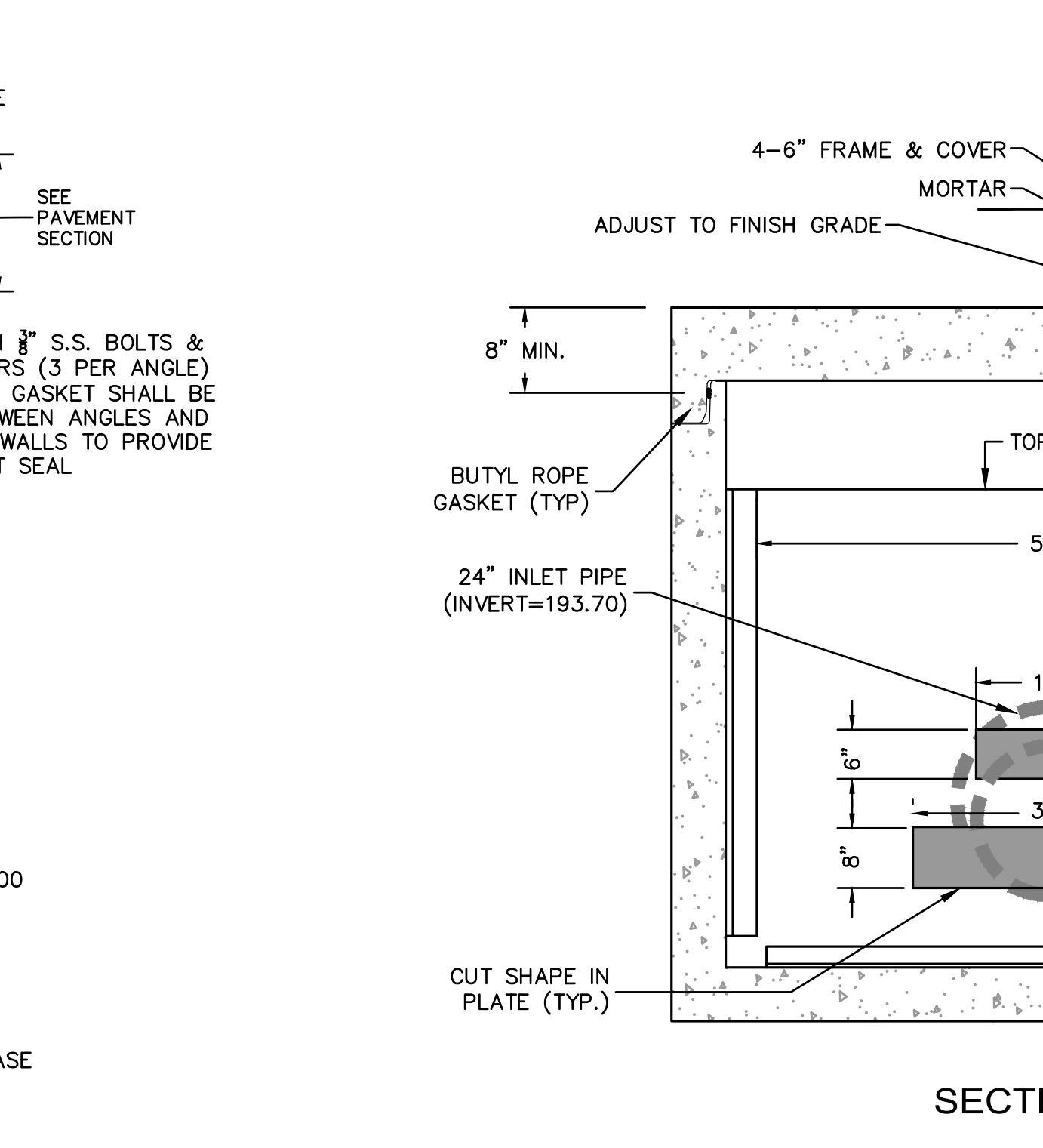
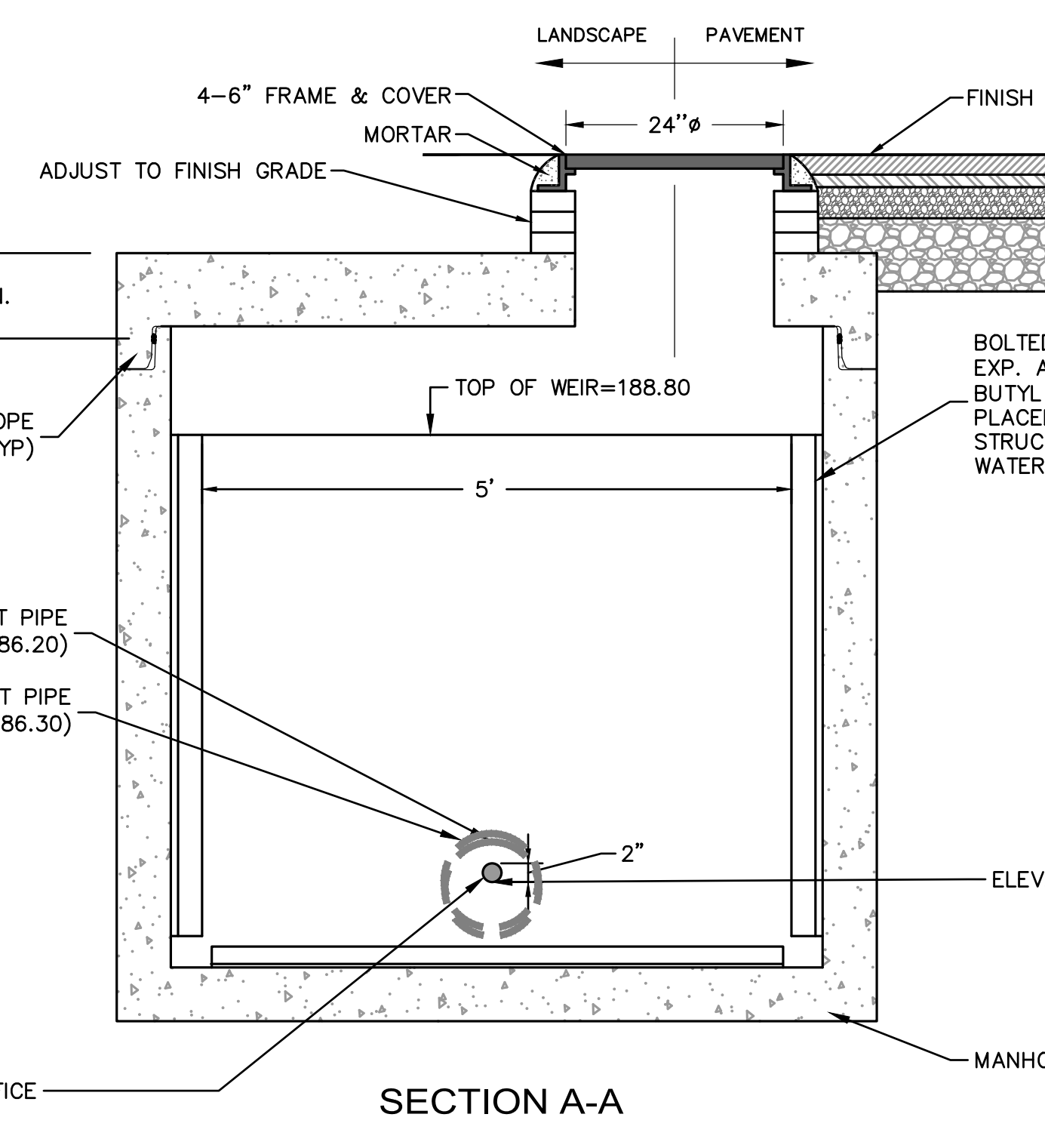
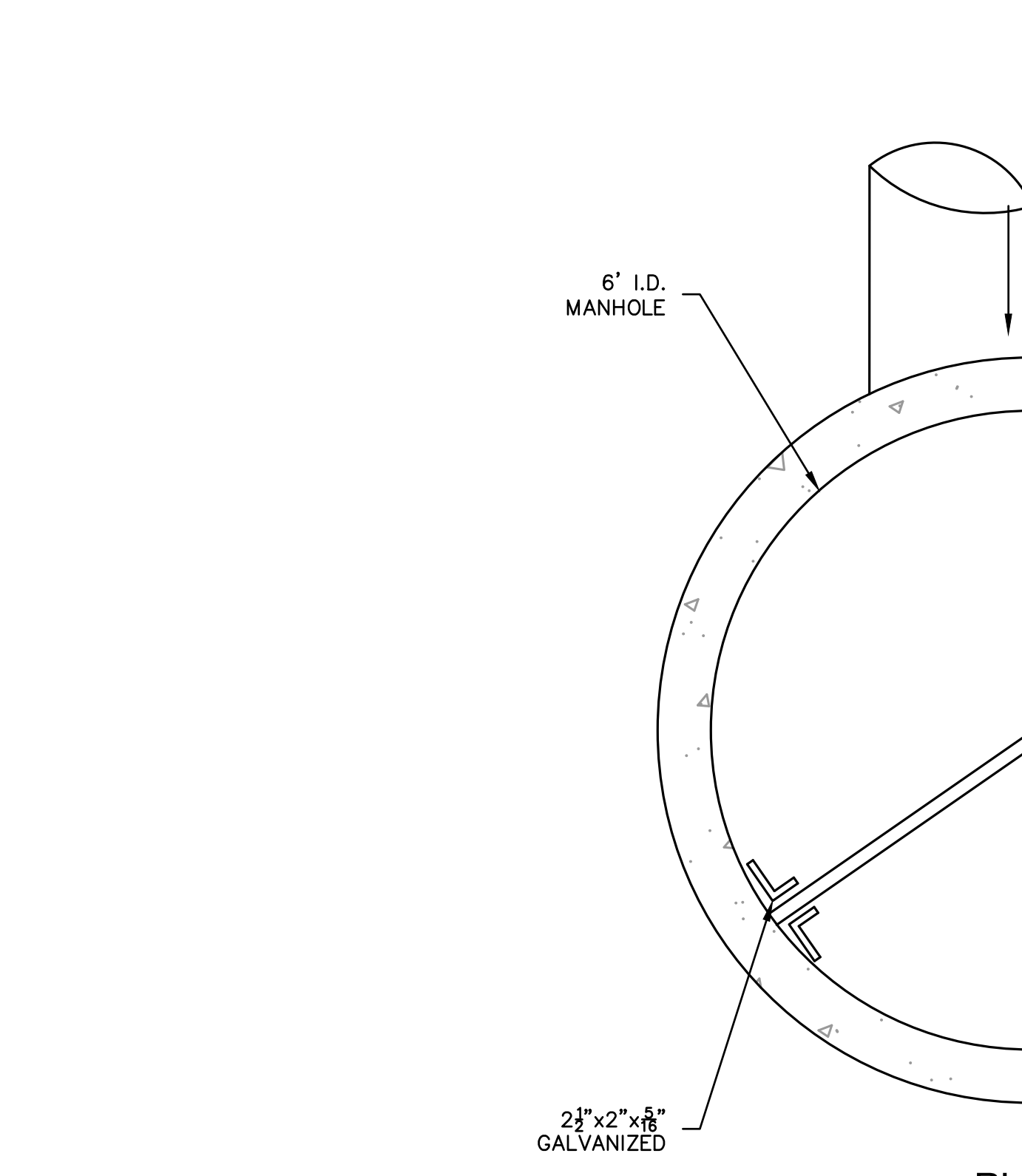
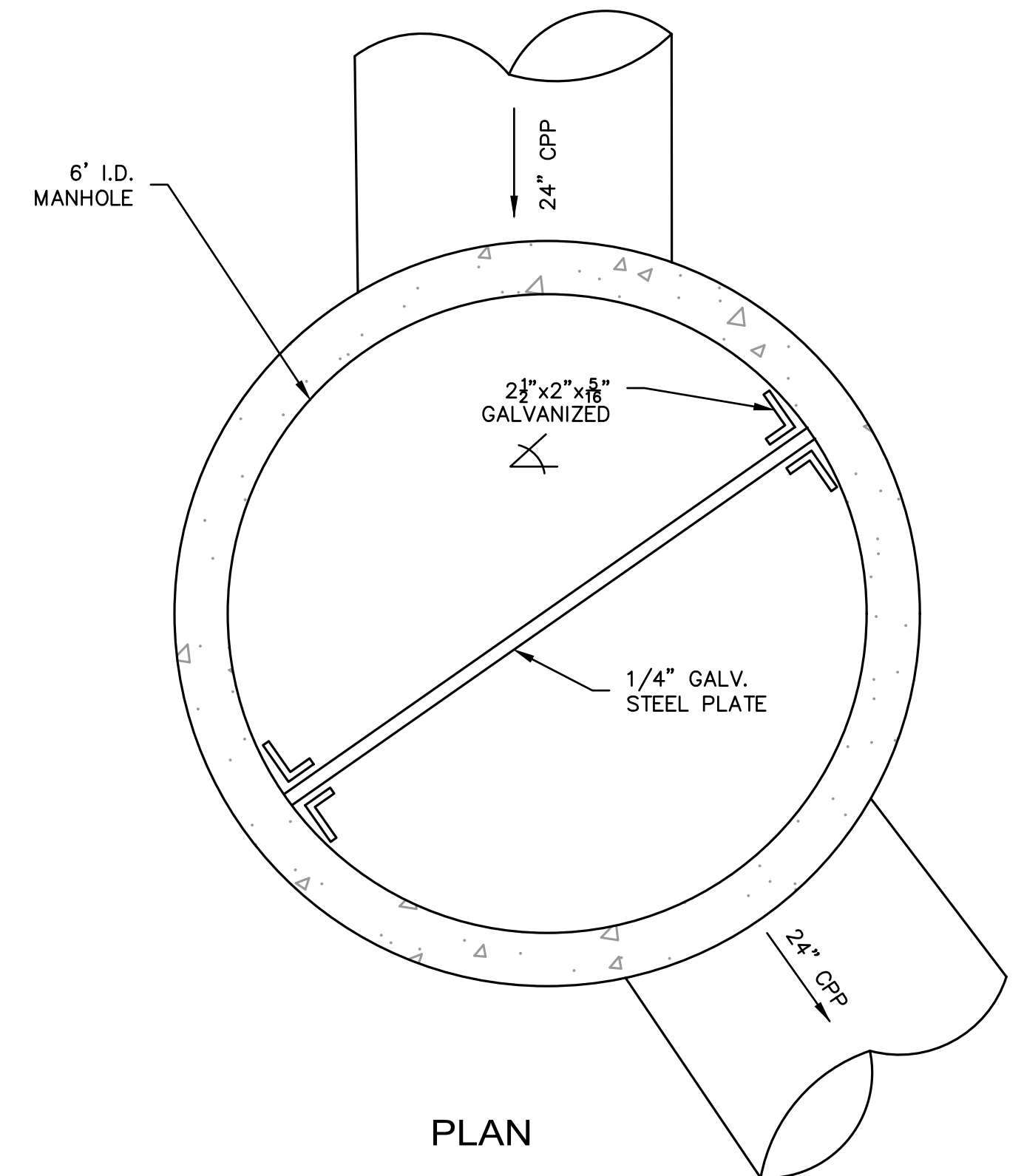
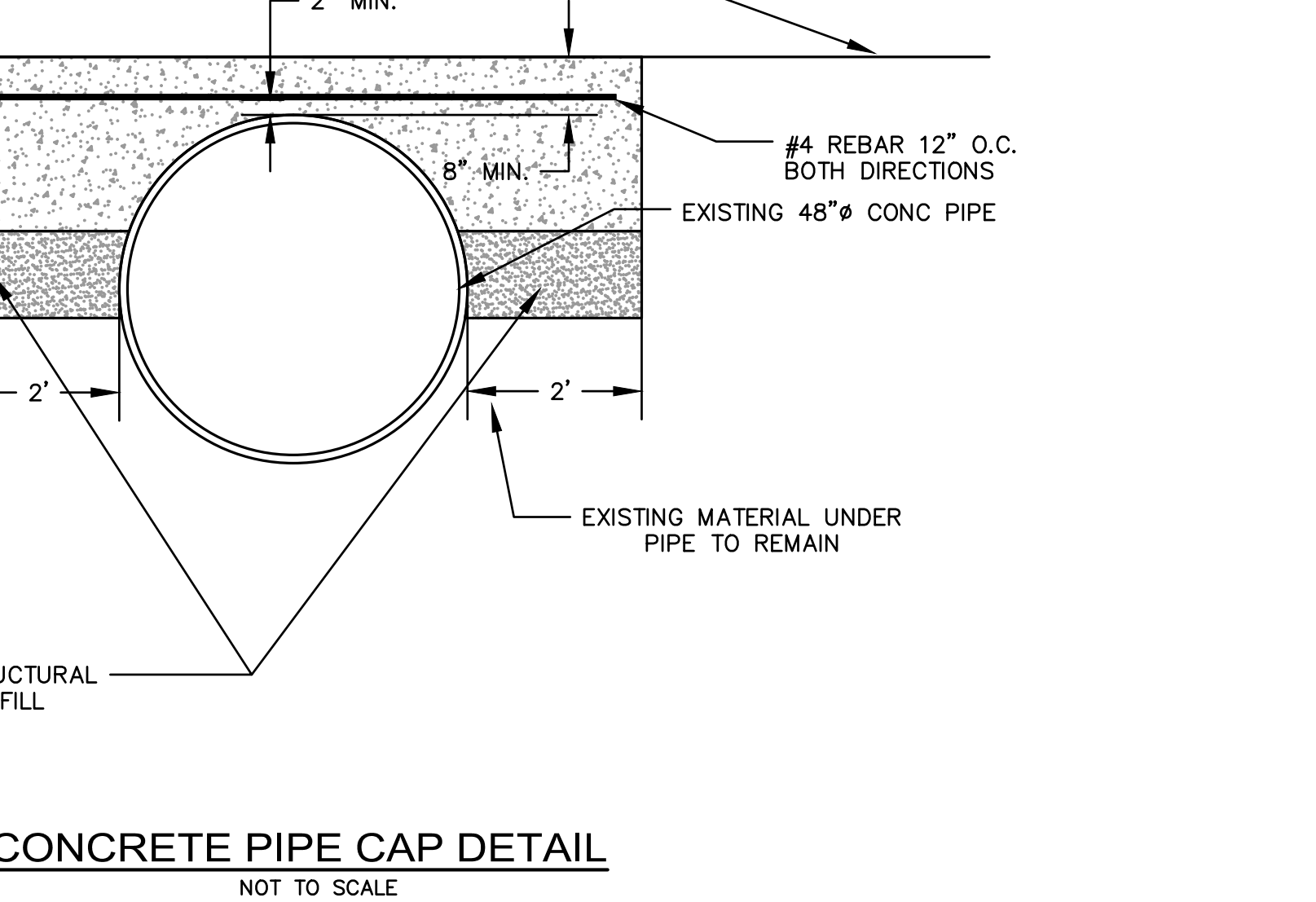
- NOTES:**
1. FRAME AND GRATE SHALL BE DUCTILE IRON CONFORMING TO ASTM A536 GRADE 70-50-05.
 2. 24" AREA DRAINS SHALL BE NYLOPLAST MODEL 2824 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL.
 3. AREA DRAINS SHALL BE CUSTOM MANUFACTURED ACCORDING TO THE PLANS AND DETAIL.
 4. CASTINGS SHALL BE FURNISHED WITH A BLACK PAINT.
 5. SEE PLANS FOR LAYOUT AND ELEVATIONS OF DRAIN PIPES TO AREA DRAINS.



- NOTES:**
1. FRAME AND GRATE SHALL BE DUCTILE IRON CONFORMING TO ASTM A536 GRADE 70-50-05.
 2. 24" AREA DRAINS SHALL BE NYLOPLAST MODEL 2824 AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL.
 3. AREA DRAINS SHALL BE CUSTOM MANUFACTURED ACCORDING TO THE PLANS AND DETAIL.
 4. CASTINGS SHALL BE FURNISHED WITH A BLACK PAINT.
 5. SEE PLANS FOR LAYOUT AND ELEVATIONS OF DRAIN PIPES TO AREA DRAINS.



- NOTES:**
1. INSTALLATION OF SYSTEMS SHALL CONFORM TO MANUFACTURER SPECIFICATIONS AND IN ACCORDANCE WITH THE MANUFACTURER DESIGN MANUAL.
 2. THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE LATEST MANUFACTURER INSTALLATION INSTRUCTIONS.
 3. THE CONTRACTOR IS ADVISED TO REVIEW AND UNDERSTAND THE INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
 4. CHAMBERS SHALL MEET THE DESIGN REQUIREMENTS AND LOAD FACTORS SPECIFIED IN SECTION 12.12 OF THE LATEST EDITION OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.





90 Concord Street, Ashland, MA

FLANSBURGH

77 NORTH WASHINGTON STREET
BOSTON, MA 02114-1918
FLANSBURGH.COM

Owner Project Manager
Compass Project Management, Inc.
Owners' Project Manager
One Edgewater Drive, Suite 204
Norwood, MA 02062

Consultants
Nitsch Engineering, Inc.
Land Survey/ Traffic/ Civil
Engineers
2 Center Plaza
Boston, MA 02108

Stimson Studio
Landscape Architect
288 Norfolk Street
Cambridge, MA 02139

Engineers Design Group Inc
Structural Engineer
350 Main Street
Malden, MA 02148

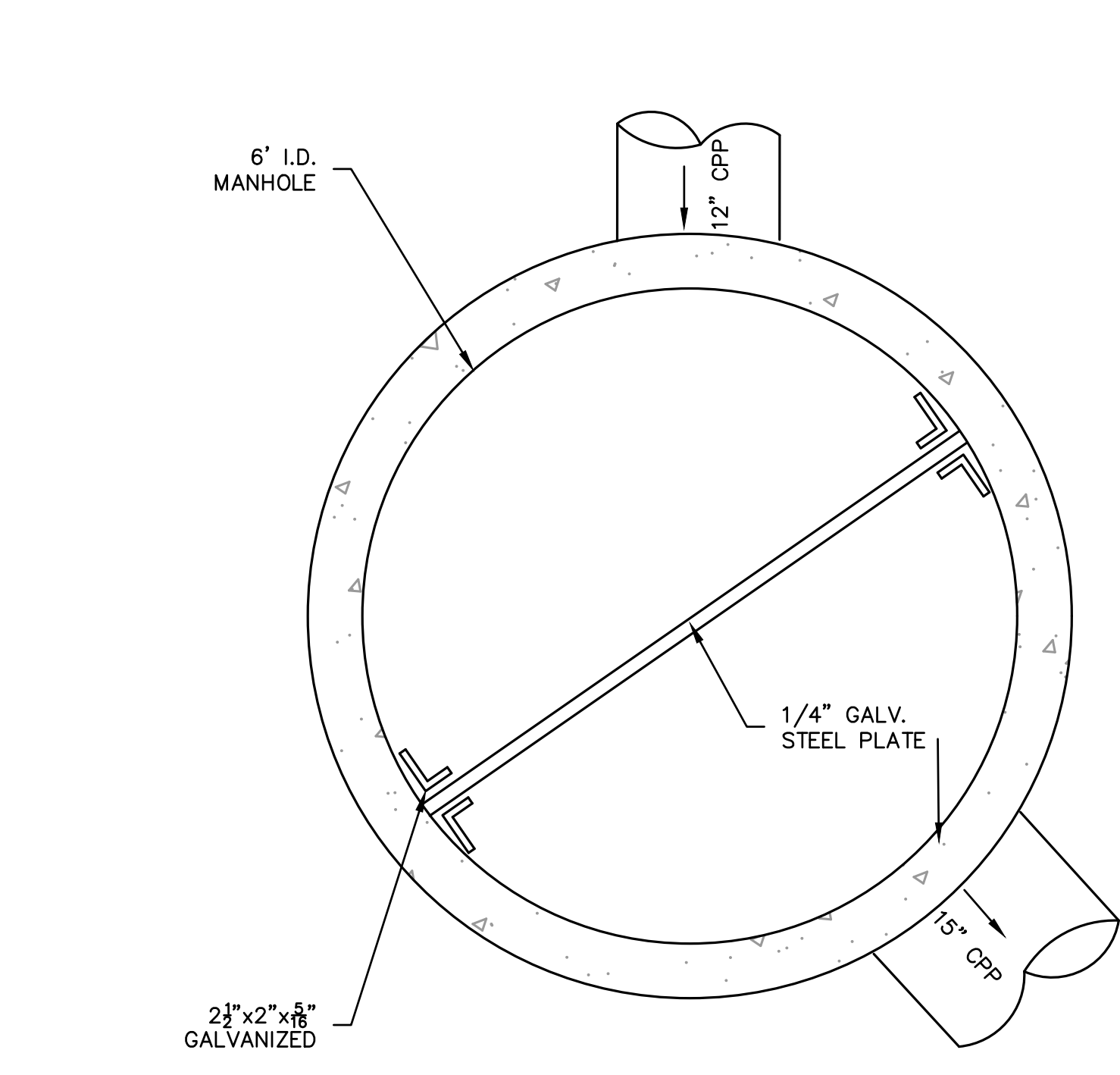
Stefura Associates, Inc.
FF&E and Casework
77 North Washington Street
Boston, MA 02114

Crabtree McGrath Associates, Inc.
FF&E and Casework
161 West Main Street
Georgetown, MA 01833

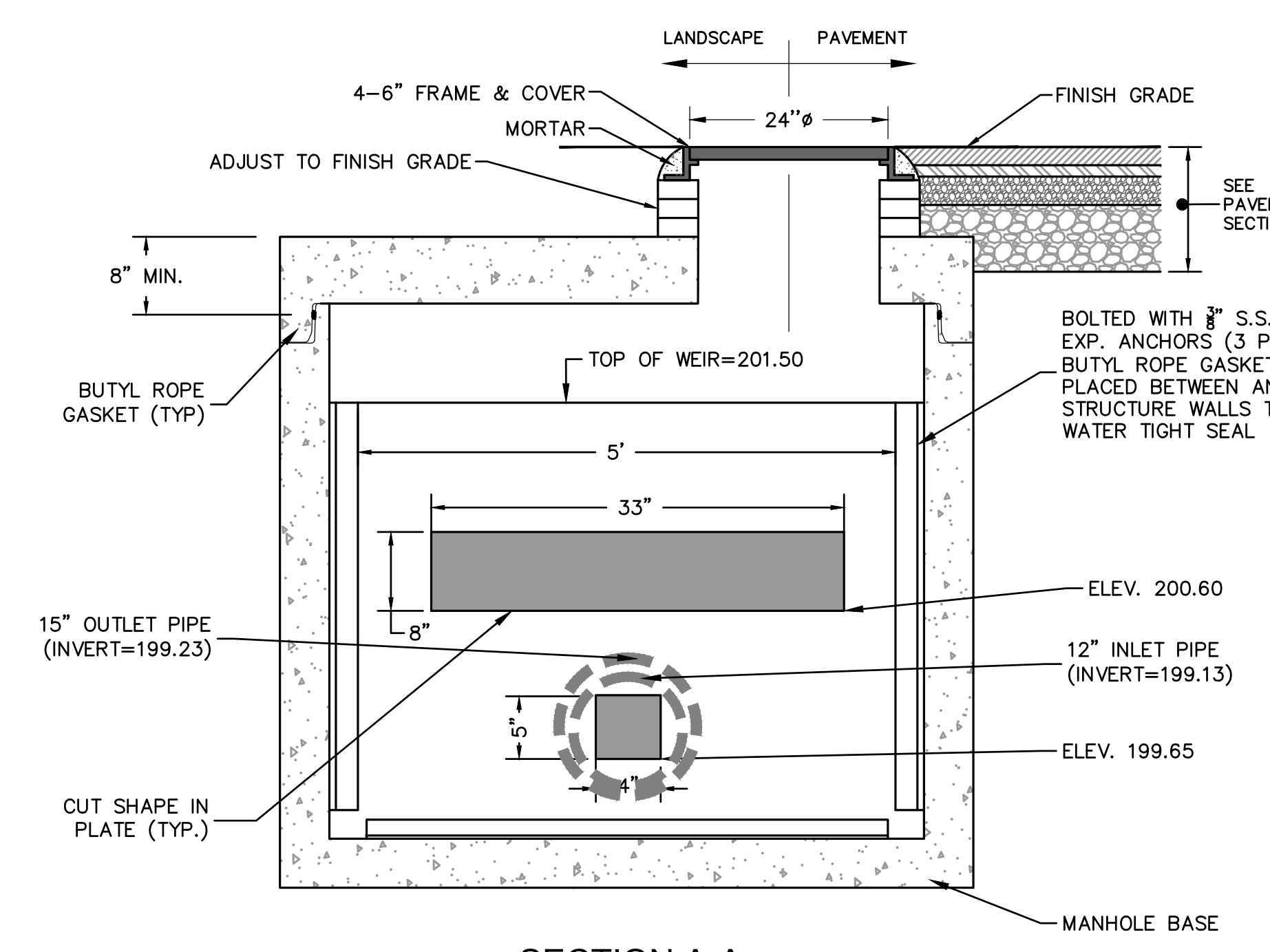
Vanderweil Engineers, LLP
Mechanical Electrical Technology
Plumbing & Fire Protection
Engineers
274 Summer Street
Boston, MA 02210

Fuss and O'Neill, Inc.
Hazardous Materials
108 Myrtle Street, Suite 502
Quincy, MA 02171

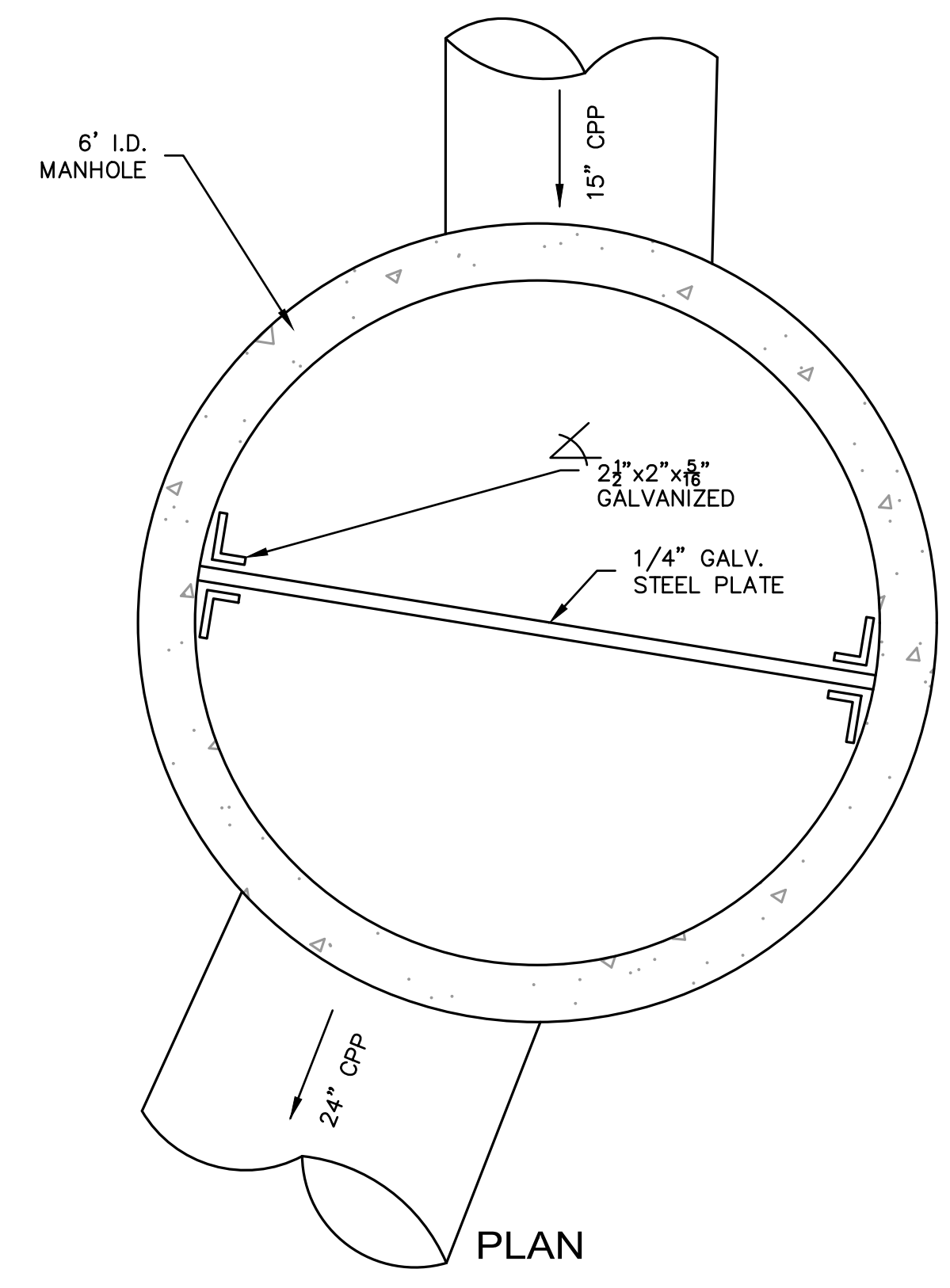
AM Fogarty
Cost Estimators
175 Derby St, Ste 5
Hingham, Massachusetts 02043



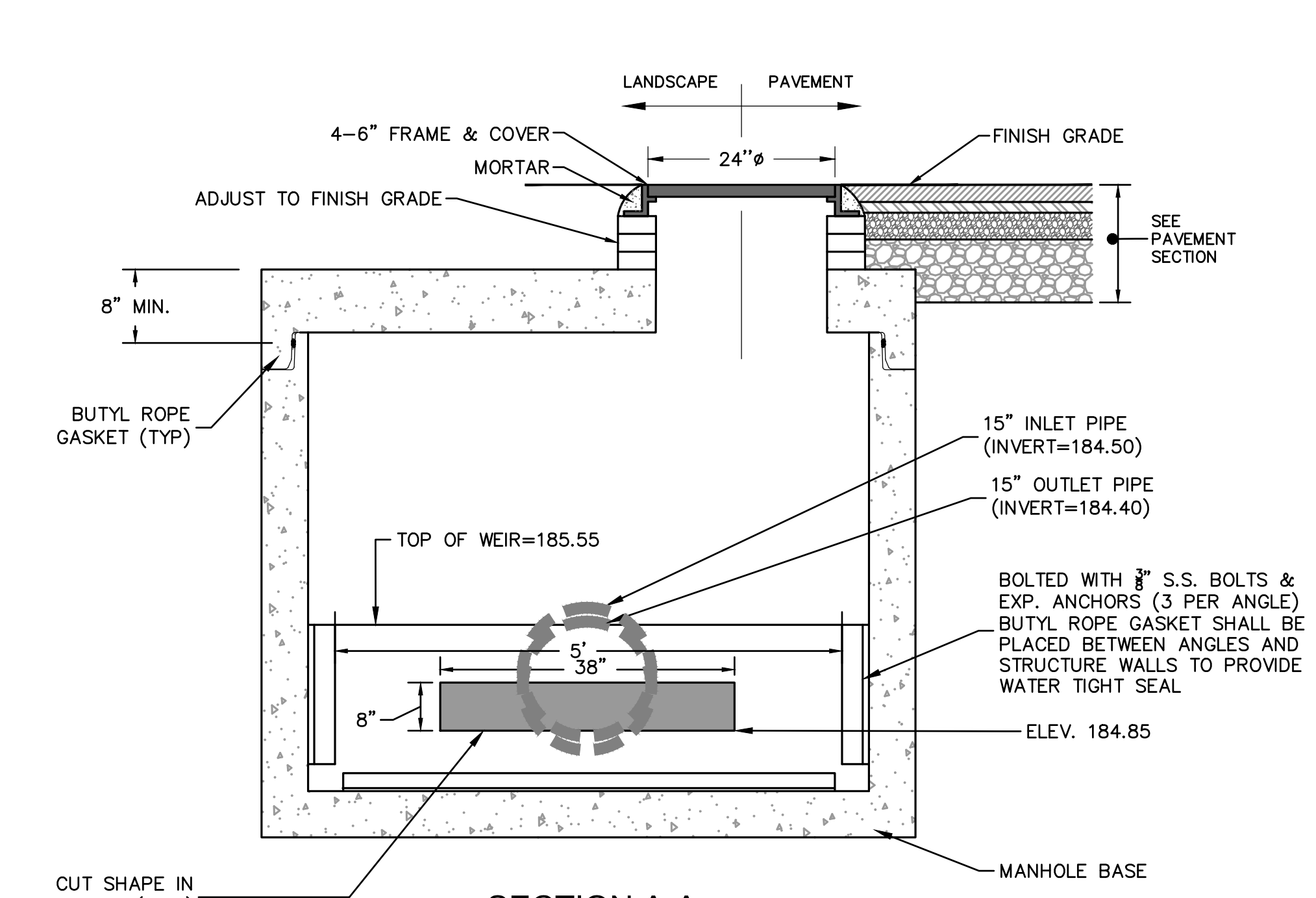
PLAN



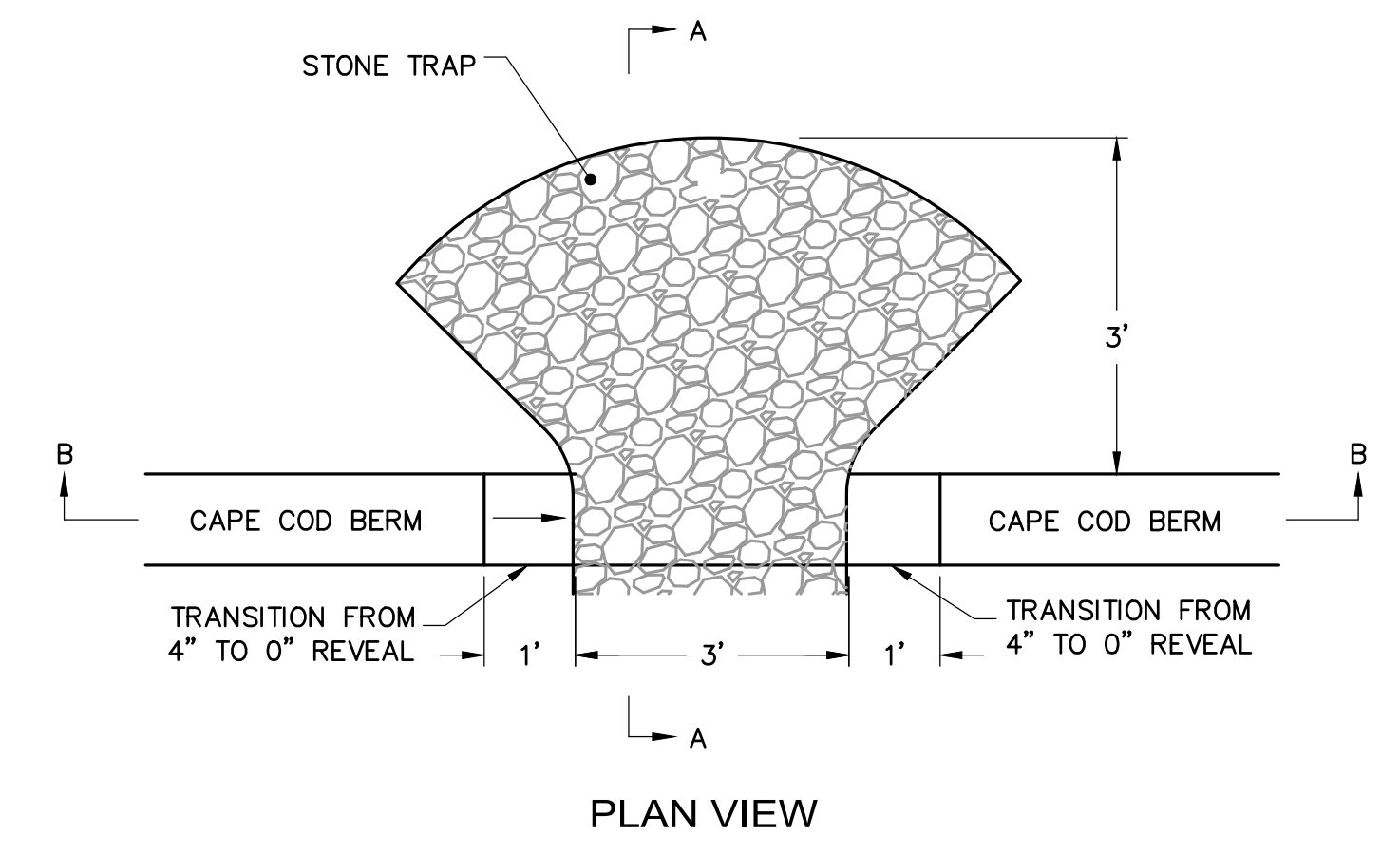
SECTION A-A
SS-4 OUTLET CONTROL STRUCTURE #403
NOT TO SCALE



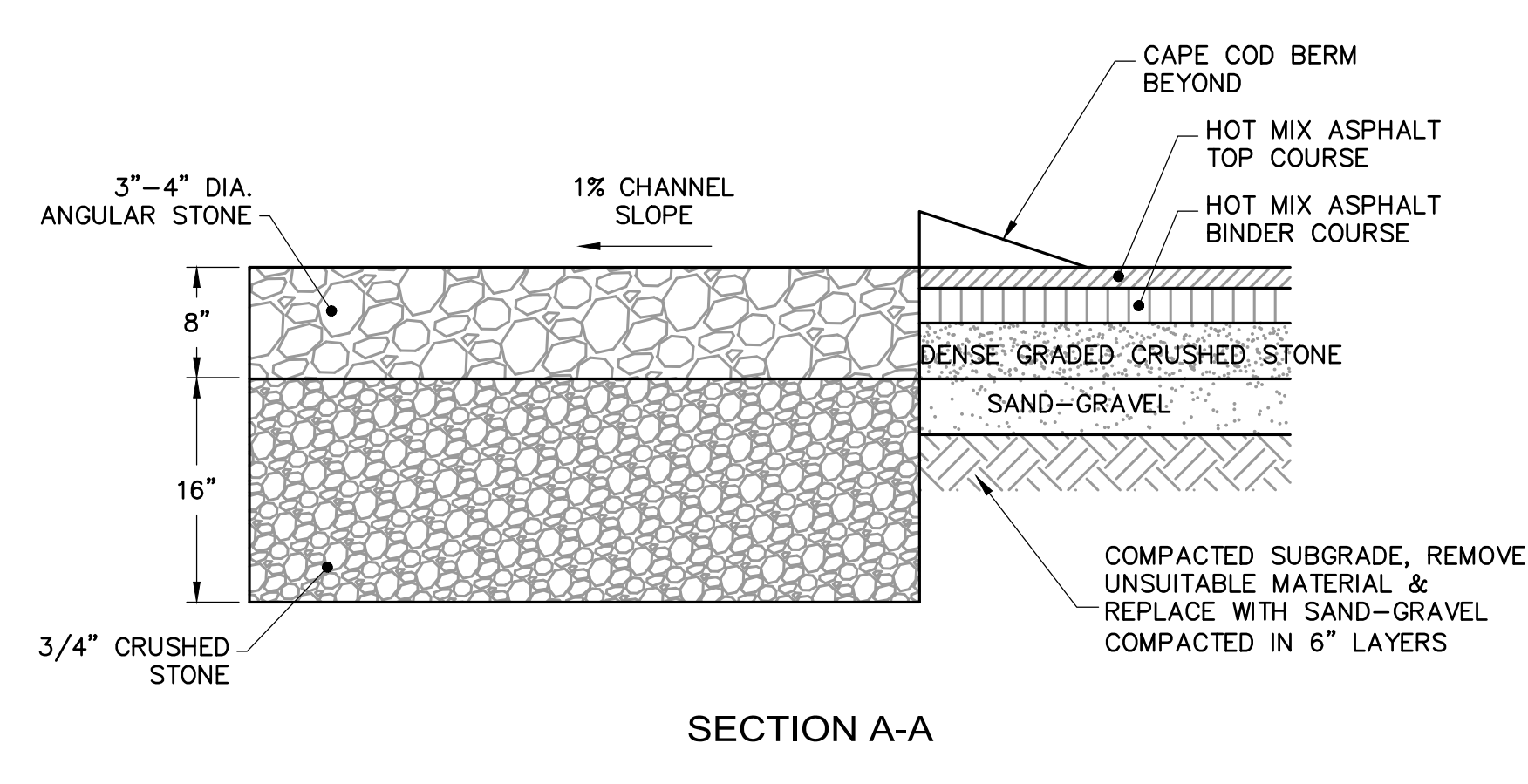
PLAN



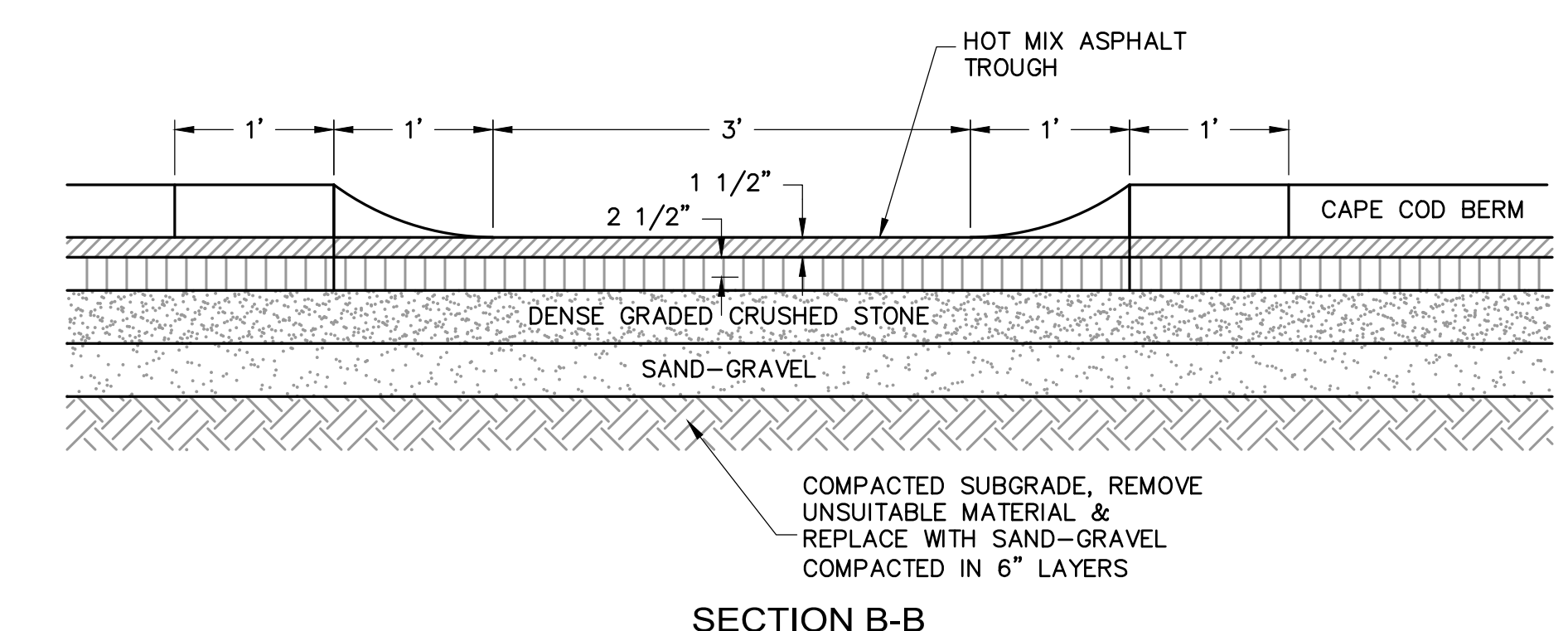
SECTION A-A
SS-1 OUTLET CONTROL STRUCTURE #402
NOT TO SCALE



PLAN VIEW

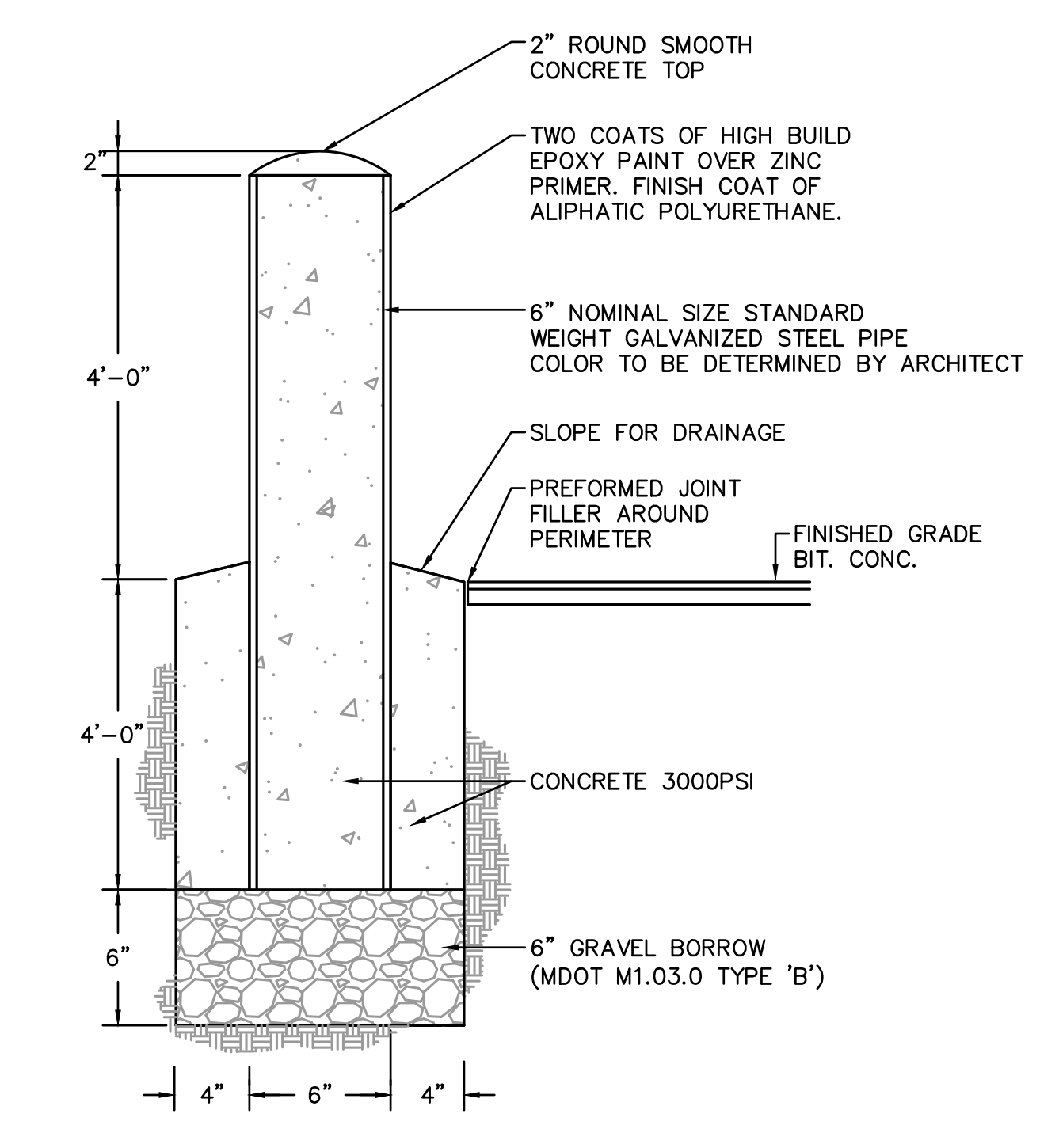


SECTION A-A

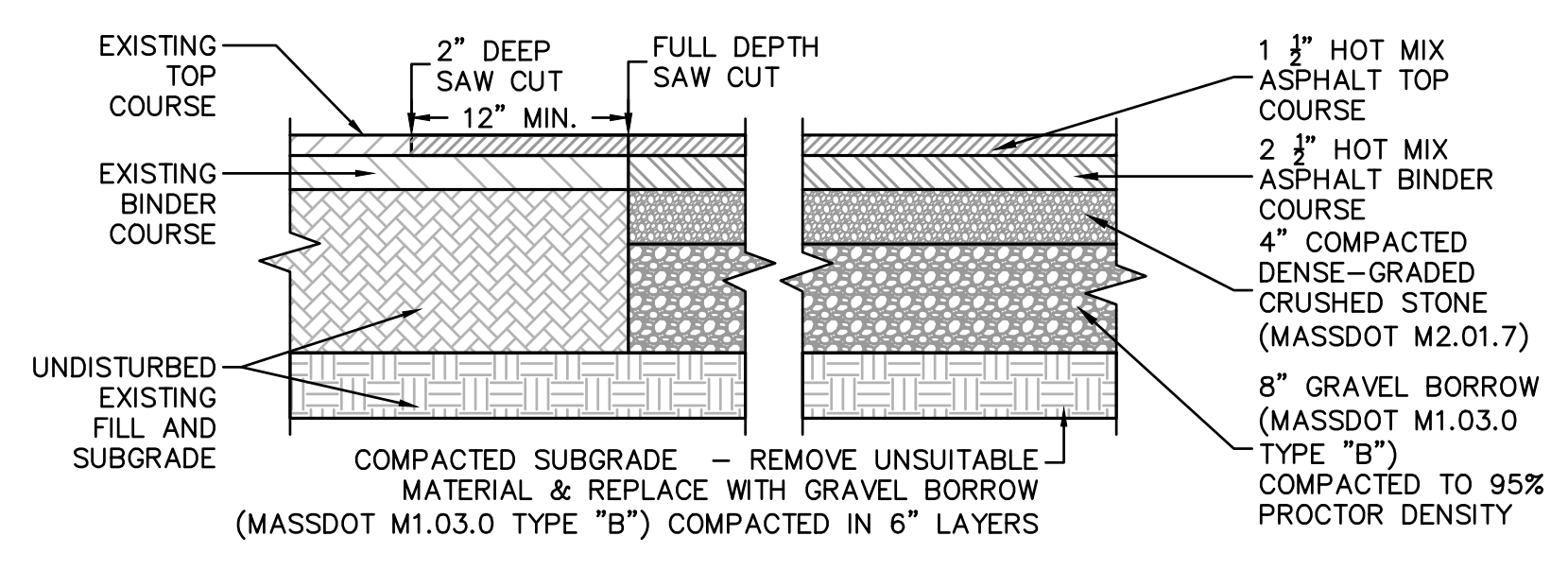


SECTION B-B

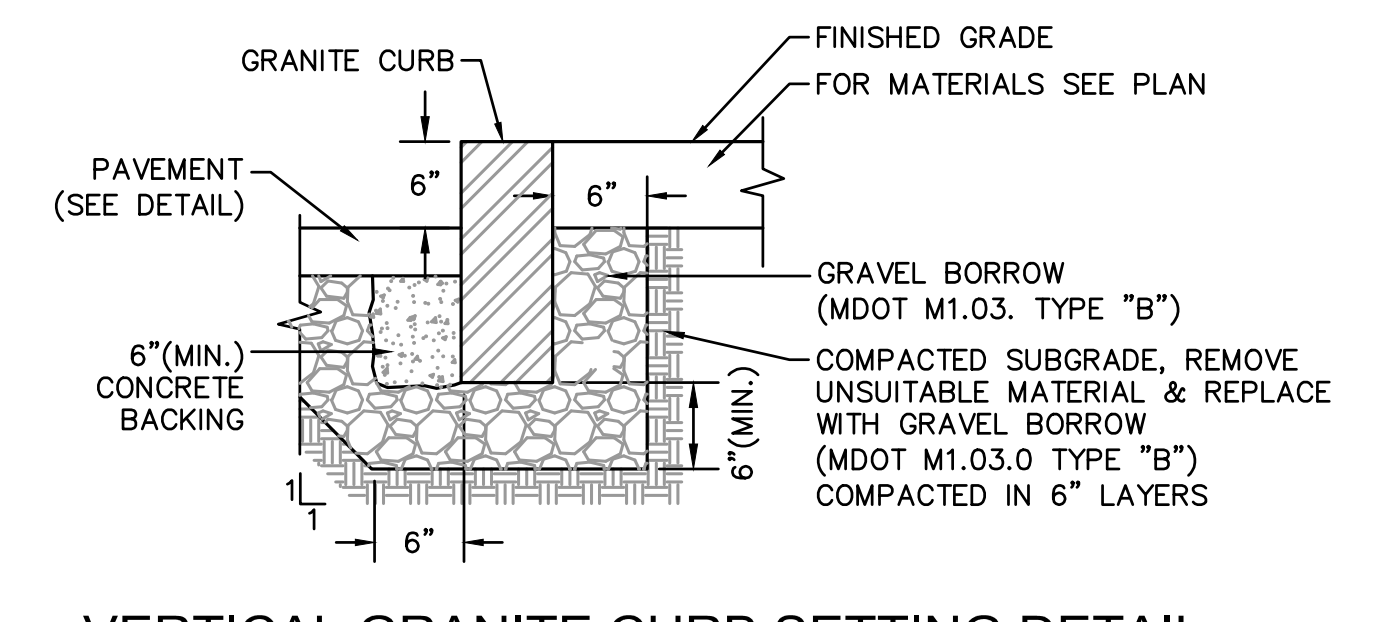
CURB BREAK DETAIL FOR CAPE COD BERM
NOT TO SCALE



6" BOLLARD DETAIL
NOT TO SCALE



HOT MIX ASPHALT PAVING (TWO COURSES) DETAIL
NOT TO SCALE



VERTICAL GRANITE CURB SETTING DETAIL
NOT TO SCALE

No.	Date	Note
REVISIONS		
ISSUE		

EARLY TRADE PACKAGE

Key Plan		NORTH
Civil Details		
Drawn By NJB	Project ID 1914.00	
Reviewed By BMV/JEG	Scale NOT TO SCALE	
Issue Date 09.29.2021	Plot Date 09.29.2021	
Sheet No.		